

PLANNING BOARD APPLICATION
ELLICOTTVILLE, NEW YORK

Applicant Information

Applicant Name: JOHN READ + JERRY SKVAEL Property Owner: Yes No

Company or Trade Name (if any): _____

Mailing Address: 10 + 12 MCKINLEY DR ELLICOTTVILLE

Phone Number: 905-327-4747 Email: READSAWCVT1@GMAIL.COM

Applicant's Engineer or Representative Name: _____

Mailing Address: _____

Phone Number: _____

Email: _____

Site Information

Address (or location): 10 + 12 MCKINLEY DR ELLICOTTVILLE

Tax Parcel Number: 04360155.036-273 Town of Ellicottville Village of Ellicottville

Parcel Size (acres or s.f.): _____ Size of the site to be developed (acres or s.f.): _____

Briefly describe the current use of the property here:

NEW BUILD

Project Description

Project Name (if any): _____

Briefly describe the proposed use of the property here or attach additional pages if necessary:

- COLOR CHANGE TO SIDING,
GREEN TO GREY. WE DID NOT KNOW COLOR AT TIME
- GREEN WAS ARCHITECTS RENDERING FOR VISUAL IDEA.

Planning Board Approvals (check all that apply):

- Special Use Permit Site Plan Review Historic District Review Architectural/Landscape Design Review
 Conceptual Master Planned Development Final Master Planned Development

I have read and am familiar with the applicable zoning regulations for the above noted Planning Board Approvals under the Village of Ellicottville Zoning Law or the Town of Ellicottville Zoning Law.

John Read

Signature of Applicant

July 7/24
Date

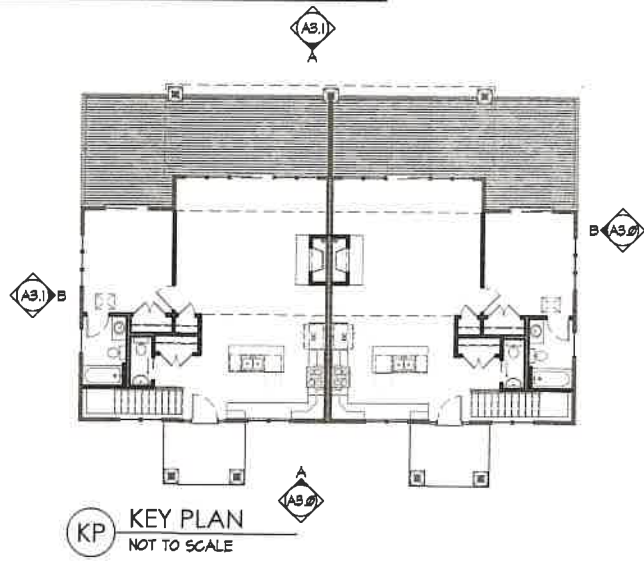
For Official Use Only:

Date Received: 7/24/24 File Number: ZP23-192/193 (from zoning permit application)

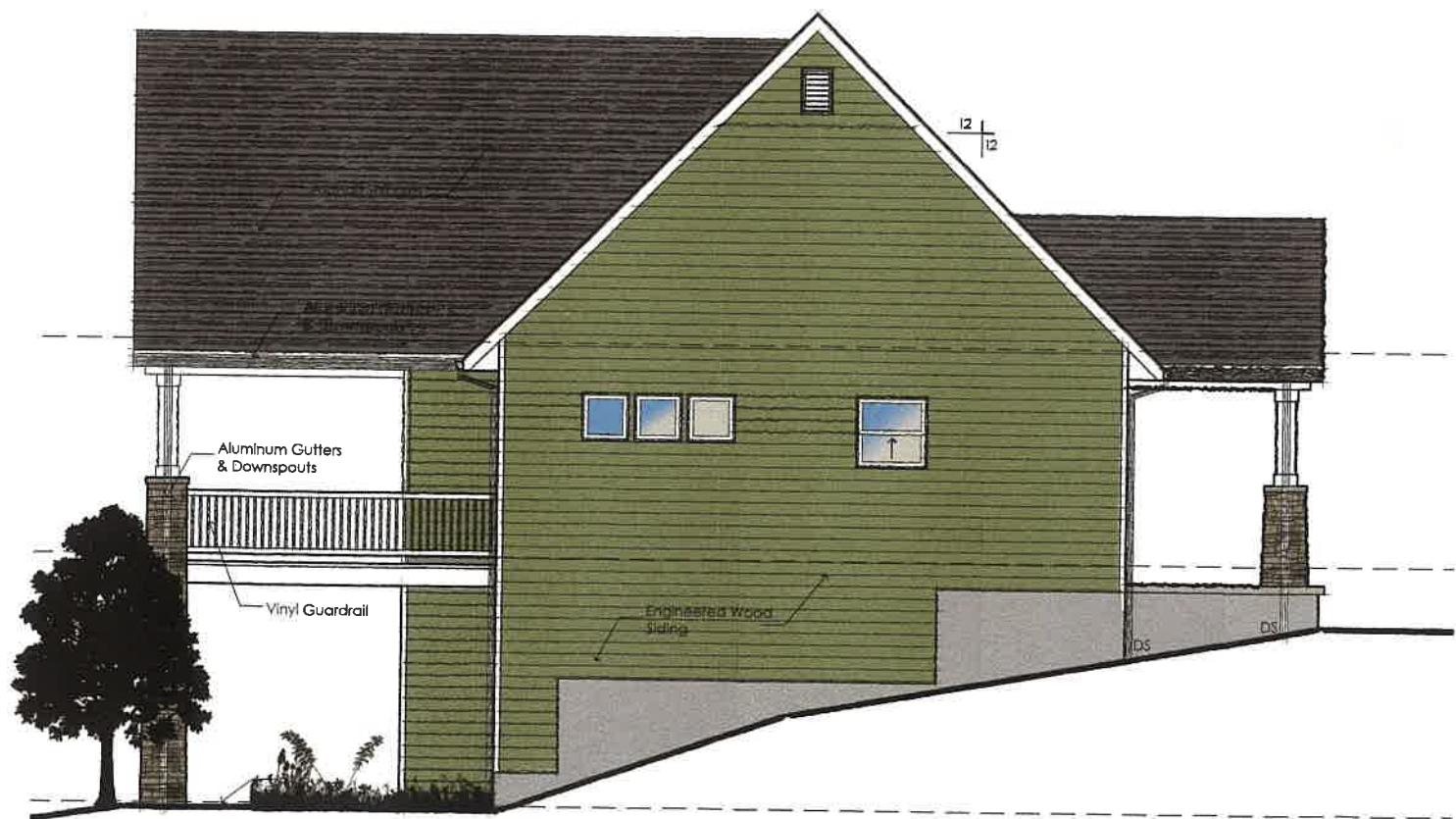
Application Fee: \$150 Rec'd By: [Signature] on 7/24/24 (Date)

5/23/2023 6:53 AM G:\P1\BVLV\ARCHITECTURE\PROJECTS_2023\22-082-DEAN-SOUTH-DUPLEX-ELLIOTTVILLE-NY_1-00-CONSTRUCTION DOCUMENTATION_MCKINLEY SEMI_A31- ELEVATIONS/PHOTO/23/0823 6:53 AM

- ELEVATION GENERAL NOTES**
1. THE GRADE SHALL BE SLOPED AWAY FROM THE STRUCTURE A MIN. PITCH OF 1:12 (10 INCHES IN 10 FEET), WHEN THE GRADE SLOPES UPHILL AWAY FROM THE STRUCTURE, OR LESS IF RESTRICTED BY LOT LINES. HOWEVER IT SHALL STILL PITCH A MINIMUM OF 6 INCHES REGARDLESS OF THE HORIZONTAL DISTANCE.
 2. BACKFILL SOIL SHALL BE FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS AND LARGE ROCKS. CONSIDERATION SHALL BE GIVEN TO POSSIBLE ADDITIONAL SETTLEMENT OF THE BACKFILL WHEN ESTABLISHING THE FINAL GRADE LEVEL ADJACENT TO THE FOUNDATION.
 3. GRADES INDICATED ON ELEVATIONS ARE APPROXIMATE AND ARE TO BE DETERMINED BY ACTUAL SITE CONDITIONS. WHEN GRADE REQUIRES MORE THAN 2 RISERS OFF ANY PLATFORM OR IF AN OPEN SIDE OF STAIR/ PLATFORM SHOULD HAVE A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FINISHED GRADE, THE CONTRACTOR SHALL PROVIDE HANDRAILS ON STAIRS AND PLATFORMS.
 4. THE DISTANCE FROM GRADE TO THE FINISHED SURFACE OF THE FLOOR ABOVE THE BASEMENT SHALL BE LESS THAN 6 FEET FOR MORE THAN 50 PERCENT OF THE TOTAL PERIMETER OF THE STRUCTURE, AND MAY NOT BE MORE THAN 12 FEET AT ANY POINT.
 5. THE CONTRACTOR SHALL PROVIDE PROPER DRAINAGE AND GRADES AS REQUIRED TO DRAIN WATER AWAY FROM THE STRUCTURE.
 6. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR SEEKING ENGINEERING CONSULTATION IF THE SITE SO DEMANDS.
 7. ALL ON SITE WORK WILL BE IN ACCORDANCE WITH STATE AND LOCAL BUILDING CODES.
 8. ALL DOWN SPOUTS TO BE CONNECTED TO STORM CONDUCTOR SYSTEM, TO MEET NYS FOUNDATION DRAINAGE CODE REQUIREMENTS
 9. ALL DRAIN AND WASTE VENTS THRU ROOF SHALL BE 3" AND TERMINATE A MINIMUM OF 18" ABOVE THE POINT IT PASSES THROUGH THE ROOF.
 10. ALL EXTERIOR RECEPTACLES WILL BE ON A GFI CIRCUIT.



A EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



B EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS SCHEDULE

ALL MATERIALS TO BE APPROVED BY OWNER PRIOR TO ORDERING.

BASIS OF DESIGN:

- HORIZONTAL SIDING: ENGINEERED WOOD SIDING
MANUF: LP SMART SIDING
- ROOF SYSTEM: ASPHALT SHINGLES
MANUF: GAF
- SOFFIT & FASCIA: PRE-FINISHED ALUMINUM
- SUPPORT COLUMNS: PVC WRAPPED
- STONE MAINSCOT: NATURAL STONE VENEER
MANUF: CITADEL STONE

PRELIMINARY



716.646.8251
www.havenarchitecture.com

DOCUMENT STATUS

- PRELIMINARY PROGRESS
 - BID SET PERMIT SET
 - FINAL FOR CONSTRUCTION
- ISSUED BY JACOB FLITTON ARCHITECT PLLC

MCKINLEY SEMI
Lots 10 & 12, McKinley Dr.
Ellicottville, NY 14731

Job # 22-082
Revisions

Date: 2023-05-23

Title: Exterior Elevations

Sheet: **A3.1**

NOT FOR CONSTRUCTION

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