

VILLAGE OF ELLICOTTVILLE
SUBDIVISION DEVELOPMENT FORM

APPLICATION FOR FINAL PLAT APPROVAL

Applicant Information

Applicant Name: Joan and Rick Graci
Company or Trade Name (if any): _____
Mailing Address: 7 Promise Lane Buffalo, NY 14221
Phone Number: 716-481-1789 Email: rick712prestige@gmail.com
Project Engineer: Carl Calarco, P.E.
Mailing Address: P.O.Box 693 Ellicottville, NY 14731
Phone Number: 716-244-8313 Email: crcalarco@verizon.net
Project Surveyor: Clear Creek Land Surveying, LLC William J. Tucker, II PLS
Mailing Address: 7449 Mill Street Caneadea, NY 14717-8753
Phone Number: 716-592-5800 Email: office@clearcreekls.com
Other Contact (Name & Title): _____
Phone Number: _____ Email: _____

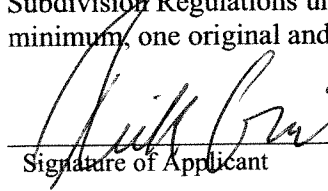
Project Description

Subdivision Name: Lot 4a Vogt Mill Street Development
Address (or location): Lot 4a 41 Mill Street, Ellicottville, NY 14731
Real Property Tax Map Number: 55.044-1-4.3 Parcel Size: 0.743 (acres)
Zoning District(s): Medium Density Number of Proposed Lots: one

Final Approvals Have Been Obtained from other Agencies (please attach)

County Health Department (public water supply or septic system)	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> n/a	Approvals have been granted- this is an amendment to the conditions of approval
NYSDEC (sanitary sewer)	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> n/a	
DPW Superintendent / County DPW / NYSDOT	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> n/a	
Village Engineer	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> n/a	

Attachments – Attach all items listed in Article 2, Section 6(B) and Section 6(C) of the Village of Ellicottville Subdivision Regulations unless the Planning Board has waived one or more submittal requirements. At a minimum, one original and 10 copies of all plans, documents and other application materials are required.

 12-19-2023
Signature of Applicant Date

For Village Use Only:	
Date Received: _____	File Number: _____ (from sketch plan application)
Application Fee: _____	Rec'd By: _____ on _____ (Date)

Ellicottville 55.044-1-4.1

CERTIFICATE OF APPROVAL BY THE PLANNING BOARD
PURSUANT TO THE VILLAGE OF ELICOTTVILLE LAND SUBDIVISION REGULATIONS, ALL THE REQUIREMENTS OF APPROVAL HAVING BEEN FULFILLED, THIS FINAL PLAT WAS GIVEN FINAL APPROVAL BY THE VILLAGE OF ELICOTTVILLE PLANNING BOARD AT A MEETING HELD ON 2016.

DATE: 11-01-16
Nancy Rogan
CHAIRMAN

CERTIFICATE OF APPROVAL RECOMMENDED BY THE VILLAGE ENGINEER

DATE: 11-3-16
Michael J. Tucker
TOWN ENGINEER
VILLAGE

OWNERS CERTIFICATION
THE OWNER OF LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH AN AUTHORIZED AGENT CERTIFIES THAT THIS PLAT WAS MADE FROM AN ACTUAL FIELD SURVEY, THAT ALL STATE, TOWN, AND COUNTY TAXES OR OTHER ASSESSMENTS NOW DUE ON THIS LAND HAVE BEEN PAID.

AGENT: _____
DATE: _____
OWNER: _____
DATE: 10/25/2016

NO.	REVISION	DATE
1	Sub-Lot 4a note	
2		
3		
4		
5		
6		
7		

Note:
Sub-Lot 4a can not be further subdivided

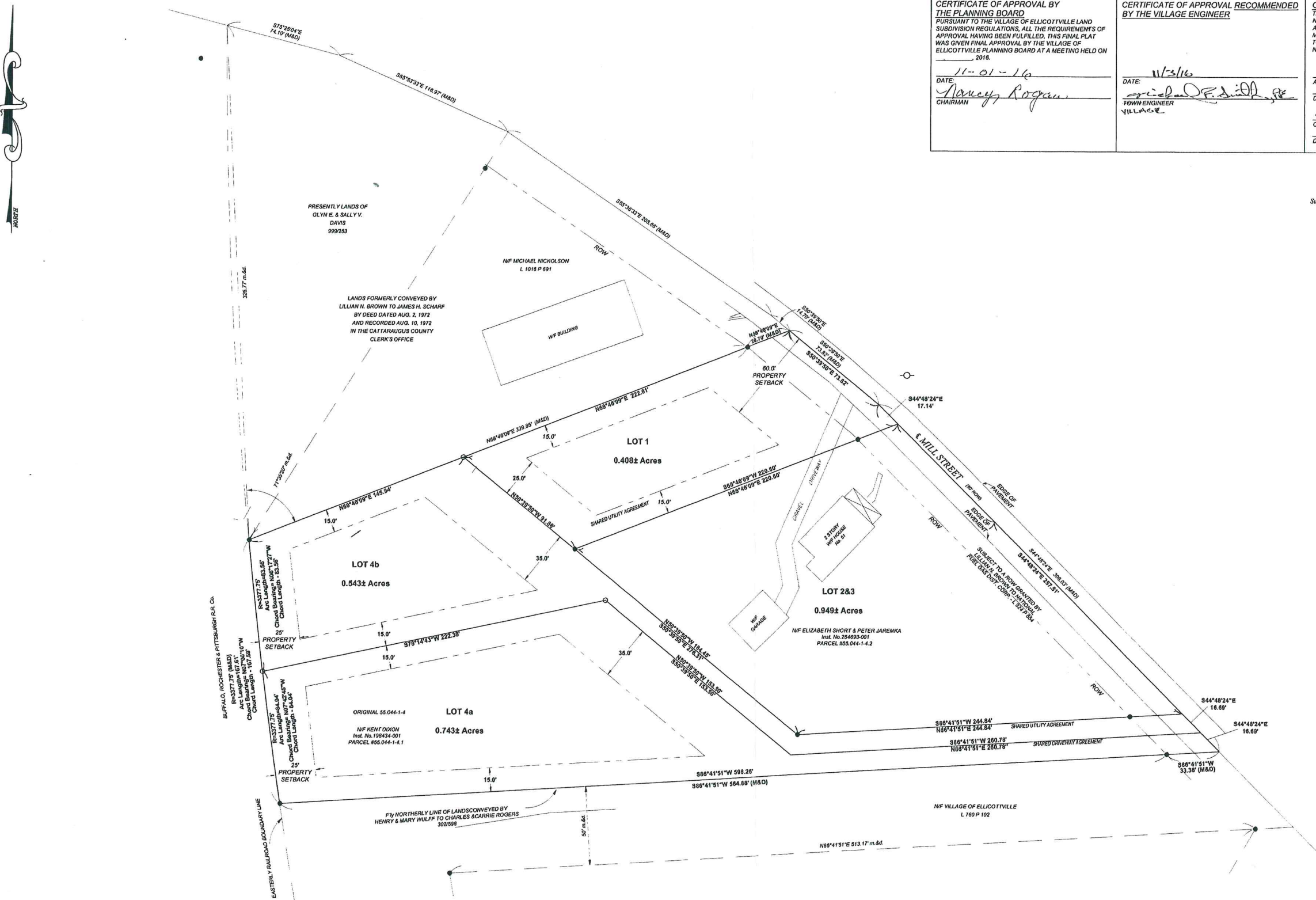
MDA Consulting Engineers, PLLC
1450 Main Street
Ellicottville, NY 14751
Phone: (716) 669-4666
Fax: (716) 669-4667

Clear Creek Land Surveying, LLC
William J. Tucker, II PLS #050369
PO Box 433
Springville, NY 14141
ph. 716-592-5800
Job No. 13-032-01; 16-008 Book: LL



MINOR SUBDIVISION
PLAT FOR
VOGT MILL STREET
DEVELOPMENT
Part of Lot 32 T4 R6 HLC
Village of Ellicottville
County of Cattaraugus, New York

DATE	10-22-2016
SCALE	1" = 30'
PROJECT NAME	VOGT MILL STREET
JOB NO.	1554(MQA), 13-032 (CCL5) ABT (MDA), MSH (CCL5)
SHEET NO.	1
	OF 3



RESIDENTIAL ZONING - MEDIUM DENSITY (MD)

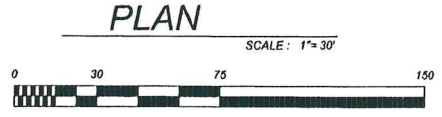
LOT SIZE	12,500 SF MIN.
LOT WIDTH	80' MIN.
MINIMUM BUILDING SIZE	1000 SF
SIDE YARD	15', 30' TOTAL
FRONT YARD	35'
REAR YARD	25'
ACCESSORY BUILDING	10'
FLOOR AREA RATIO	0.25 PER LOT
OPEN SPACE	60%
BUILDING HEIGHT	2.5 STORIES

Survey Notes:
Only copies of this survey marked with an original signature and an original embossed or ink seal are the product of the land surveyor. This plan NOT valid with an Affidavit of No Change.
This survey was prepared without the benefit of an up to date abstract of title and is subject to any state of facts revealed by an examination of such.
Lands on this survey are based on the references as shown and a boundary survey map and CAD File by Michael Rogers, PLS dated April 11, 2011 provided by Mark D. Altanella, P.C.
Distances shown are measured, unless otherwise indicated. Symbols shown are not to scale. Only visible utility services and/or encumbrances were located and shown.
Remove not the ancient landmark, which thy fathers have set. Prov. 22:28
Cursed be he that removeth his neighbor's landmark. And the people shall say Amen. Deuteronomy 27:17.

Survey Legend:
● IP Found
○ Set 1/2" Rebar w/cap
⊕ Utility Pole
D Deeded
M Measured

UNAUTHORIZED ALTERATION OR ADDITION TO THIS ENGINEERING DRAWING IS A VIOLATION OF SECTION 7209 PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

266805-001





Property Description Report For: 41 Mill St, Municipality of V. Ellicottville

No Photo Available

Status:	Active
Roll Section:	Taxable
Swis:	043601
Tax Map ID #:	55.044-1-4.3
Property Class:	311 - Res vac land
Site:	RES 1
In Ag. District:	No
Site Property Class:	311 - Res vac land
Zoning Code:	02
Neighborhood Code:	36100 - Vil-South East
School District:	Ellicottville
Total Assessment:	2023 - \$48,000
Property Desc:	
Deed Page:	5224
Grid North:	827807
Total Acreage/Size:	16.6 x 568
Land Assessment:	2023 - \$48,000
Full Market Value:	2023 - \$73,846
Equalization Rate:	----
Deed Book:	20222
Grid East:	1126270

Area

Living Area:	0 sq. ft.	First Story Area:	0 sq. ft.
Second Story Area:	0 sq. ft.	Half Story Area:	0 sq. ft.
Additional Story Area:	0 sq. ft.	3/4 Story Area:	0 sq. ft.
Finished Basement:	0 sq. ft.	Number of Stories:	0
Finished Rec Room	0 sq. ft.	Finished Area Over Garage	0 sq. ft.

Structure

Building Style:	0	Bathrooms (Full - Half):	0 - 0
Bedrooms:	0	Kitchens:	0
Fireplaces:	0	Basement Type:	0
Porch Type:	0	Porch Area:	0.00
Basement Garage Cap:	0	Attached Garage Cap:	0.00 sq. ft.
Overall Condition:	0	Overall Grade:	
Year Built:		Eff Year Built:	

Owners

Joan M Graci
7 Promise Ln
Bufalo NY 14221

Sales

Sale Date	Price	Property Class	Sale Type	Prior Owner	Value Usable	Arms Length	Add. Parcels	Deed Book and Page
12/1/2022	\$74,000	220 - 2 Family Res	Land & Building	7439 Properties LLC	Yes	Yes	No	20222/5224

Utilities

Sewer Type:	Comm/public	Water Supply:	Comm/public
Utilities:	Gas & elec	Heat Type:	0
Fuel Type:	0	Central Air:	No

Improvements

Structure	Size	Grade	Condition	Year
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Special Districts for 2023

Description	Units	Percent	Type	Value
FD360-Ellicottville fire	0	0%		0
WB360-Water benefit	0	0%		0
WD361-Water 1	0	0%		0

Taxes

Year	Description	Amount
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*** Taxes reflect exemptions, but may not include recent changes in assessment.**



Property Description Report For: 41 Mill St, Municipality of V. Ellicottville



Total Acreage/Size: 73.8 x 368.5
Land Assessment: 2023 - \$33,000
Full Market Value: 2023 - \$655,385
Equalization Rate: ----
Deed Book: 28358
Grid East: 1126280

Status: Active
Roll Section: Taxable
Swis: 043601
Tax Map ID #: 55.044-1-4.1
Property Class: 220 - 2 Family Res
Site: RES 1
In Ag. District: No
Site Property Class: 220 - 2 Family Res
Zoning Code: 02
Neighborhood Code: 36100 - Vil-South East
School District: Ellicottville
Total Assessment: 2023 - \$426,000

Property Desc:
Deed Page: 8001
Grid North: 827930

Area

Living Area: 2,920 sq. ft.	First Story Area: 1,838 sq. ft.
Second Story Area: 1,082 sq. ft.	Half Story Area: 0 sq. ft.
Additional Story Area: 0 sq. ft.	3/4 Story Area: 0 sq. ft.
Finished Basement: 636 sq. ft.	Number of Stories: 2
Finished Rec Room: 0 sq. ft.	Finished Area Over Garage: 0 sq. ft.

Structure

Building Style: Duplex	Bathrooms (Full - Half): 4 - 2
Bedrooms: 4	Kitchens: 2
Fireplaces: 2	Basement Type: Full
Porch Type: Porch-covered	Porch Area: 224.00
Basement Garage Cap: 2	Attached Garage Cap: 601.00 sq. ft.
Overall Condition: Good	Overall Grade: Good
Year Built: 2016	Eff Year Built:

Owners

7439 Properties, LLC
 P.O. Box 637
 Ellicottville NY 14731

Sales

Sale Date	Price	Property Class	Sale Type	Prior Owner	Value Usable	Arms Length	Add. Parcels	Deed Book and Page
9/22/2017	\$1	311 - Res vac land	Land & Building	Dixon, Kent	No	No	No	28358/8001
11/7/2016	\$100,000	210 - 1 Family Res	Land & Building	Dixon, Kent	Yes	No	No	26680/5002

Utilities

Sewer Type:	Comm/public	Water Supply:	Comm/public
Utilities:	Gas & elec	Heat Type:	Hot air
Fuel Type:	Natural Gas	Central Air:	Yes

Improvements

Structure	Size	Grade	Condition	Year
Porch-covered	224.00 sq ft	Good	Good	2016
Porch-open/deck	210.00 sq ft	Good	Good	2016
Gar-1.0 att	601.00 sq ft	Good	Good	2016
Gar-1.0 att	601.00 sq ft	Good	Good	2016

Special Districts for 2023

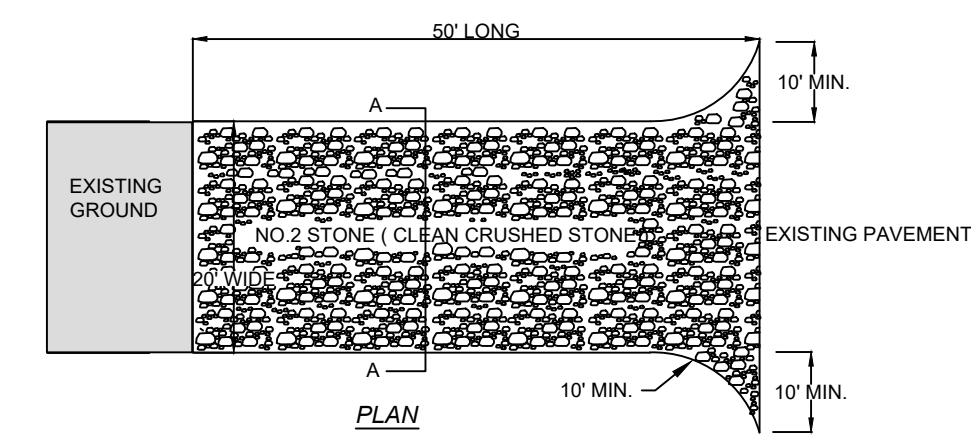
Description	Units	Percent	Type	Value
WB360-Water benefit	0	0%		0
FD360-Ellicottville fire	0	0%		0
WD361-Water 1	0	0%		0

Taxes

Year	Description	Amount
2021	County	\$6,152.09
2020	County	\$6,602.53
2020	School	\$4,162.84
2020	Village	\$918.73

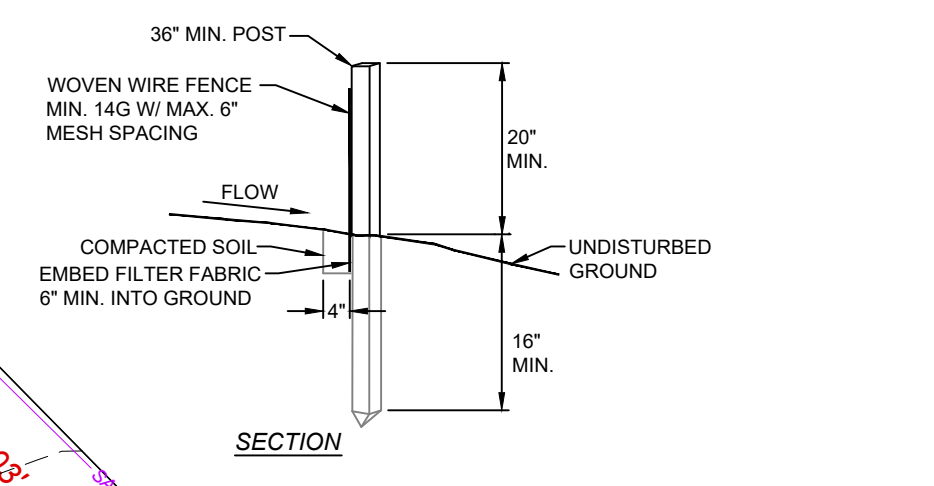
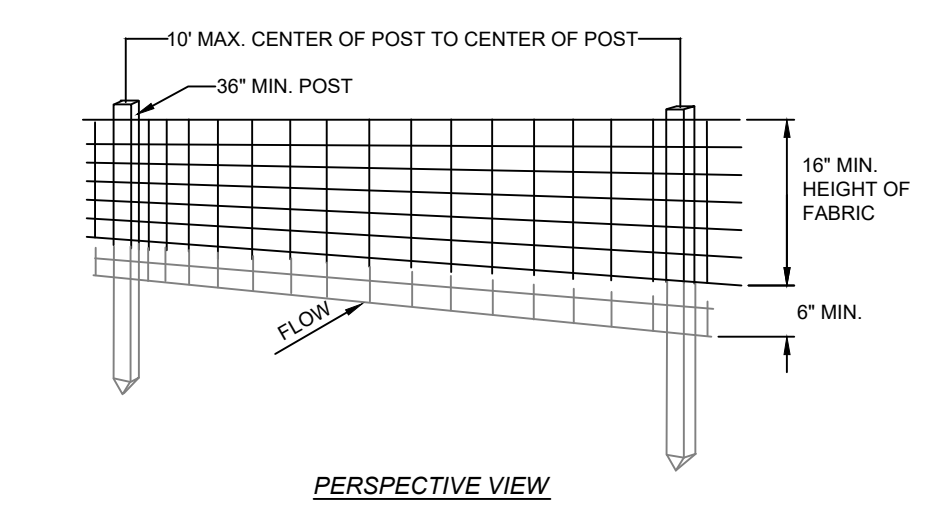
*** Taxes reflect exemptions, but may not include recent changes in assessment.**

CARL R. CALARCO, P.E.
 NYS LIC # 088460
 P.O. BOX 693
 ELLICOTTVILLE, NEW YORK 14731
 716-244-8313
 CRALARCO@VERIZON.NET



- NOTES:
1. STONE SIZE NO.2 (CLEAN CRUSHED STONE).
 2. PLACE FILTER FABRIC OVER ENTIRE AREA PRIOR TO PLACING STONE.
 3. ALL SURFACE WATER FLOWING TOWARD CONSTRUCTION ENTRANCE TO BE PIPED ACROSS THE ENTRANCE.
 4. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC R.O.W. SHALL BE REMOVED IMMEDIATELY.
 5. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM.

STABILIZED CONSTRUCTION ENTRANCE
 N.T.S.



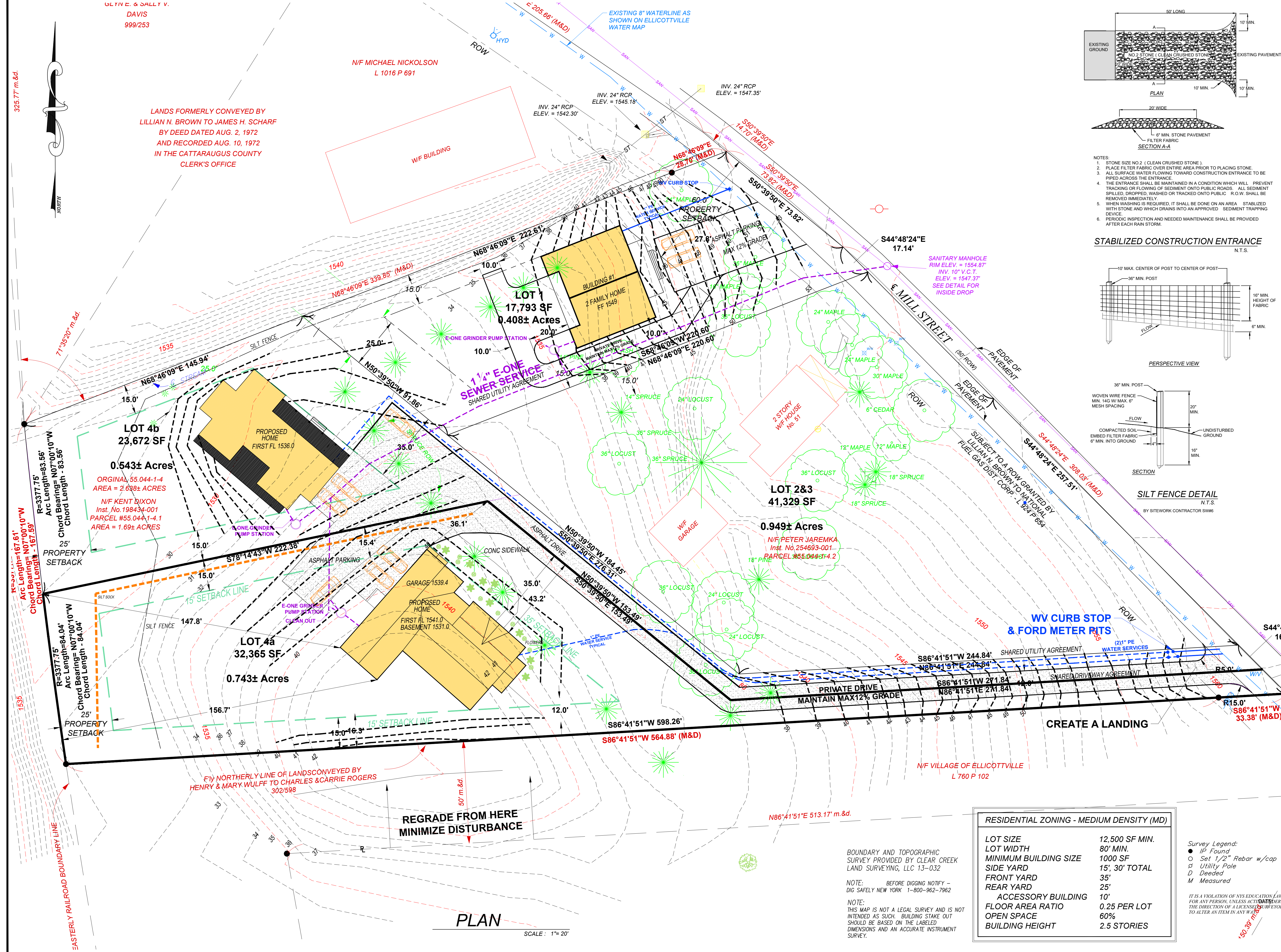
SILT FENCE DETAIL
 N.T.S.
 BY SITEWORK CONTRACTOR SW#6

PROPOSED SITE PLAN

AARON B. TILLER
 COMMERCIAL, INDUSTRIAL, RESIDENTIAL
 CAD SERVICES
 5 PINE STREET
 ALLEGANY, NEW YORK 14706
 716-307-3684
 AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN
 FOR
GRACI & GIOIA RESIDENCE
 MILL STREET
 ELLICOTTVILLE, NEW YORK 14731

REVISION DATE:	DRAWN BY:
DRAWING NO:	REVIEWED BY:
C101	



RESIDENTIAL ZONING - MEDIUM DENSITY (MD)

LOT SIZE	12,500 SF MIN.
LOT WIDTH	80' MIN.
MINIMUM BUILDING SIZE	1000 SF
SIDE YARD	15', 30' TOTAL
FRONT YARD	35'
REAR YARD	25'
ACCESSORY BUILDING	10'
FLOOR AREA RATIO	0.25 PER LOT
OPEN SPACE	60%
BUILDING HEIGHT	2.5 STORIES

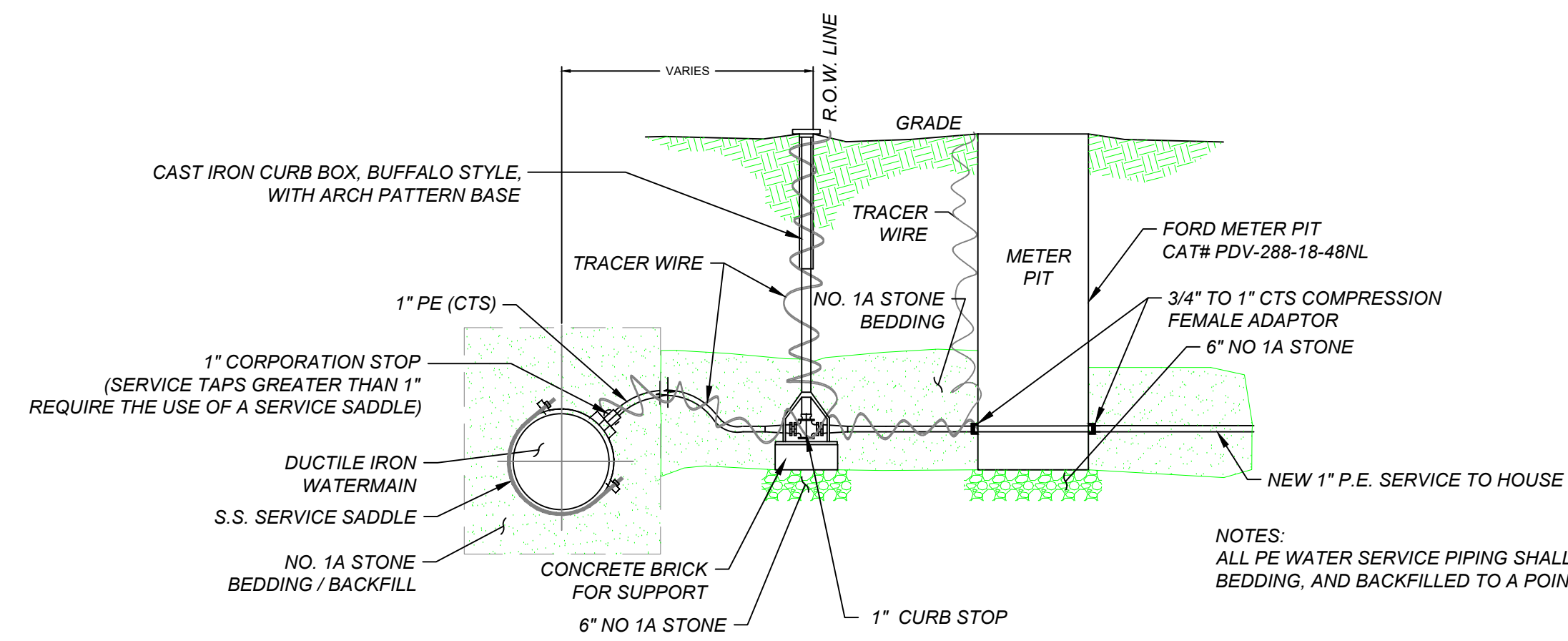
BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY CLEAR CREEK LAND SURVEYING, LLC 13-032

NOTE: BEFORE DIGGING NOTIFY - DIG SAFELY NEW YORK 1-800-962-7962

NOTE: THIS MAP IS NOT A LEGAL SURVEY AND IS NOT INTENDED AS SUCH. BUILDING STAKE OUT SHOULD BE BASED ON THE LABELED DIMENSIONS AND AN ACCURATE INSTRUMENT SURVEY.

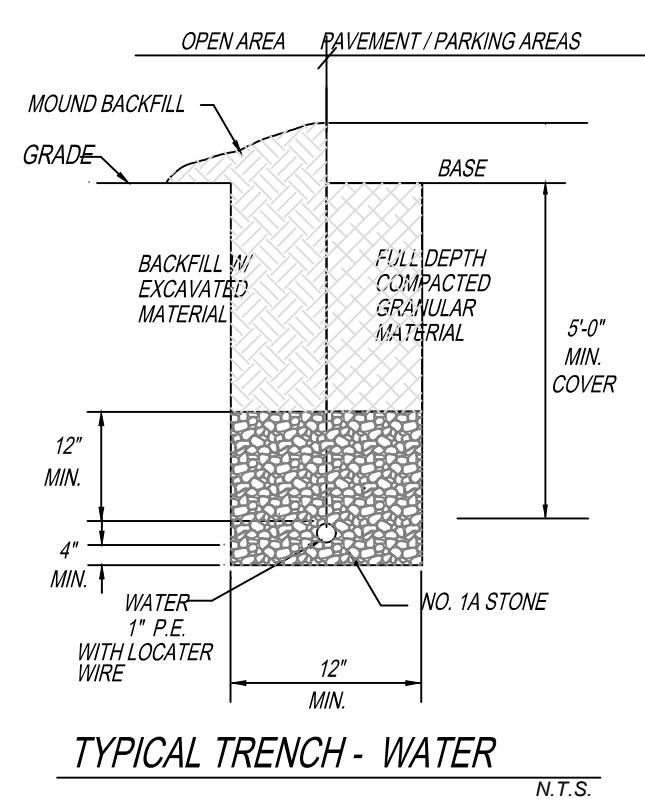
Survey Legend:
 ● IP Found
 ○ Set 1/2" Rebar w/cap
 ♂ Utility Pole
 D Deeded
 M Measured

IT IS A VIOLATION OF NYS EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED SURVEYOR TO ALTER AN ITEM IN ANY MANNER

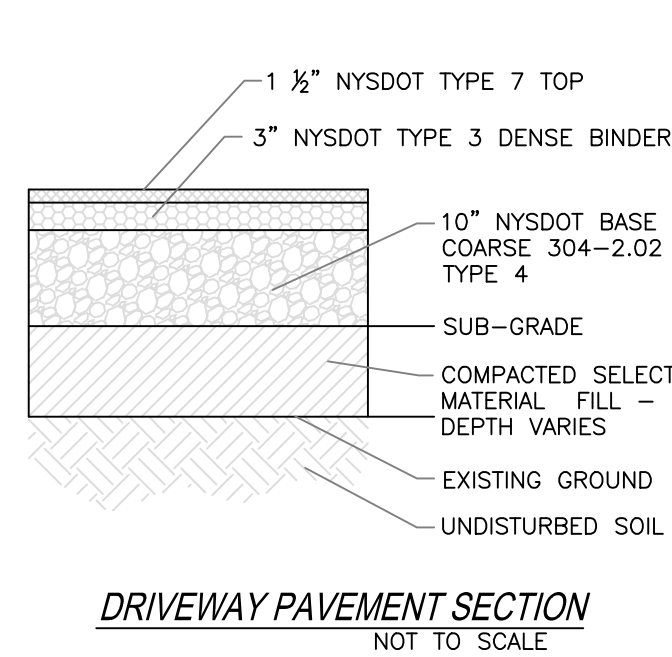


TYPICAL NEW WATER SERVICE
(D.I. WATERMAIN) N.T.S.

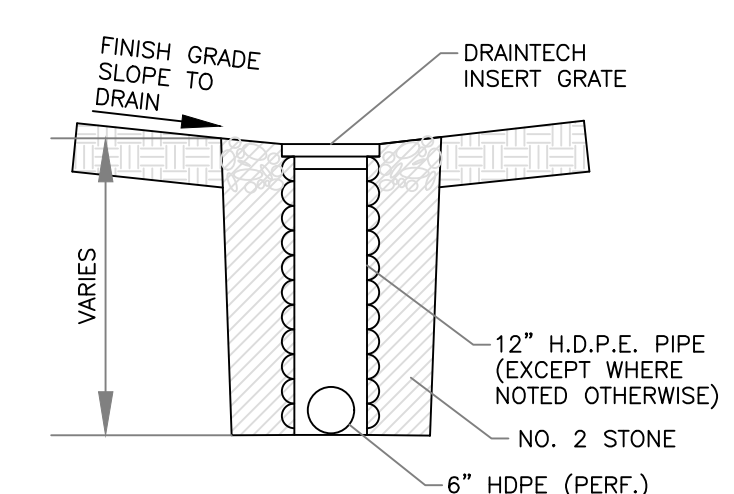
NOTES:
ALL PE WATER SERVICE PIPING SHALL BE INSTALLED IN 6" OF NO. 1A STONE BEDDING, AND BACKFILLED TO A POINT 12" OVER THE PIPING WITH NO. 1A STONE



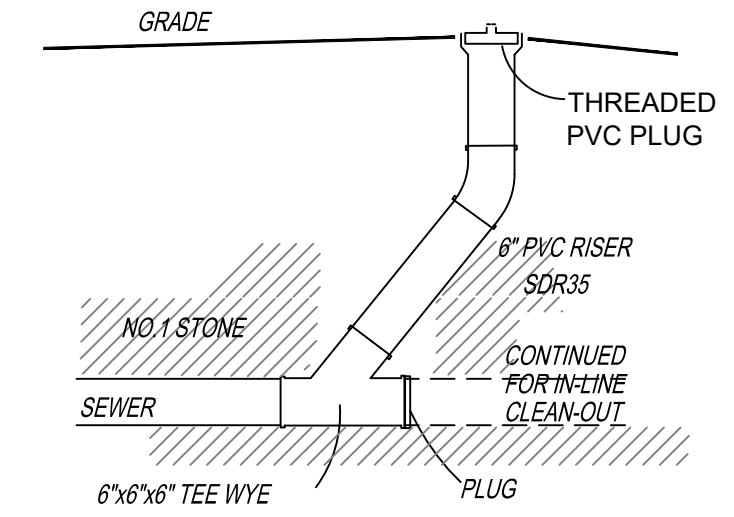
TYPICAL TRENCH - WATER
N.T.S.



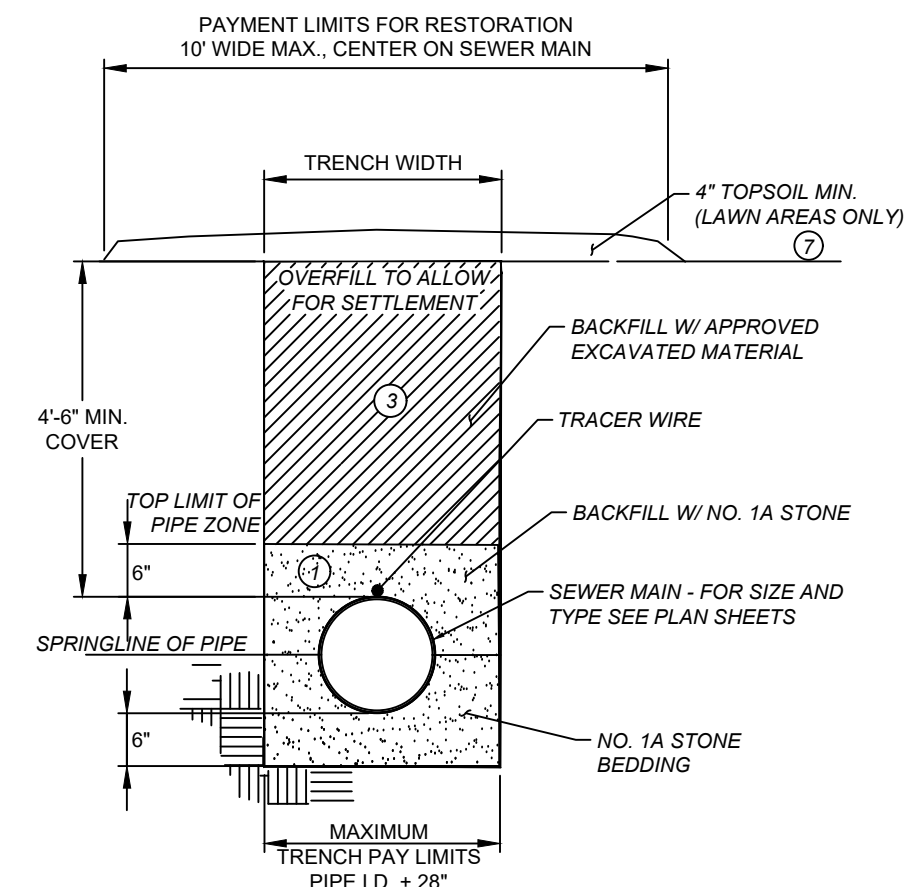
DRIVEWAY PAVEMENT SECTION
NOT TO SCALE



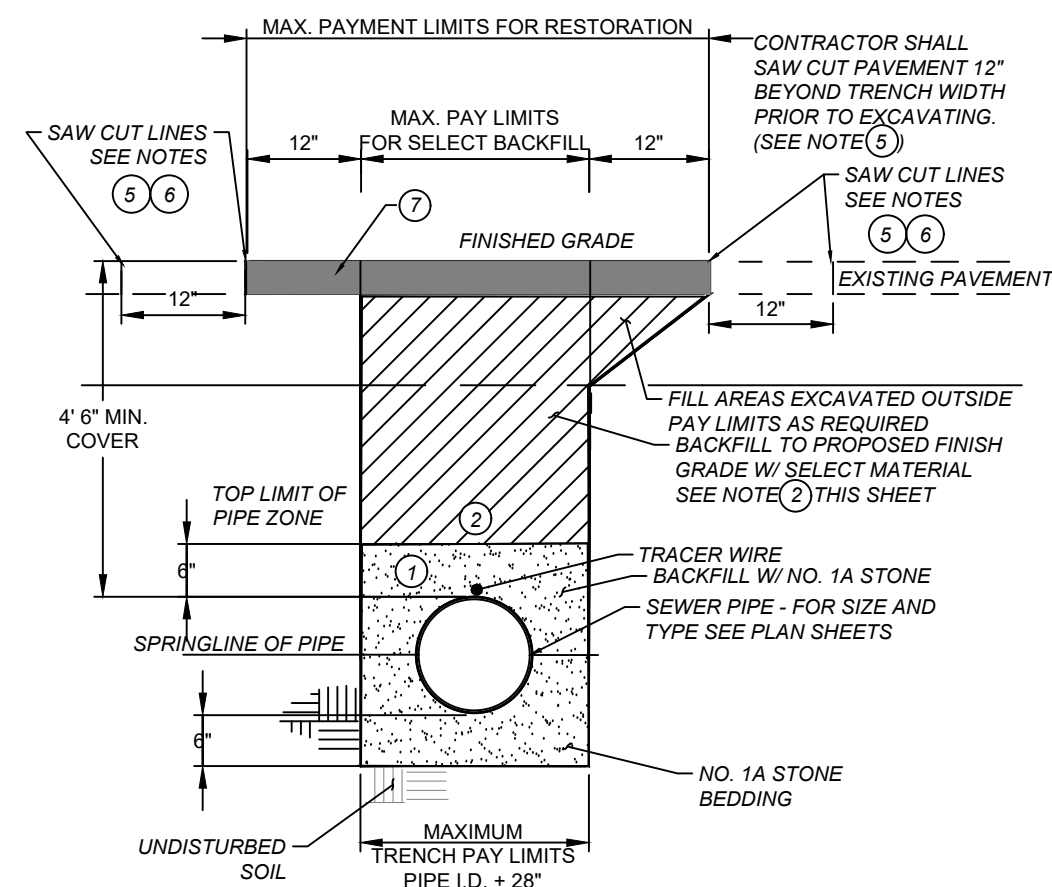
CLEAN-OUT / LAWN DRAIN
NOT TO SCALE



STORM CLEAN-OUT
N.T.S.

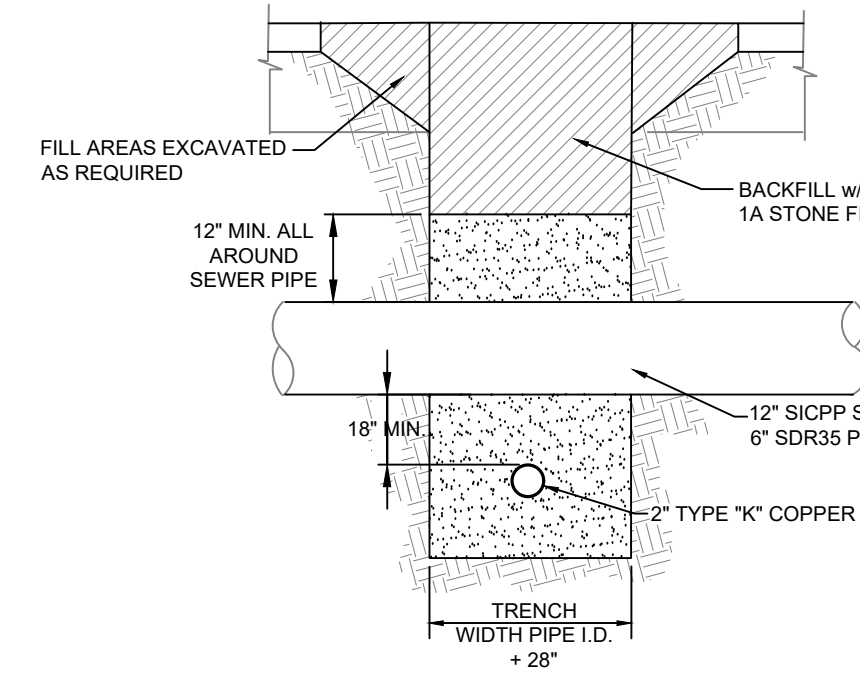


LAWN / FIELD AREAS
TYPICAL OPEN CUT TRENCH - SEWER
(H.D.P.E. SEWER MAIN) N.T.S.

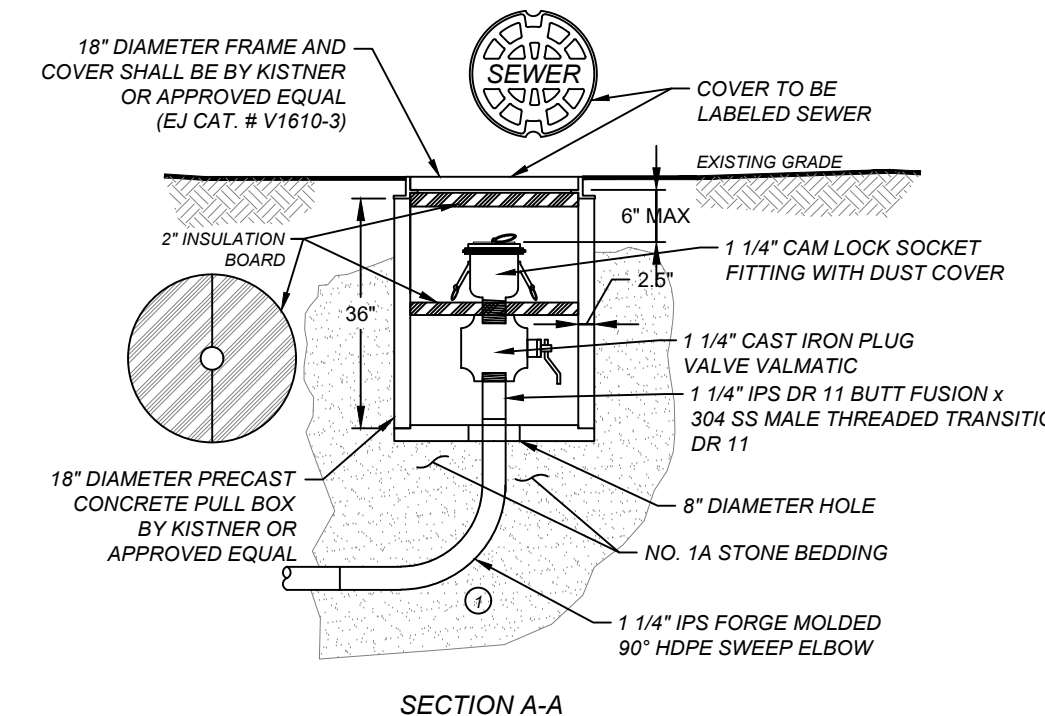


PAVEMENT, DRIVEWAY, SHOULDER & SIDEWALK
TYPICAL OPEN CUT TRENCH - SEWER
(H.D.P.E. SEWER MAIN) N.T.S.

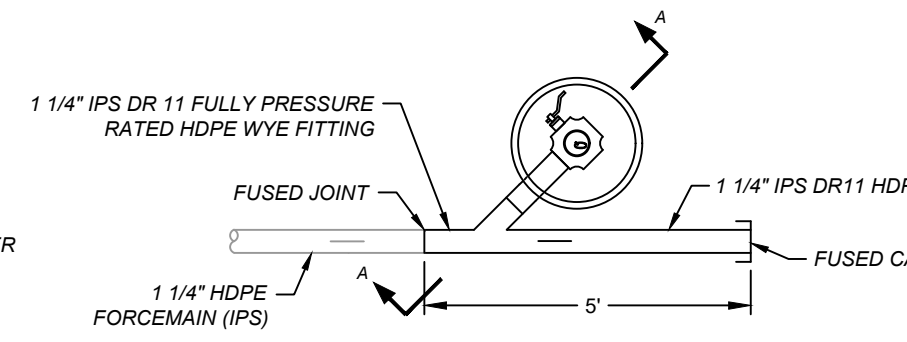
NOTE:
WHEN HDPE PIPE IS INSTALLED BY BORING, PUSHING OR DIRECTIONAL DRILLING, THE TRACER WIRE SHALL BE FASTENED DIRECTLY TO THE PIPE. WHEN IN OPEN CUT, TRACER WIRE SHALL BE TAPED TO TOP OF PIPE BEFORE BACKFILL.



TYPICAL SEWER / WATER CROSSING
N.T.S.

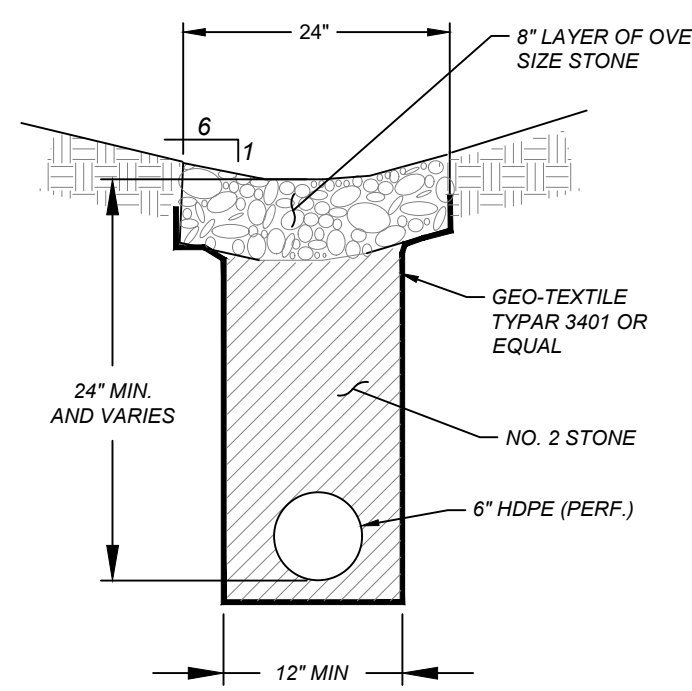


SECTION A-A



NOTES:
1. EACH FORCEMAIN CLEANOUT ASSEMBLY SHALL HAVE MECHANICALLY RESTRAINED JOINTS OR THRUST BLOCKING AS REQUIRED.
2. WHEN SELECT BACKFILL MATERIAL IS REQUIRED, THE PAYMENT LIMIT SHALL EXTEND TO 12" FROM THE OUTSIDE FACE OF THE CLEANOUT PULL BOX ALL THE WAY AROUND THE CLEANOUT PULL BOX.

1 1/4" CLEANOUT ASSEMBLY DETAIL
N.T.S.



FRENCH DRAIN DETAIL
N.T.S.

GENERAL NOTES

1. **PIPE BEDDING MATERIAL**
NO. 1 CRUSHED STONE, CRUSHED GRAVEL OR SCREENED GRAVEL, CONFORMING WITH NYSDOT STANDARD SPECIFICATION 605.02 AND 705.02. THE BEDDING MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN 1/8 INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS AS SHOWN IN THE FOLLOWING TABLE. THE BEDDING SHALL BE COMPACTED IN 4-INCH LIFTS WITH EQUIPMENT ACCEPTABLE TO THE ENGINEER. IN ADDITION TO THESE NOTES, THE CONTRACTOR SHALL REFER TO TECHNICAL SPECIFICATION SECTION 60201 FOR BEDDING MATERIAL.

PIPE SIZE	PERCENT PASSED BY SIEVE
1 INCH	100
12 INCH	80-90
18 INCH	90-95
NO. 200	0-10

2. **SELECT MATERIAL BACKFILL**
SELECT BACKFILL MATERIAL SHALL BE CRUSHED STONE, CRUSHED GRAVEL OR SCREENED GRAVEL, CONFORMING WITH NYSDOT STANDARD SPECIFICATION 605.02 AND 705.02. THE BEDDING MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN 1/8 INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS AS SHOWN IN THE FOLLOWING TABLE. THE BEDDING SHALL BE COMPACTED IN 4-INCH LIFTS WITH EQUIPMENT ACCEPTABLE TO THE ENGINEER. IN ADDITION TO THESE NOTES, THE CONTRACTOR SHALL REFER TO TECHNICAL SPECIFICATION SECTION 60201 FOR BEDDING MATERIAL.

PIPE SIZE	PERCENT PASSED BY SIEVE
12 INCH	100
18 INCH	80-90
24 INCH	90-95
NO. 200	0-10

3. **EXCAVATED MATERIAL BACKFILL**
IF THE NATIVE EXCAVATED MATERIAL IS DEEMED TO BE SUITABLE PLACE AND COMPACT BY APPROVED MECHANICAL MEANS IN 8" LIFTS TO ACHIEVE 98% PROCTOR DENSITY. REMOVE ANY DEBRIS, FROZEN MATERIAL, LARGE CLODS OR STONES, AND ORGANIC MATTER WITHIN 2 FEET OF THE TOP OF PIPE.

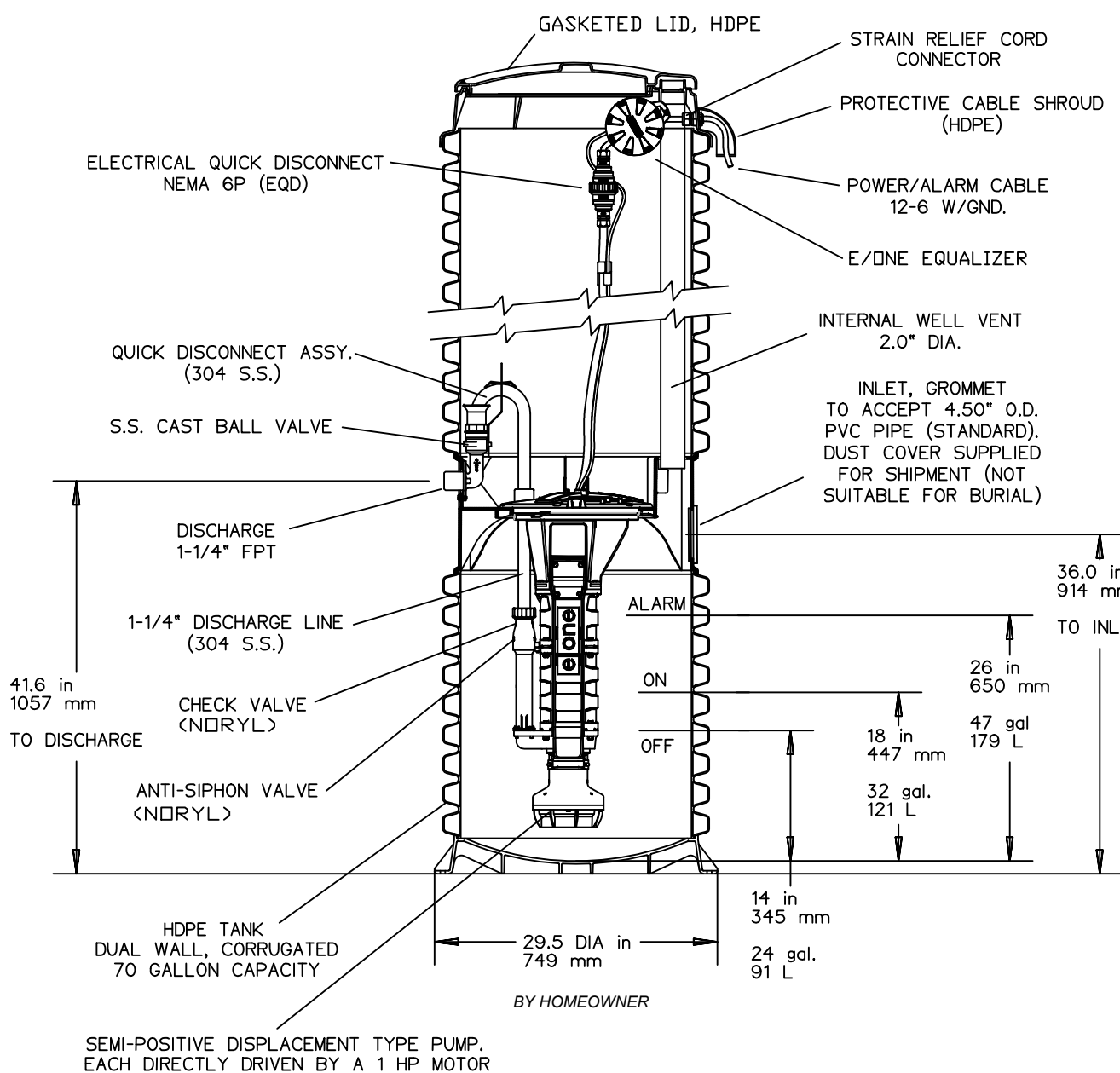
4. **STONE FILL**
HYSDOT LIGHT, MEDIUM OR HEAVY STONE FILL (NYSDOT ITEM NO. 620.03, 620.04, OR 620.05) CONFORMING TO HYSDOT SECTION 620.03 WITH GEOTEXTILE FABRIC.

5. **SAW CUTS**
SAW CUTS BY THE CONTRACTOR SHALL BE MADE WITH A SAW, PNEUMATIC SPADE OR OTHER MEANS APPROVED BY THE ENGINEER, PRIOR TO EXCAVATION. THE USE OF A "PIZZA CUTTER" OR SIMILAR DEVICE WILL BE PROHIBITED.

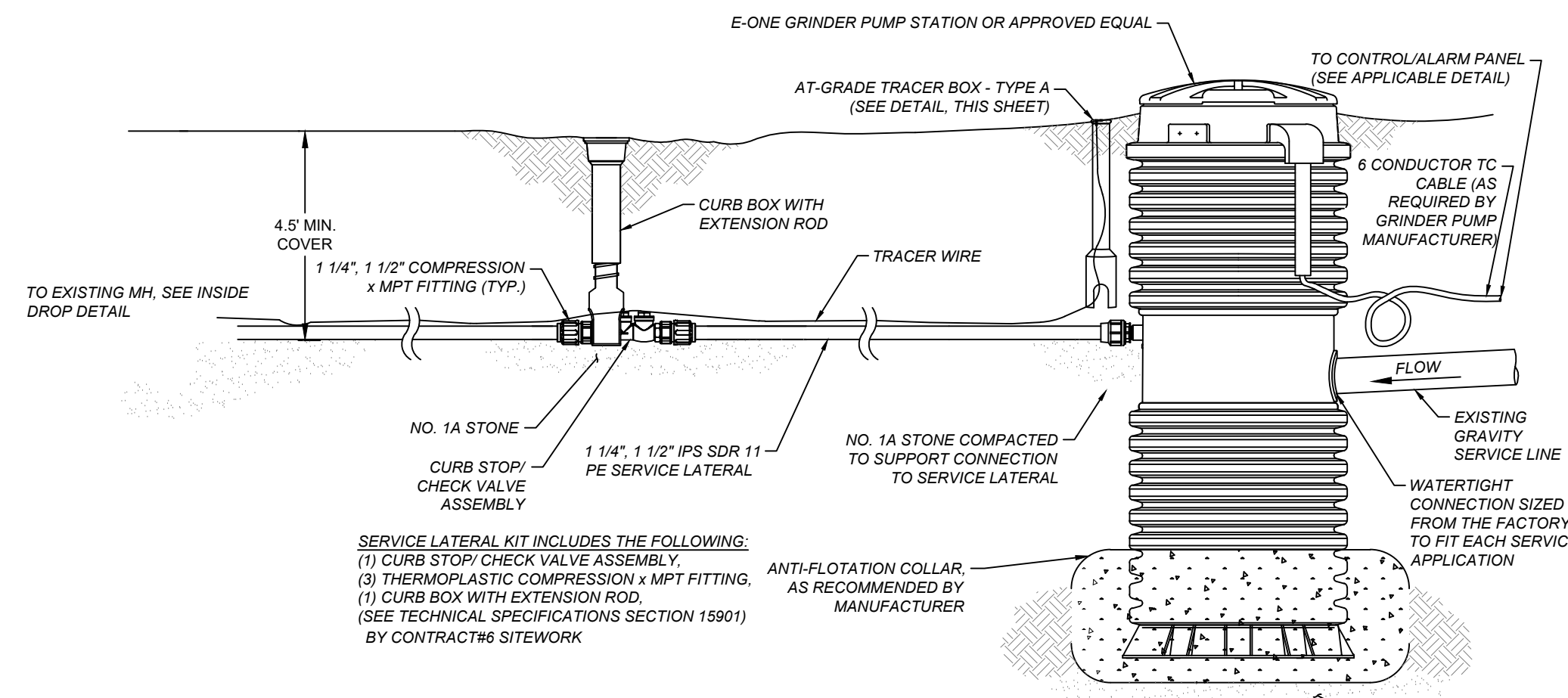
6. **ADDITIONAL SAW CUTS**
THE CONTRACTOR SHALL BE RESPONSIBLE TO SAW CUT AN ADDITIONAL 12" ON EACH SIDE OF THE DISTURBED TRENCH AREA, BEYOND THE ORIGINAL SAW CUT, SO AS TO PROVIDE A SQUARE STRAIGHT EDGE. IF THE ORIGINAL EDGE HAS BEEN DAMAGED OR BROKEN OFF, NO ADDITIONAL COMPENSATION SHALL BE PROVIDED FOR THIS WORK WHEN REQUIRED.

7. **FINAL RESTORATION**
THE CONTRACTOR SHALL REFER TO THE FOLLOWING TABLE AND TO THE APPLICABLE TECHNICAL SPECIFICATION SECTIONS FOR FINAL RESTORATION OF ALL TYPES.

TYPE OF RESTORATION	TECHNICAL SPECIFICATION SECTION	NOTES
LAWN RESTORATION	620.01	1" OF TOPSOIL, 100 LBS PER ACRE
FIELD RESTORATION	620.02	1" OF TOPSOIL, 100 LBS PER ACRE
CONCRETE DRIVEWAY RESTORATION	620.03	SEE CONCRETE WORKMAN DETAIL, THIS SHEET
CONCRETE RESTORATION (SHOULDER)	620.04	SEE SHOULDER SECTION, THIS SHEET
POVERTY RESTORATION (SHOULDER)	620.05	SEE SHOULDER SECTION, THIS SHEET
SHOULDER RESTORATION	620.06	SEE SHOULDER SECTION, THIS SHEET



E-ONE GRINDER PUMP
N.T.S.



TYPICAL LATERAL INSTALLATION
N.T.S.

CARL R. CALARCO, P.E.
NYS LIC # 088460
P.O. BOX 693
ELLCOTTVILLE, NEW YORK 14731
716-244-8313
CRCALCARCO@VERIZON.NET

PROPOSED DETAILS

AARON B. TILLER
COMMERCIAL, INDUSTRIAL, RESIDENTIAL CAD SERVICES
5 PINE STREET
ALLEGANY, NEW YORK 14706
716-307-3684
AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN FOR
GRACI & GIOIA RESIDENCE
MILL STREET
ELLCOTTVILLE, NEW YORK 14731

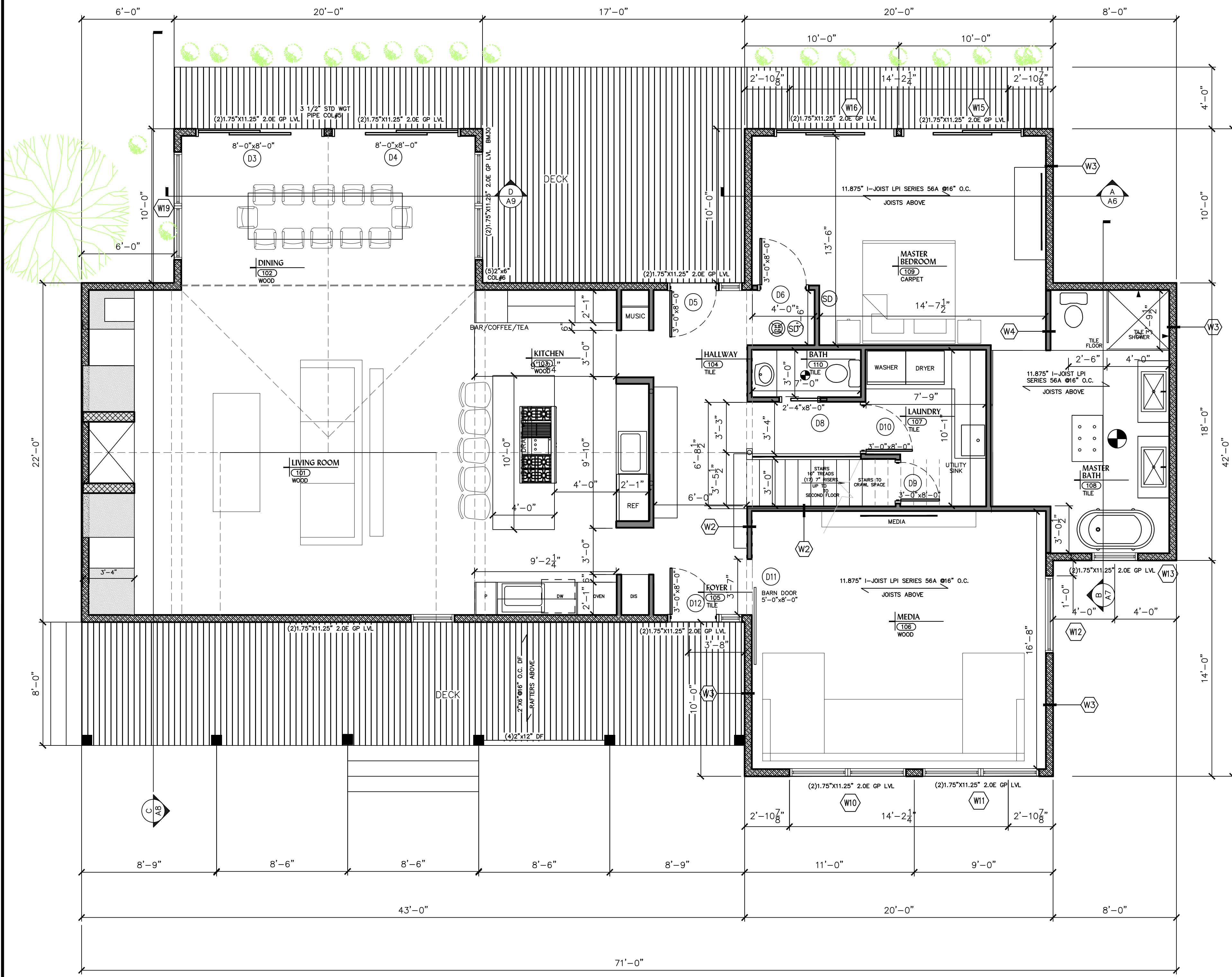
REVISION DATE: DRAWN BY:
REVIEWED BY:
1-31-2024
DRAWING NO: **C102**

PROPOSED
 FIRST FLOOR PLAN

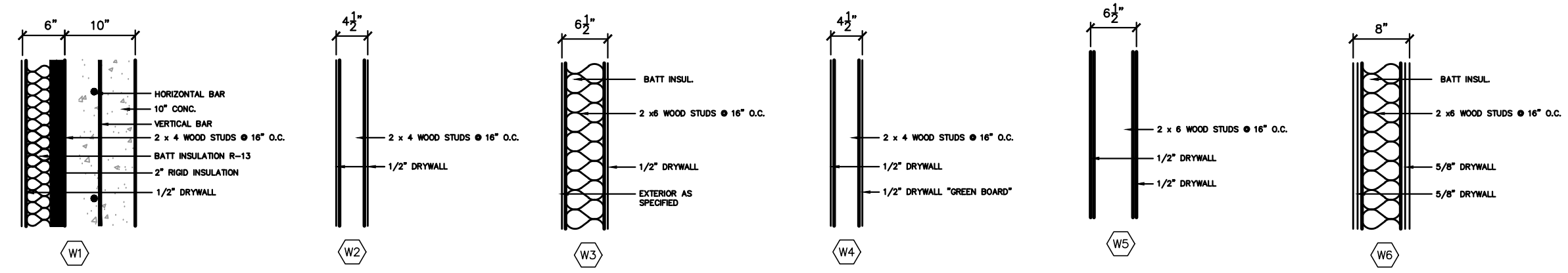
AARON B. TILLER
 COMMERCIAL, INDUSTRIAL, RESIDENTIAL
 CAD SERVICES
 5 PINE STREET
 ALLEGANY, NEW YORK 14706
 716-307-3684
 AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN
 FOR
**GIOIA
 RESIDENCE**

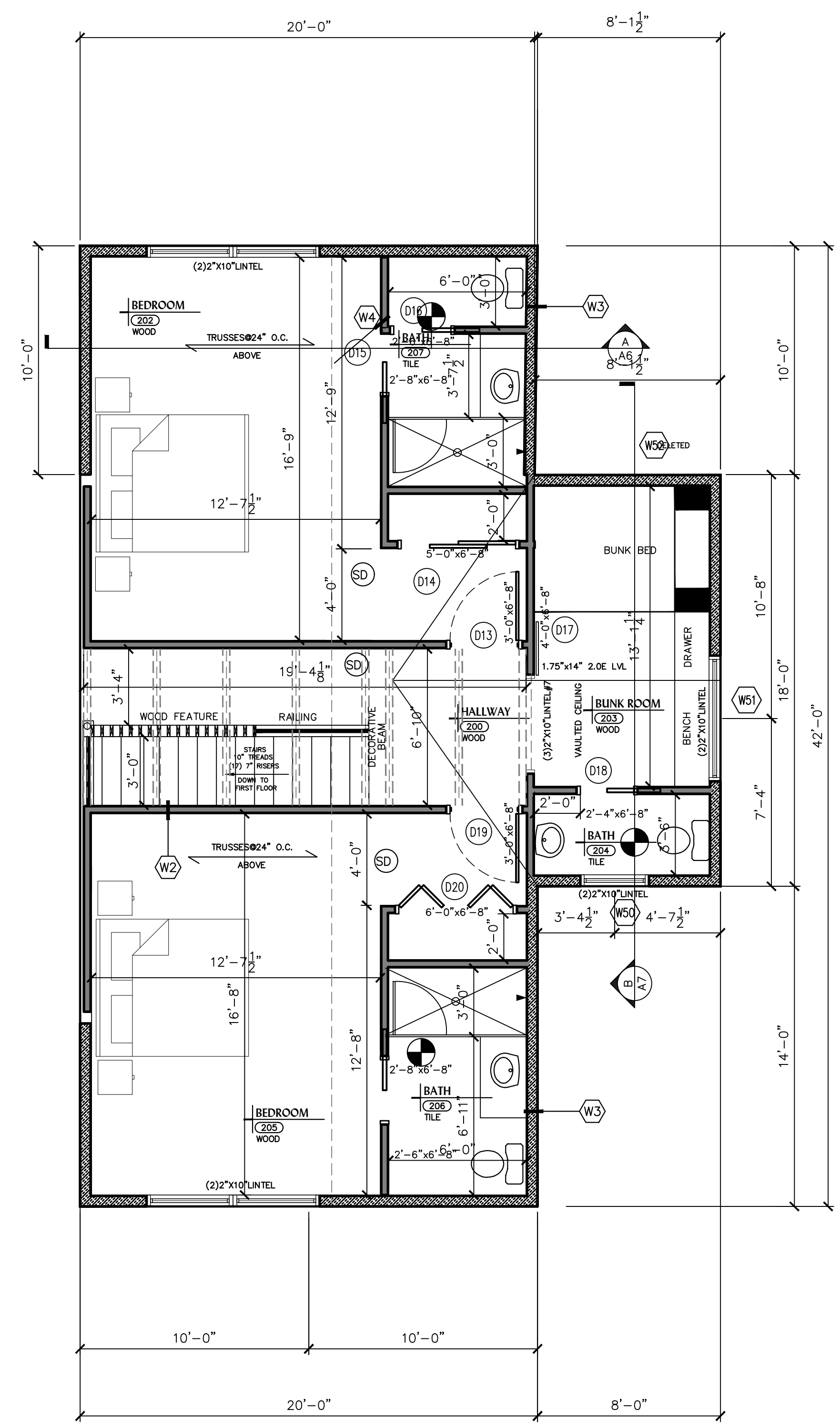
REVISION DATE:	DRAWN BY:
DATE:	REVIEWED BY:
DRAWING NO:	A101



FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"
 AREA= 2,130 SF



WALL TYPE SCHEDULE
 SCALE: NTS



SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"
 AREA= 983 SF