



**TOWN AND VILLAGE OF  
ELLCOTTVILLE BUILDING & PLANNING  
DEPARTMENT**



PO BOX 600, ELLICOTTVILLE, NY 14731

Planner: Greg Keyser, (716) 801-3016, E-MAIL: [greg.keyser@evlengineering.com](mailto:greg.keyser@evlengineering.com)

Code Officer: Kelly Fredrickson, (716) 699-4773, E-MAIL: [kelly.fredrickson@evlengineering.com](mailto:kelly.fredrickson@evlengineering.com)

## COMBINED APPLICATION

Jurisdiction:	<input type="checkbox"/> TOWN	<input checked="" type="checkbox"/> VILLAGE	App. # <u>2P24-0003</u>
<input type="checkbox"/> PRE-APPLICATION CONFERENCE	<input type="checkbox"/> SPECIAL USE PERMIT		
<input type="checkbox"/> INTENT TO SUBDIVIDE	<input type="checkbox"/> MASTER PLANNED DEVELOPMENT		
<input checked="" type="checkbox"/> HISTORIC DISTRICT REVIEW	<input checked="" type="checkbox"/> ARCHITECTURAL DESIGN REVIEW		
<input type="checkbox"/> SITE PLAN REVIEW	<input type="checkbox"/> AMENDMENT TO SITE PLAN		
<input type="checkbox"/> ZONING ORDINANCE AMENDMENT	<input type="checkbox"/> ZONING MAP AMENDMENT		

**APPLICANT INFORMATION:**

Applicant's name: Town of Ellicottville Date: 1/29/2024

Mailing address: 1 W Washington Street, PO Box 600

Cell Phone Number: n/a E-Mail: n/a

Applicant must be (check all that apply):  Owner  Operator  Lessee

Applicant's Engineer or representative: Ben Slotman, P.E.

Address: 1 W Washington Street, PO Box 600

Phone #: (716) 699-9005 E-Mail: ben.slotman@evlengineering.com

**PROPERTY OWNER INFORMATION (if different than Applicant)**

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Cell Phone Number: \_\_\_\_\_ E-Mail: \_\_\_\_\_

**PROPERTY / FACILITY NAME**

Ellicottville Town Hall

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Address: 1 W Washington Street, PO Box 600

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Property tax map #: 55.035-3-50

Current use of property:  
Municipal government - Town and Village offices

Description of Proposed Project/Use (attach additional pages, survey and plans):  
Replace existing front door and remove existing wall sign

Zoning Requirements from Town/Village Zoning Law

Front yard setback: 10                      Rear yard setback: 5  
Side yard setback: 0/25                      Combined side: 0  
Minimum lot size: \_\_\_\_\_              Width: 20  
Height: 40                                      Floor area ratio: n/a (Village)  
Usable Open space: 20%

Site Information

Size of site: 18,600 Sq. Ft.      Size of area to be developed: 0 Sq. Ft.

Number of proposed lots: n/a

Proposed method of Sanitary Sewage disposal: n/a

Proposed method of Water Supply: n/a

If public utilities are proposed, are they available to site?

Sanitary Sewer:  Yes     No      Water:  Yes     No

Will the project require the formation or extension of a Water and/or Sanitary Sewer District?

Sanitary Sewer:  Yes     No      Water:  Yes     No

Main Structure:

Construction type: Brick                      Front yard setback: 75 feet  
Height: 2 stories, 47 feet                      Side yard setback: 0/40 feet  
# of family units: n/a                              Total of both side yard setbacks: 40 feet  
Size of lot: 18,600 Sq. Ft.                      Rear yard setback: 40 feet  
Usable Open Space: 57% %                      Floor area ratio: n/a (village)  
Corner or interior lot? Yes                      Other: \_\_\_\_\_

Accessory Building:

Description:

n/a

Percentage of yard: n/a                      Height: n/a feet

Setback from rear lot line: n/a feet      Setback from side lot line: n/a feet

Floodplain:

FIRM Zone n/a

BFE n/a

Flood Plain Development Permit Required?  YES  NO

**ATTACHMENTS**

Attach all relevant items listed in the Town/Village of Ellicottville Zoning Law for type of application(s) being submitted. Additional copies of all plans, documents and other application materials may be required. See attached list of required forms and information needed for type of application being submitted. Deadline for submittal is three (3) weeks prior to regularly scheduled meeting date. Meeting dates are subject to change by the Board Chair.

**SIGNATURES**

Applicant and Owner (if different) must sign the application.

I hereby certify that I have examined this application and know the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The acceptance or approval of this application does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction, land use or the performance of construction. I have read and am familiar with the Town/Village of Ellicottville zoning law that is relevant to this application(s).

Permission to inspect – I hereby consent to Town/Village of Ellicottville Staff inspection of the project site and adjacent property areas. Town/Village staff may enter the property without notice. Inspection may occur without the owner, applicant or agent present, If the property is posted with “keep out” signs or fenced with an unlocked gate, staff may still enter the property. Agency staff may take measurements, analyze site physical characteristics, take soil and vegetation samples, sketch and photograph the site.

Applicant Signature: [Signature] Date: 1/29/2024  
Applicant must be (check all that apply):  Owner  Operator  Lessee

Applicant Name: <sup>Print</sup> Town of Ellicottville

Property Owner’s Signature (if different than applicant) \_\_\_\_\_ Date: \_\_\_\_\_

Property Owner’s Name: <sup>Print</sup> \_\_\_\_\_

Office use only:

Application Fee(s) \_\_\_\_\_

Received by: \_\_\_\_\_ on \_\_\_\_\_ (Date)

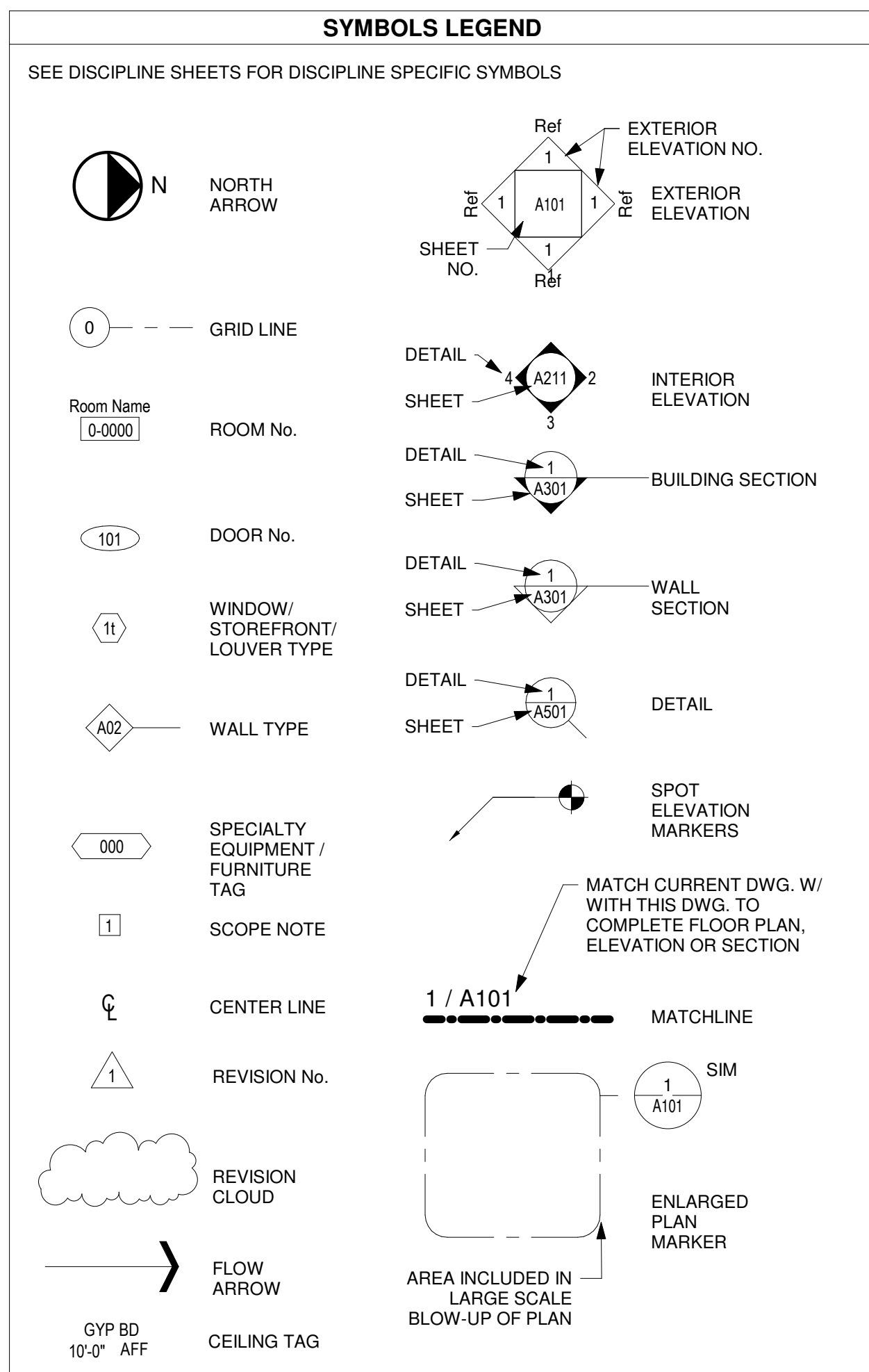
Project Number(s): \_\_\_\_\_

# TOWN HALL ELLICOTTVILLE

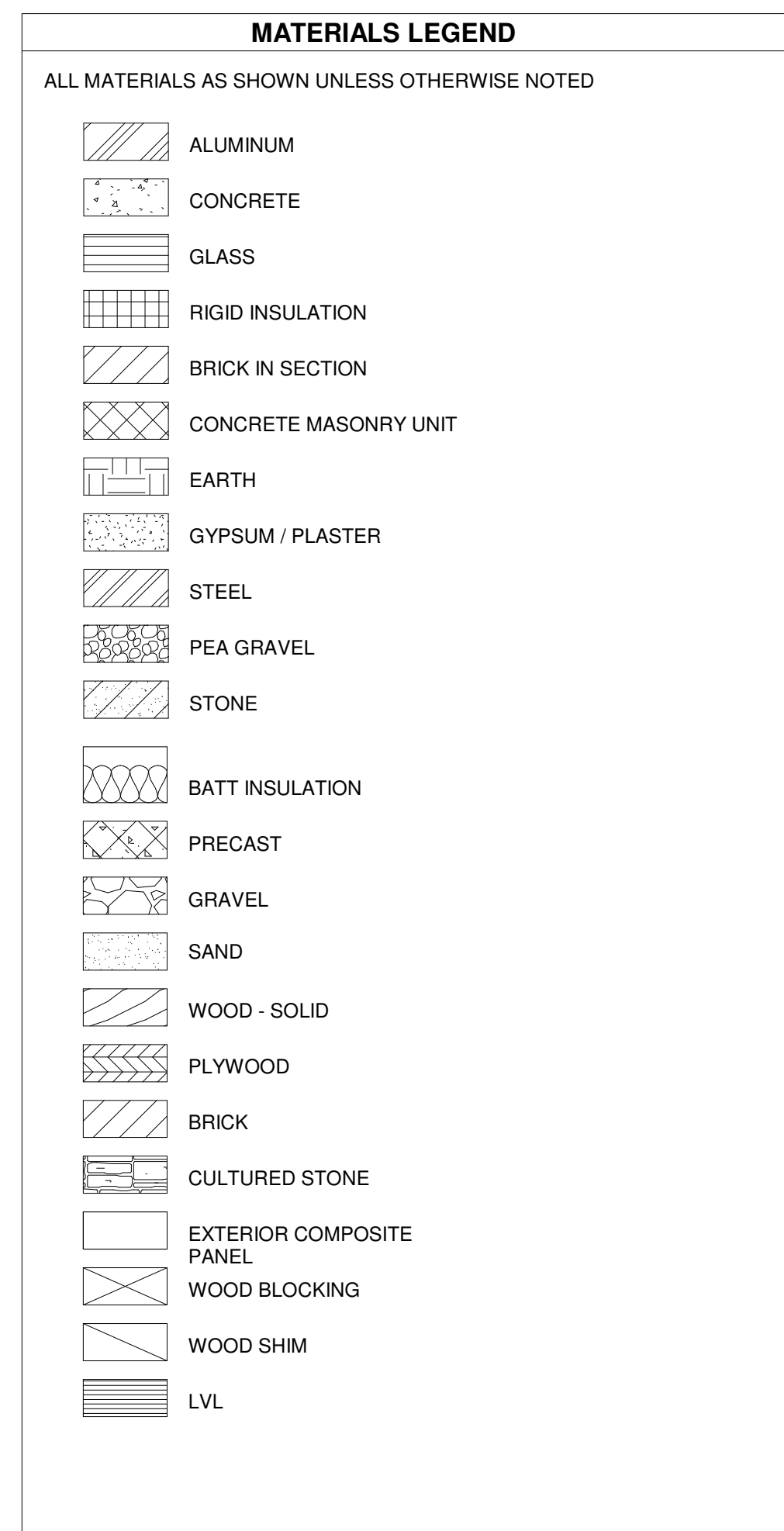
TOWN OF ELLICOTTVILLE  
PROJECT NO. 00410  
CONSTRUCTION DOCUMENT PHASE  
SUBMISSION DATE: JANUARY 25, 2024

FLYNN BATTAGLIA ARCHITECTS  
617 Main Street, Suite 401  
Buffalo, New York 14203  
Telephone (716) 854-2424

## REFERENCE SYSTEMS



## KEY TO MATERIALS

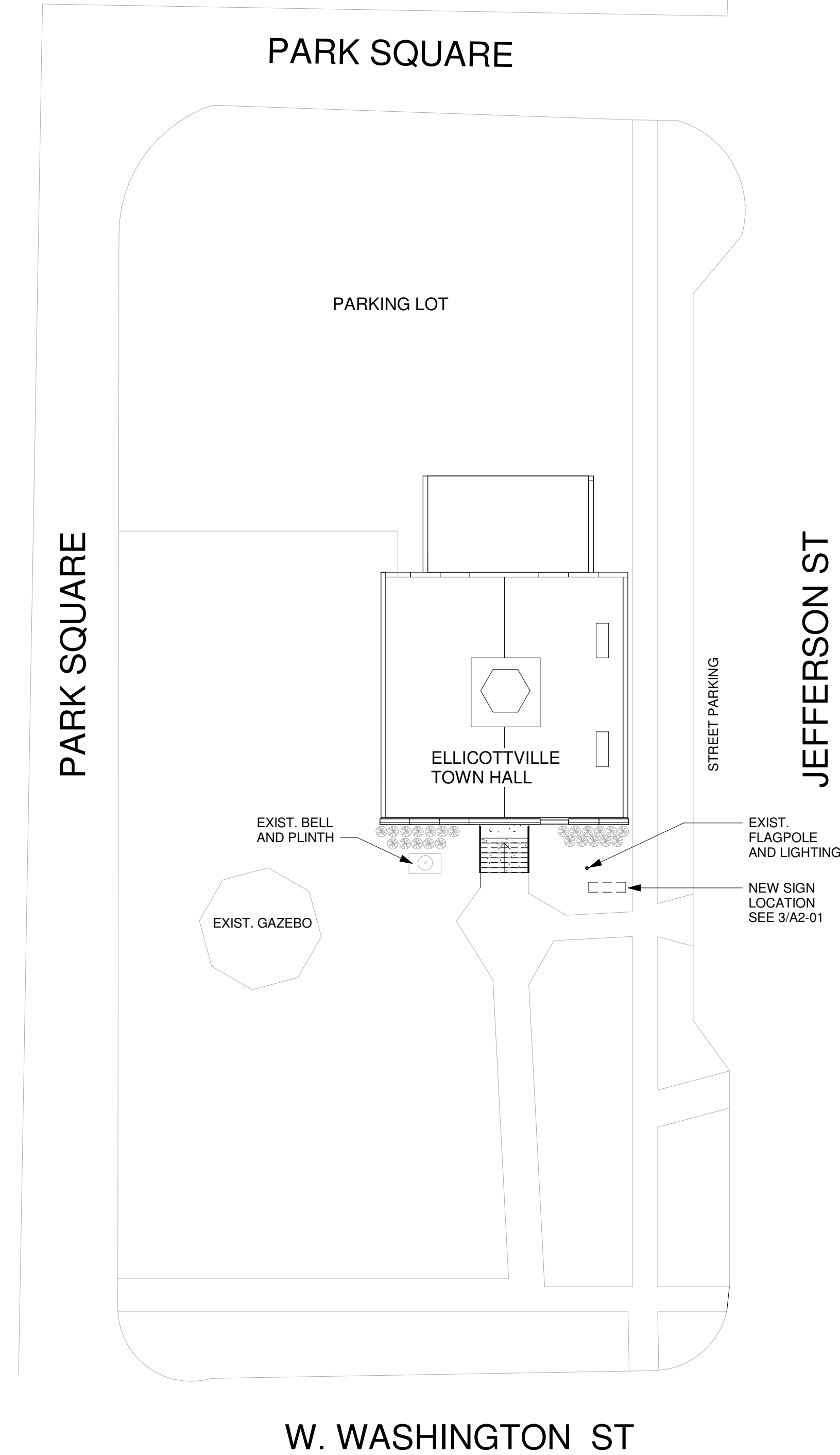


## DRAWING LIST

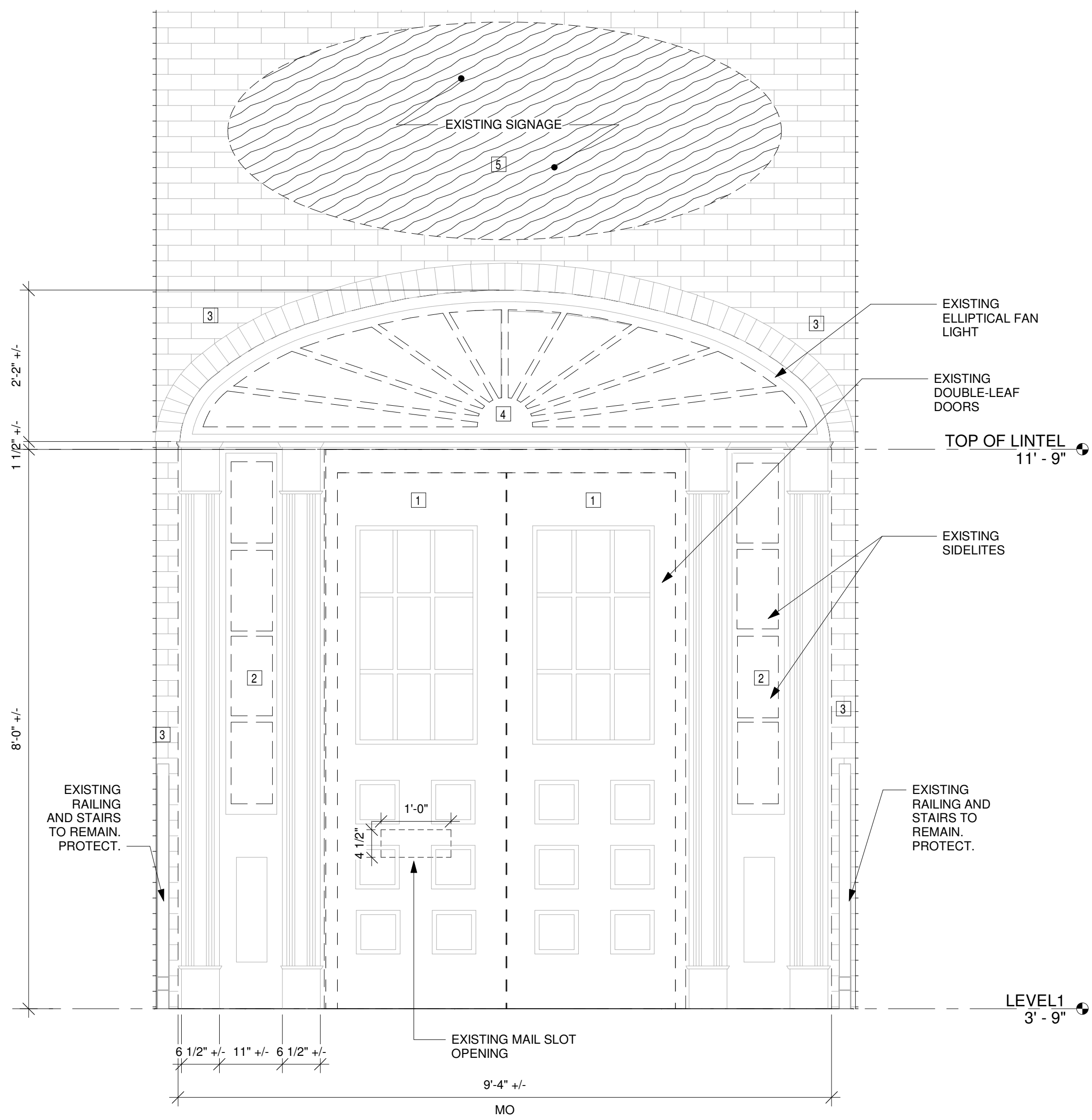
00-00 COVER SHEET  
AD-01 DOOR AND SIGNAGE DEMOLITION  
A1-01 ENTRANCE PLAN - DOOR ELEVATION AND SIDELITE FRAMING  
A1-02 ENTRANCE AND DOOR DETAILS  
A2-01 SOUTH ELEVATION AND SIGNAGE DETAIL

## ABBREVIATIONS

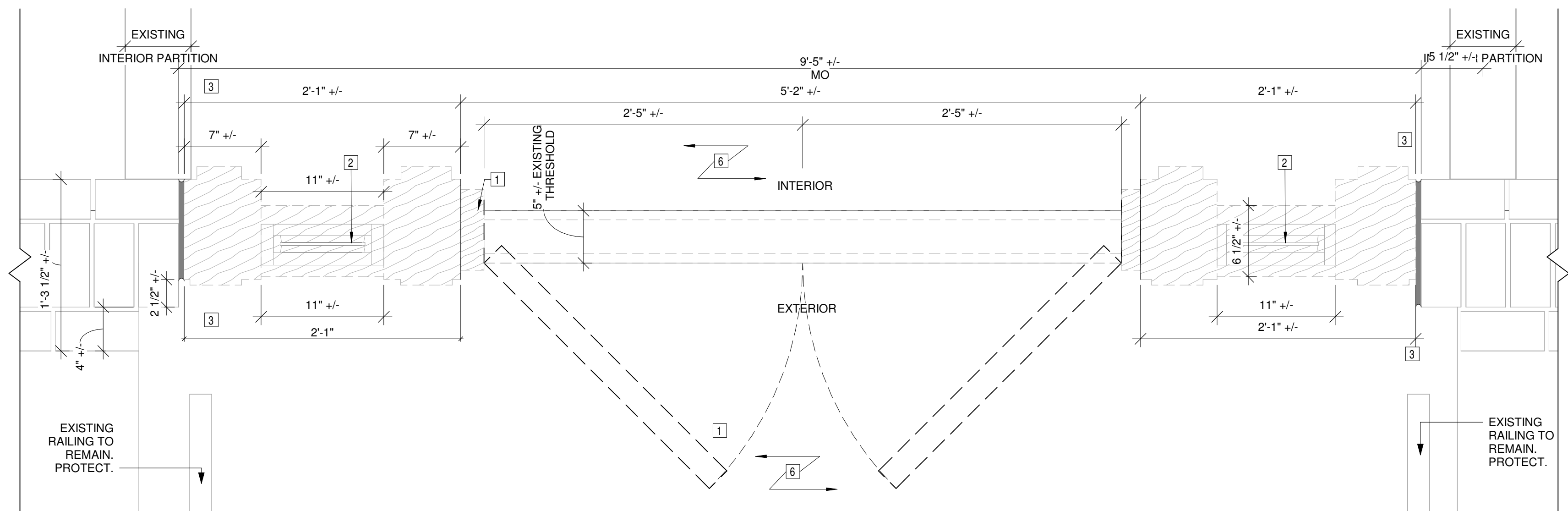
&	AND	GL	GLASS	SAF	SELF ADHERED FLASHING
@	AT	GLAZ	GLAZING	SC	SOLID CORE
AB	ANCHOR BOLT	GRD	GROUND	SCHED	SCHEDULE
ACC	ACCESSIBLE	GRFG	GLASS FIBER REINFORCED GYPSUM	SD	STORM DRAIN
AD	ACCESS DOOR	GSM	GALVANIZED SHEET METAL	SE	SOUTHEAST
ADD	ADDENDUM	GV	GAS VALVE	SECT	SECTION
ADJ	ADJACENT	GWB	GYPSUM WALL BOARD	SF	SQUARE FEET/FOOT
AFF	ABOVE FINISHED FLOOR	GYP	GYPSUM	SHT	SHEET
AFG	ABOVE FINISHED GRADE	H	HIGH/HEIGHT	SIM	SIMILAR
AGGR	AGGREGATE	HC	HANDICAPPED	SM	SHEET METAL
ALT	ALTERNATE	HDW	HARDWARE	SM	SURFACE MOUNTED
ALUM	ALUMINUM	HDWD	HARDWOOD	SNT	SEALANT
ANOD	ANODIZED	HM	HOLLOW METAL	SP	STANDPIPE
APPROX	APPROXIMATE	HNDRL	HANDRAIL	SPEC	SPECIFIED OR SPECIFICATION
ARCH	ARCHITECTURAL	HORIZ	HORIZONTAL	SQ	SQUARE
ASPH	ASPHALT	HP	HIGH POINT	SS	STAINLESS STEEL
AUTO	AUTOMATIC	HT	HEIGHT	STD	STANDARD
BD	BOARD	ID	INSIDE DIAMETER	STL	STEEL
BET, BTW	BETWEEN	IGU	INSULATED GLASS UNIT	STRG	STRINGER
BLDG	BUILDING	IN	INCH/INCHES	STRUCT	STRUCTURE OR STRUCTURAL
BLK	BLOCK	INCL	INCLUDED/INCLUDING	SUBCAT	SUBCATEGORY
BLKG	BLOCKING	INFO	INFORMATION	SUSP	SUSPENDED
BM	BEAM	INSUL	INSULATION OR INSULATED	SW	SOUTHWEST
BO	BOTTOM OF	INT	INTERIOR	SYM	SYMMETRICAL
BOT	BOTTOM	INTERM	INTERMEDIATE	SYS	SYSTEM
BRG	BEARING	INV	INVERT	T	TREAD
BRK	BRICK	JST	JOIST	T&B	TOP AND BOTTOM
BRKT	BRACKET	JT	JOINT	T&G	TONGUE AND GROOVE
BSMNT	BASEMENT	KO	KNOCK OUT	TEMP	TEMPORARY
BTB	BACK-TO-BACK MOUNTING	LAM	LAMINATED	TH	THICKNESS
BYOT	BY OTHERS	LAR	LENGTH AS REQUIRED	THR	THRESHOLD
C	CHANNEL	LB	POUNDS	THRU	THROUGH
CAB	CABINET	LDW	LESS THAN DOOR WIDTH	TMPD	TEMPERED
CAT	CATEGORY	LF	LINEAR FEET	TO	TOP OF
CC	CENTER TO CENTER	LT	LIGHT	TOB	TOP OF BEAM
CEM	CEMENT	LWT	LIGHTWEIGHT	TOC	TOP OF CONCRETE
CG	CORNER GUARD	MANUF	MANUFACTURER	TOS	TOP OF STEEL
CIP	CAST-IN-PLACE	MAS	MASONRY	TS	TUBE STEEL
CJ	CONTROL JOINT	MATL	MATERIAL	TYP	TYPICAL
CL	CENTERLINE	MAX	MAXIMUM	UNFIN	UNFINISHED
CLG	CEILING	MECH	MECHANICAL	UNO	UNLESS NOTED OTHERWISE
CLR	CLEAR	MED	MEDIUM	UCN	UNLESS OTHERWISE NOTED
CMU	CONCRETE MASONRY UNIT	MEMBR	MEMBRANE	VAC	VENTILATION AND AIR CONDITIONING
CNTR	COUNTER	MIN	MINIMUM	VAR	VARIABLE
CO	CLEANOUT	MISC	MISCELLANEOUS	VB	VAPOR BARRIER
COL	COLUMN	MO	MASONRY OPENING	VCT	VINYL COMPOSITION TILE
CONC	CONCRETE	MR	MOISTURE RESISTANT	VERT	VERTICAL
COND	CONDITION	MTD	MOUNTED	VEST	VESTIBULE
CONN	CONNECTION	MTG	MOUNTING	VIF	VERIFY IN FIELD
CONST	CONSTRUCTION	MTL	METAL	VP	VISION PANEL
CONT	CONTINUOUS	MULL	MULLION	VR	VAPOR RETARDER
CONTR	CONTRACTOR	N	NORTH	VT	VINYL TILE
COORD	COORDINATE	NA	NOT APPLICABLE	W	WIDE/WEST
CORR	CORRIDOR	NIC	NOT IN CONTRACT	W/	WITH
CPT	CARPET	NO	NUMBER	W/O	WITHOUT
CT	CERAMIC TILE	NOM	NOMINAL	WD	WOOD
CTC	CENTERLINE TO CENTERLINE	NON COMB	NON COMBUSTIBLE	WIN	WINDOW
CTR	CENTER	NTS	NOT TO SCALE	WP	WATERPROOF/WATERPROOFING
CTSK	COUNTERSUNK	NW	NORTHWEST	WPM	WATERPROOF MEMBRANE
D	DEEP, DEPTH	OC	ON CENTER	WS	WEATHER-STRIPPING
DBL	DOUBLE	OD	OUTSIDE DIAMETER	WT	WEIGHT
DEG	DEGREE	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED		
DEMO	DEMOLISH OR DEMOLITION	OFF	OFFICE		
DEPT	DEPARTMENT	OFFO	OWNER FURNISHED, OWNER INSTALLED		
DET	DETAIL	OH	OPPOSITE HAND		
DIA	DIAMETER	OPNG	OPENING		
DIM	DIMENSION	OPP	OPPOSITE		
DIMS	DIMENSIONS	OVR	OVERHEAD		
DIV	DIVISION	PAV	PAVING		
DMPF	DAMP PROOFING	PC	PRECAST		
DN	DOWN	PERIM	PERIMETER		
DO	DOOR OPENING	PERP	PERPENDICULAR		
DR	DOOR	PI	PLATE		
DTL	DETAIL	PLAS	PLASTER		
DWG	DRAWING	PLBG	PLUMBING		
E	EAST	PLF	POUNDS PER LINEAR FOOT		
EA	EACH	PLYWD	PLYWOOD		
EB	EXPANSION BOLT	PNL	PANEL		
EJ	EXPANSION JOINT	PNT	PAINT OR PAINTED		
EL	ELEVATION	POL	POLISHED		
ELEC	ELECTRICAL	PR	PAIR		
EQ	EQUAL	PREFAB	PREFABRICATED		
EQUIP	EQUIPMENT	PROJ	PROJECT		
EXH	EXHAUST	PSF	POUNDS PER SQUARE FOOT		
EXIST	EXISTING	PT	PRESSURE TREATED		
EXP	EXPANSION	PTN	PARTITION		
EXP'D	EXPOSED	PVC	POLYVINYL CHLORIDE		
EXT	EXTERIOR	QTY	QUANTITY		
FB	FACE BRICK	R	RADIUS/RISER		
FFEL	FINISH FLOOR ELEVATION	RAD	RADIUS		
FH	FLAT HEAD	RB	RESILIENT BASE		
FIN	FINISH	RBR	RUBBER		
FIXT	FIXTURE	REC	RECESSED		
FL	FLOOR	REF	REFERENCE		
FLASH	FLASHING	REG	REGISTER		
FND	FOUNDATION	REINF	REINFORCED/REINFORCING		
FO	FACE OF	REL	RELOCATE		
FP	FIRE PROTECTION	REM	REMOVABLE		
FPG	FIRE PROOFING	REOOM	RECOMMENDED		
FR	FIRE RESISTANT	REQ	REQUIRE/REQUIRED		
FRC	FIBER REINFORCED CONCRETE	RESIL	RESILIENT		
FRT	FIRE RETARDANT TREATED	REV	REVISION/REVISED		
FT	FEET/FOOT	RM	ROOM		
FTG	FOOTING	RND	ROUND		
FURN	FURNITURE	RO	ROUGH OPENING		
FURR	FURRING	ROW	RIGHT OF WAY		
GA	GAUGE	RTD	RATED		
GALV	GALVANIZED	RTG	RATING		
GB	GRAB BAR	RWL	RAIN WATER LEADER		
GC	GENERAL CONTRACT(OR)	S	SOUTH		
GEN	GENERAL				



1 SITE PLAN  
1" = 20'-0"



1 SOUTH ENLARGED ELEVATION - EXISTING ENTRYWAY  
3/4" = 1'-0"



2 PLAN DETAILS - EXISTING  
1 1/2" = 1'-0"

**GENERAL DEMO NOTES**

- REFER TO ALL DRAWINGS, SPECIFICATIONS AND REFERENCED FIELD CONDITIONS TO DETERMINE FULL SCOPE AND PARTICULARS OF REMOVAL REQUIREMENTS PRIOR TO CONSTRUCTION
- QUANTITIES AND DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON FIELD OBSERVATION AND ARE INTENDED TO SERVE AS ORDER OF MAGNITUDE INDICATIONS OF WORK. ACTUAL REQUIREMENTS MAY VARY. VERIFY ALL DIMENSIONS IN FIELD BEFORE PROCEEDING WITH WORK. NOTIFY ARCHITECT IF EXISTING CONDITIONS OCCUR DIFFERENTLY THAN DOCUMENTED.
- ALL DIMENSIONS ARE +/- AND ARE TO BE VERIFIED IN FIELD BEFORE PROCEEDING WITH WORK.
- RESTORE ALL EXIST. CONDITIONS DAMAGED DURING REMOVAL WORK AND NOT SCHEDULED TO BE REMOVED TO MATCH EXIST. CONDITIONS. ALL AREAS REQUIRING CUTTING AND PATCHING SHALL BE FINISHED TO MATCH ADJACENT SURFACES UNLESS NOTED OTHERWISE.
- UNLESS OTHERWISE NOTED, ALL REMOVALS IDENTIFIED IN THESE NOTES BECOME PROPERTY OF THE CONTRACTOR MAKING THE REMOVAL.
- DURING REMOVAL OPERATIONS, HAVE SUFFICIENT AND SUITABLE MATERIALS ON-SITE TO FACILITATE RAPID INSTALLATION OF TEMPORARY PROTECTION IN THE EVENT OF INCLEMENT WEATHER.

**SPECIFIC DEMO NOTES**

- REMOVE EXISTING DOOR, FRAME, TRIM AND HARDWARE, COMPLETE.
- CONTRACTOR TO REMOVE EXISTING DOOR SIDELIGHT AND TRANSOM COMPLETE IN AREA IDENTIFIED ON PLAN. PATCH AND REPAIR EXISTING WALL AND ADJACENT FINISHES TO REMAIN TO MATCH EXISTING. PATCH AND REPAIR FLOOR TO MATCH ADJACENT.
- PROTECT INTERIOR AND EXTERIOR EXISTING WALL TO REMAIN.
- REMOVE EXISTING ELLIPTICAL FAN WINDOW, FRAME AND TRIM COMPLETE.
- REMOVE EXISTING SIGNAGE AND ATTACHMENTS, COMPLETE.
- PROTECT EXISTING FLOORING DURING CONSTRUCTION.

THESE DOCUMENTS, SUBMITTED FOR THE SPECIFIC PROJECT NAMED RENOVATE EXTERIOR FACADE & PERIMETER HEATING SYSTEM AT ALLEN HALL, STATE UNIVERSITY COLLEGE AT BROCKPORT, BROCKPORT, NEW YORK ARE AN INSTRUMENT OF SERVICE AND ARE NOT TO BE ALTERED, COPIED, OR USED FOR ANY OTHER PROJECT WITHOUT THE EXPRESSED WRITTEN PERMISSION OF FLYNN BATTAGLIA ARCHITECTS, P.C. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS UNDER THE DIRECTION OF A LICENSED ARCHITECT OR ENGINEER, TO ALTER ANY ITEMS IN THESE DOCUMENTS IN ANY WAY. IF ANY ITEM IS ALTERED, THE ALTERING ARCHITECT/ENGINEER SHALL AFFIX HIS/HER SEAL ALONG WITH THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. COPYRIGHT 2017 FLYNN BATTAGLIA ARCHITECTS, P.C. ALL RIGHTS RESERVED.

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DATE 09/1/2023



**FLYNN | BATTAGLIA**

617 Main Street, Suite 401  
Buffalo, New York 14203  
Telephone (716) 854-2424

**TOWN OF  
ELLICOTTVILLE**

**Ellicottville Town  
Hall**

1 West Washington St,  
Ellicottville, NY 14731

**CONTRACT DOCUMENTS**

**NOTES & REVISIONS:**

Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED: January 25, 2024

Project Number: 00410	Scale: As indicated
Drawn By: ADF	Checked By: MM

Drawing Title  
**DOOR AND SIGNAGE DEMOLITION**

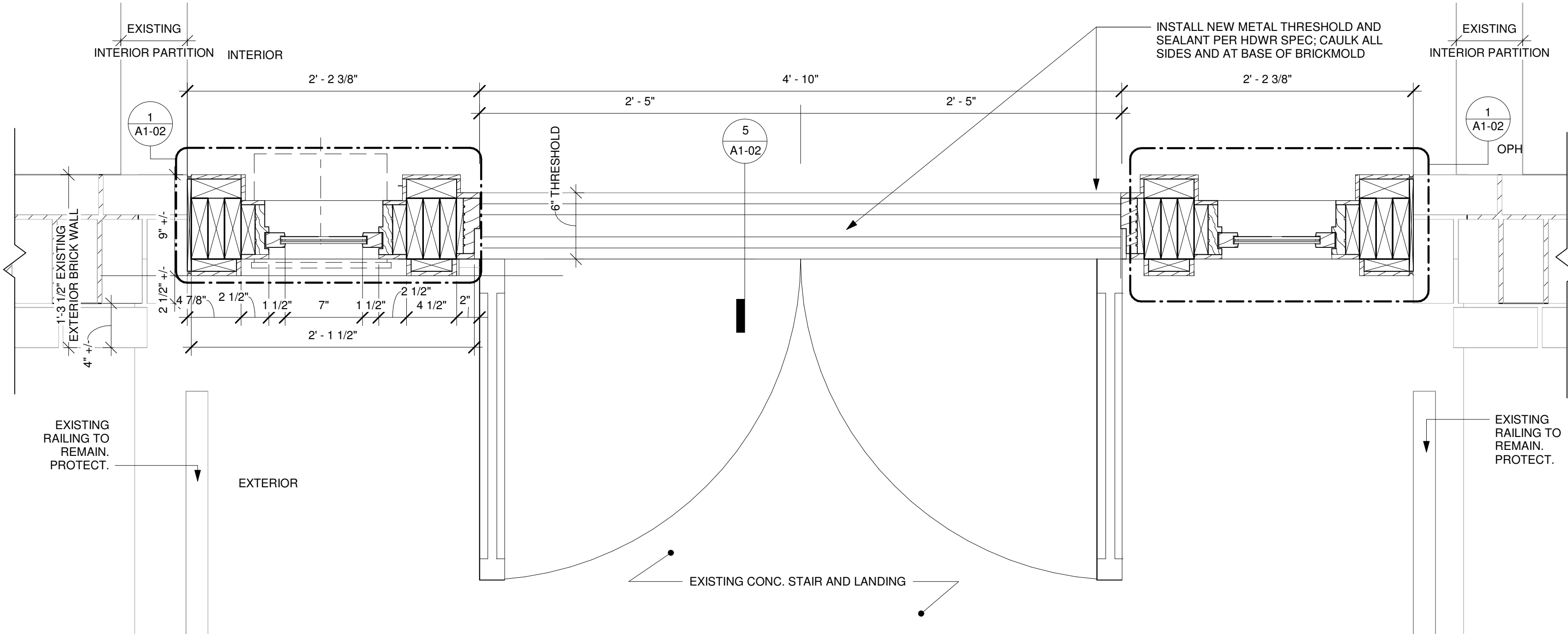
Drawing Number

**AD-01**

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2. ALL DIMENSIONS ARE +/- AND ARE TO BE VERIFIED IN FIELD BEFORE PROCEEDING WITH WORK.
3. UNLESS OTHERWISE NOTED, ALL REMOVALS IDENTIFIED IN THESE NOTES BECOME PROPERTY OF THE CONTRACTOR MAKING THE REMOVAL.
4. COORDINATE ALL WORK INDICATED ON THIS DRAWING WITH THAT OF THE OTHER TRADES.
5. ALL FINISH COLORS TO BE SELECTED BY ARCHITECT FROM SUBMITTALS BY CONTRACTOR FOR SPECIFIED PRODUCTS.
6. RESTORE SITE TO ORIGINAL CONDITIONS AS FOUND.

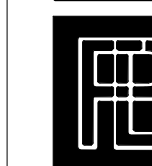


HARDWARE SCHEDULE				
	QTY	TYPE	FINISH	MFR (BASIS OF DESIGN)
HINGES	8	5" X 5" BB1199 NRP BALL TIP	US10	HA
EXITS	2	8827TP ERT12 X LAR	US10	VD
EXIT TRIM	2	880TP-V	US10	VD
RIM CYLINDER	2	3216	US10	VD
PERMANENT CORE	2	CONSULT OWNER		BYOT
CLOSER	2	5100 HDCS	PTM	HA
KICK PLATE	2	190S 10" X 2" LDW	US10	HA
THRESHOLD	1	422S X LAR	MIL	HA
AUTOMATIC DOOR BOTTOM	2	743S N X LAR	MIL	HA
WEATHERSTRIPPING	1	860SW X LAR	PTM	HA
MEETING STYLE	2	771SW X LAR	MIL	HA

\*NOTE: PLEASE REFER TO SPEC SECTION 08 71 00 DOOR HARDWARE FOR ADDITIONAL INFORMATION

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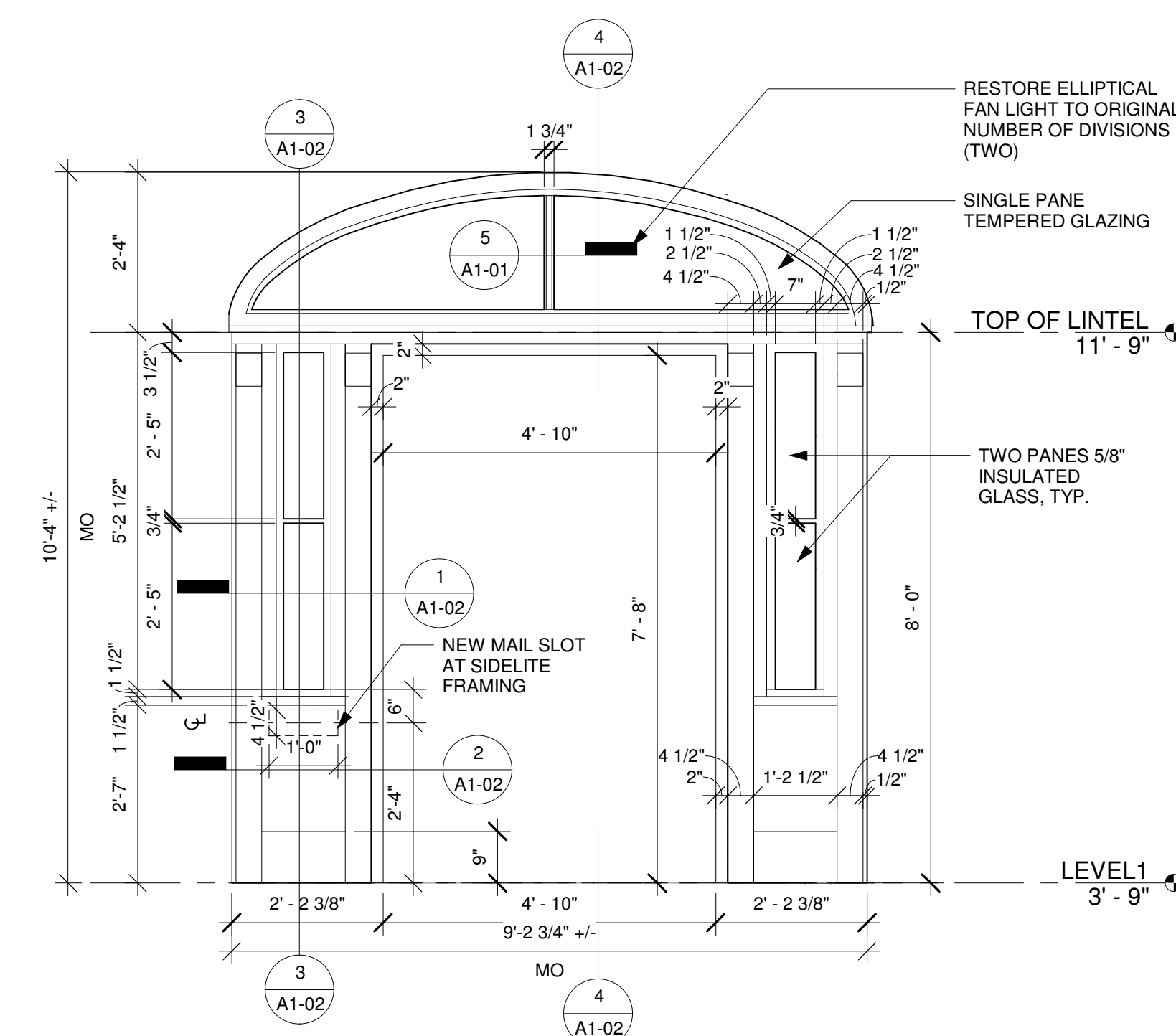
DATE 09/11/2023



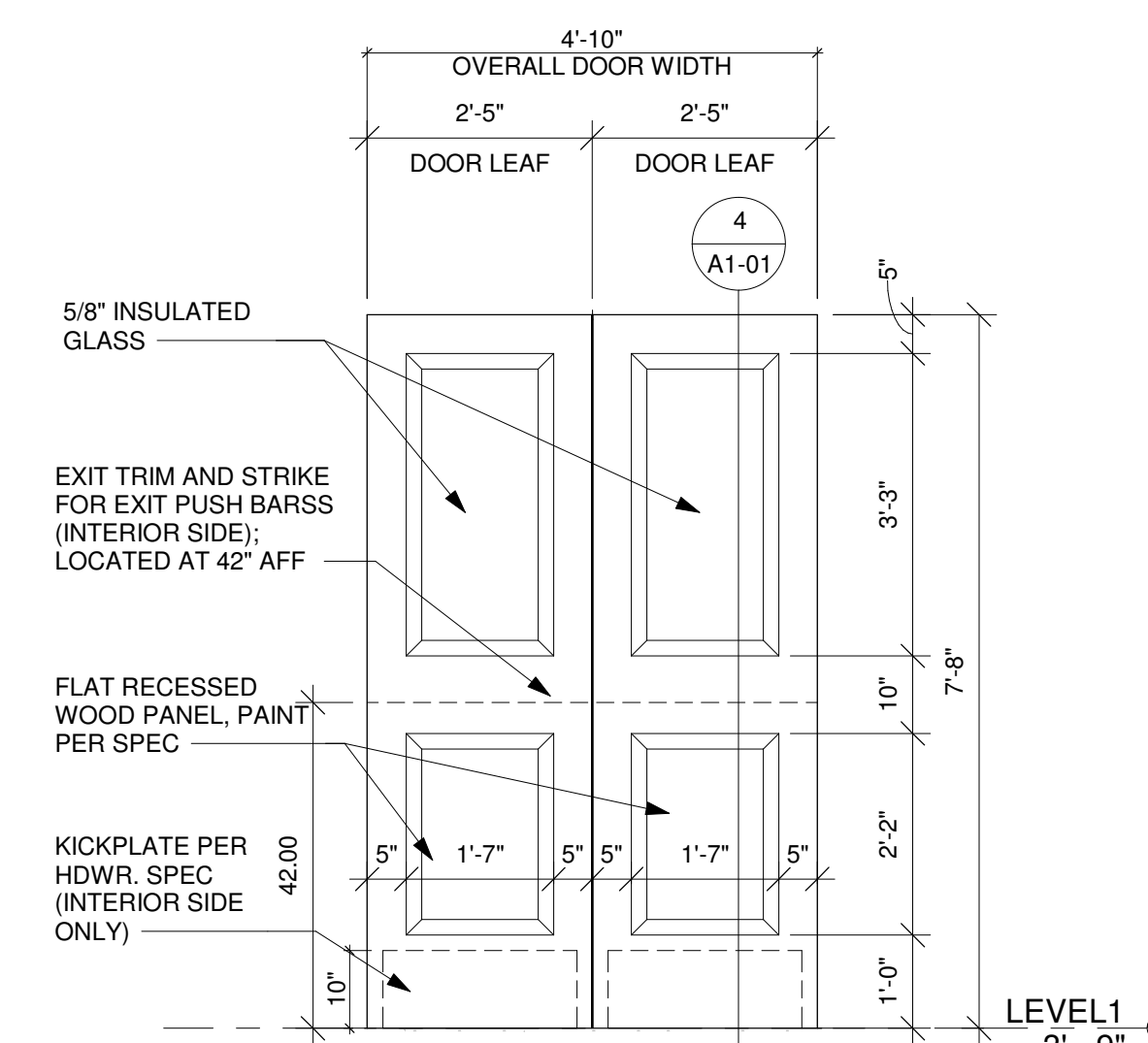
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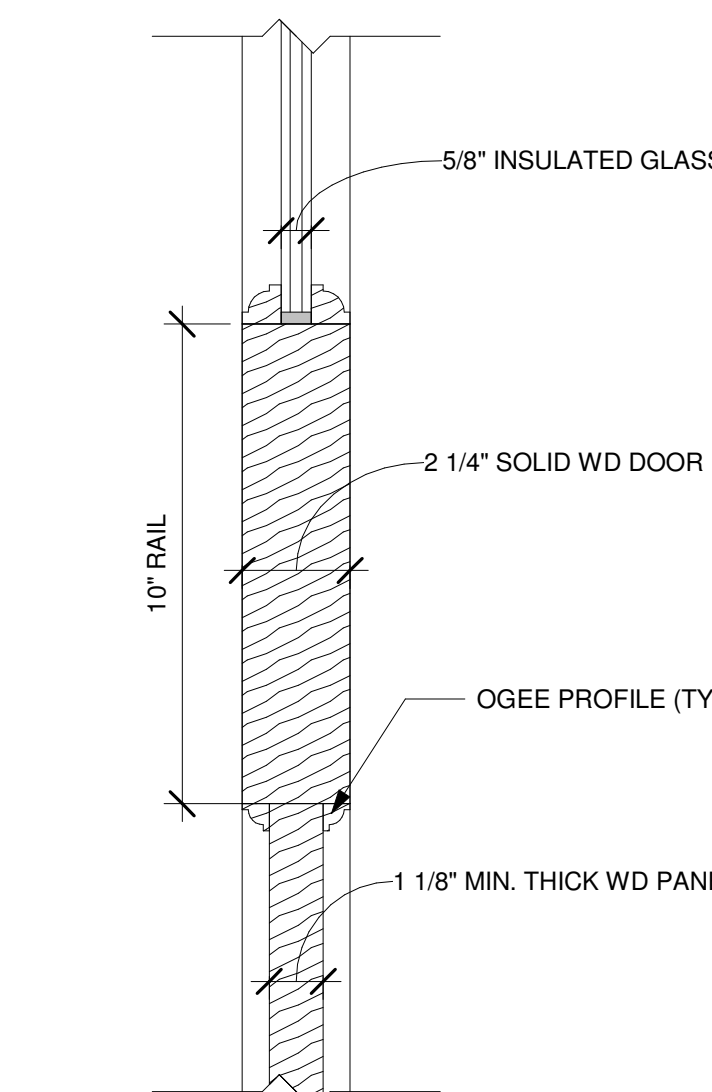
1 PLAN DETAILS - NEW  
1 1/2" = 1'-0"



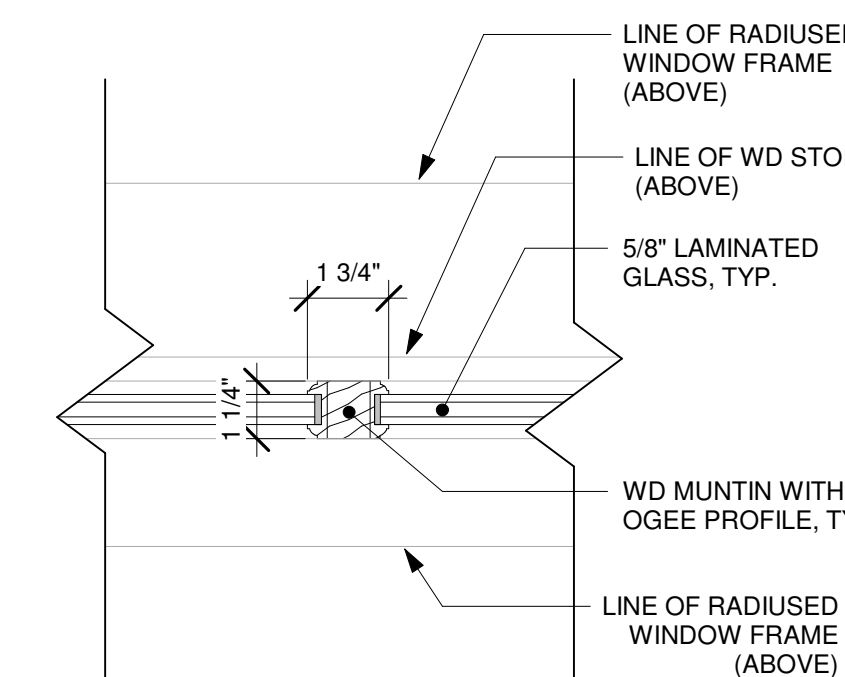
2 NEW DOOR FRAME AND FANLIGHT  
1/2" = 1'-0"



3 DOOR REPLACEMENT - STILE AND RAIL, GLAZED  
1/2" = 1'-0"



4 DOOR DETAILS - STILE AND RAIL  
3" = 1'-0"



5 SECTION THROUGH FANLITE MUNTIN  
3" = 1'-0"

TOWN OF  
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1 West Washington St,  
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NOTES & REVISIONS:

Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED: January 25, 2024

Project Number: 00410	Scale: As indicated
Drawn By: ADF	Checked By: MM

Drawing Title  
ENTRANCE PLAN - DOOR  
ELEVATION AND SIDELITE  
FRAMING

Drawing Number

**A1-01**

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Revision Schedule		
Revision Number	Date	Description

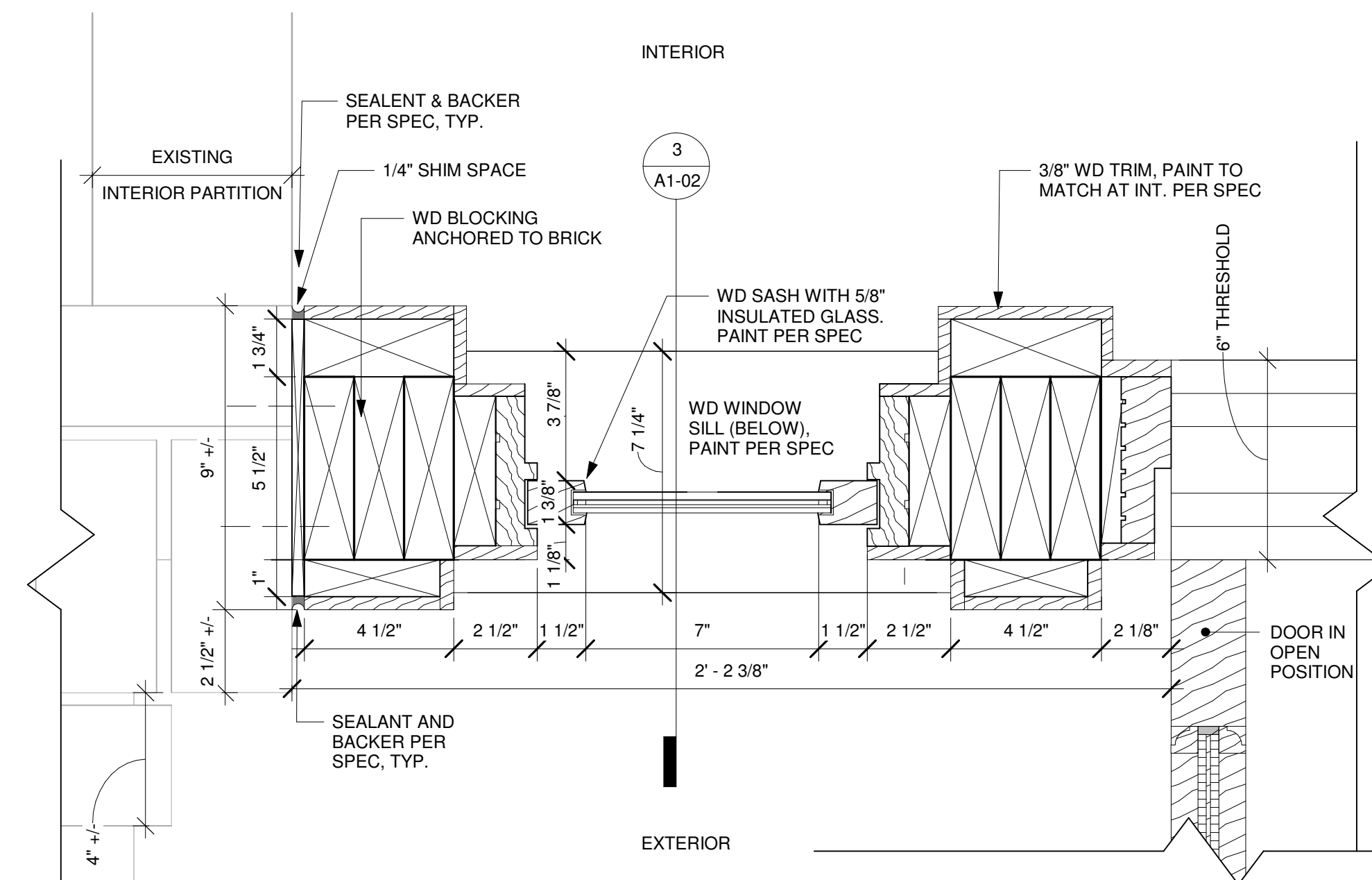
DRAWING ISSUED: January 25, 2024

Project Number: 00410 Scale: 3" = 1'-0"  
 Drawn By: ADF Checked By: MM

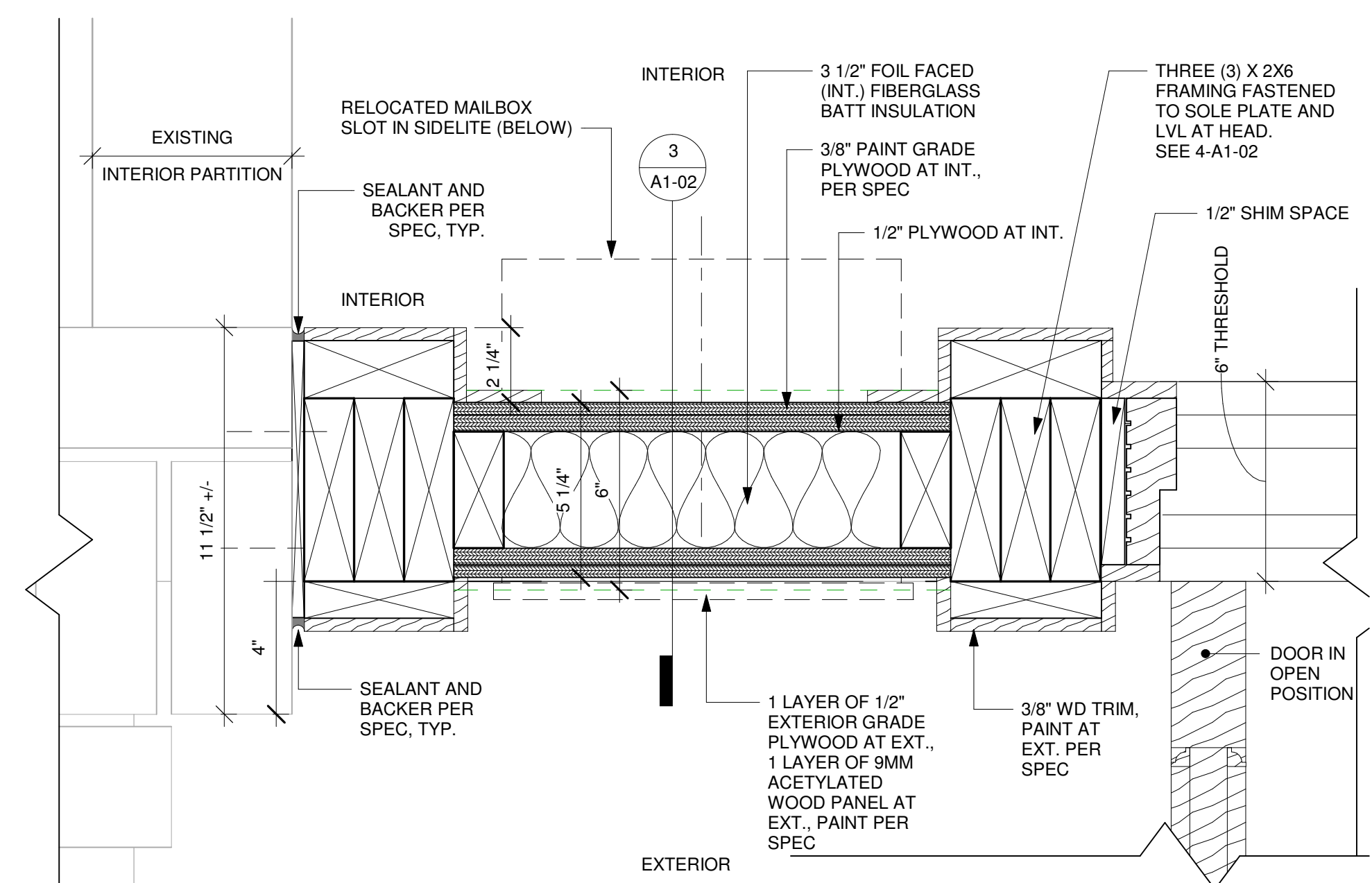
Drawing Title  
**ENTRANCE AND DOOR DETAILS**

Drawing Number

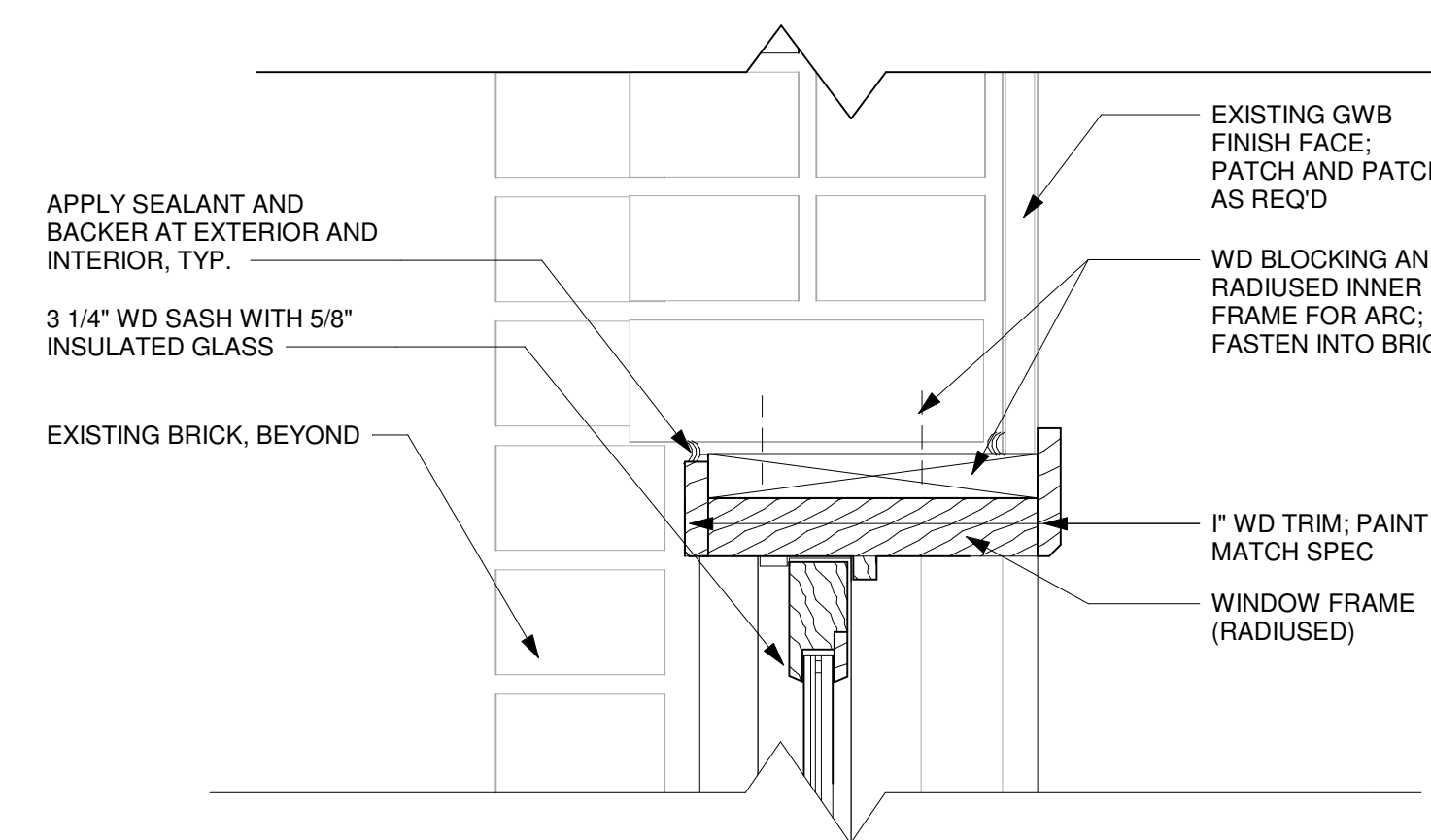
**A1-02**



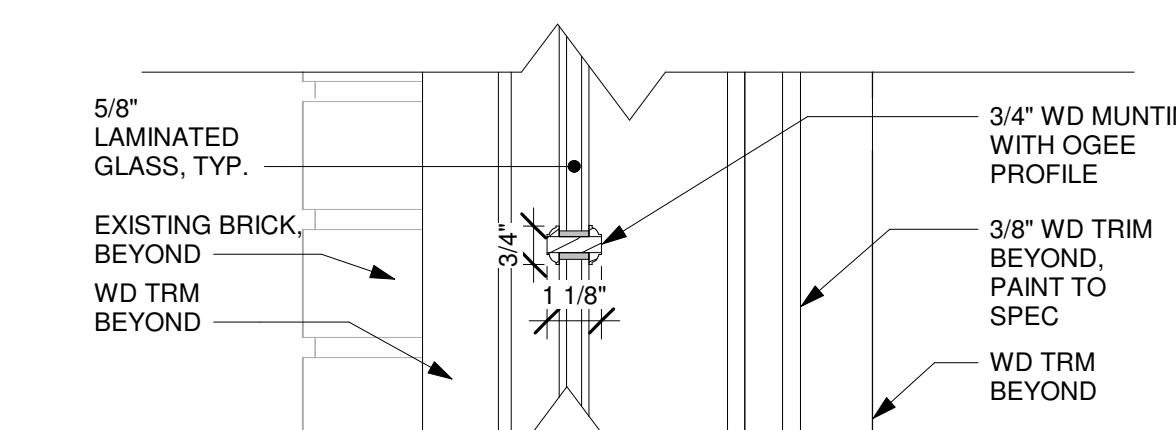
1 PLAN DETAILS - AT SIDELITE  
3" = 1'-0"



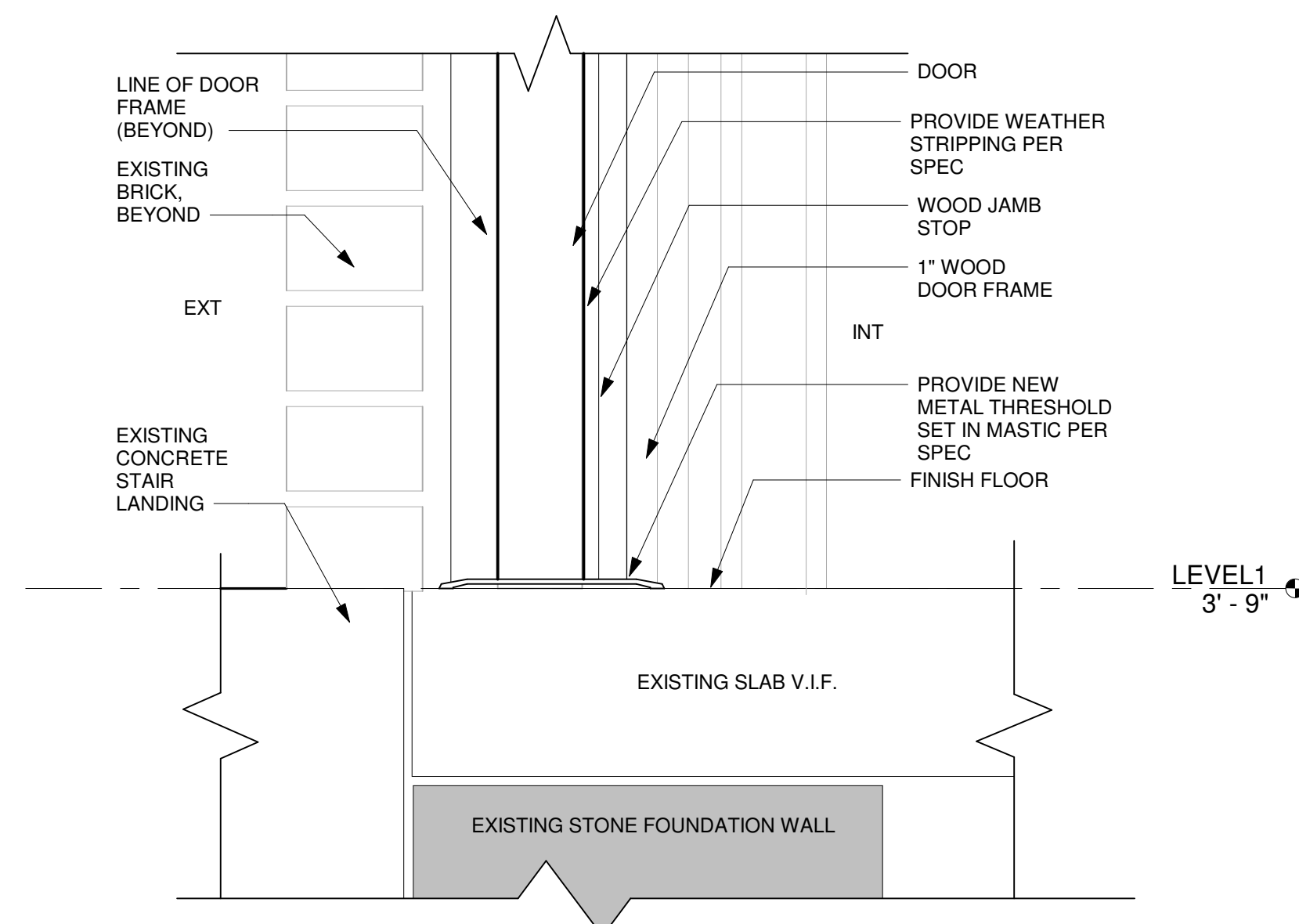
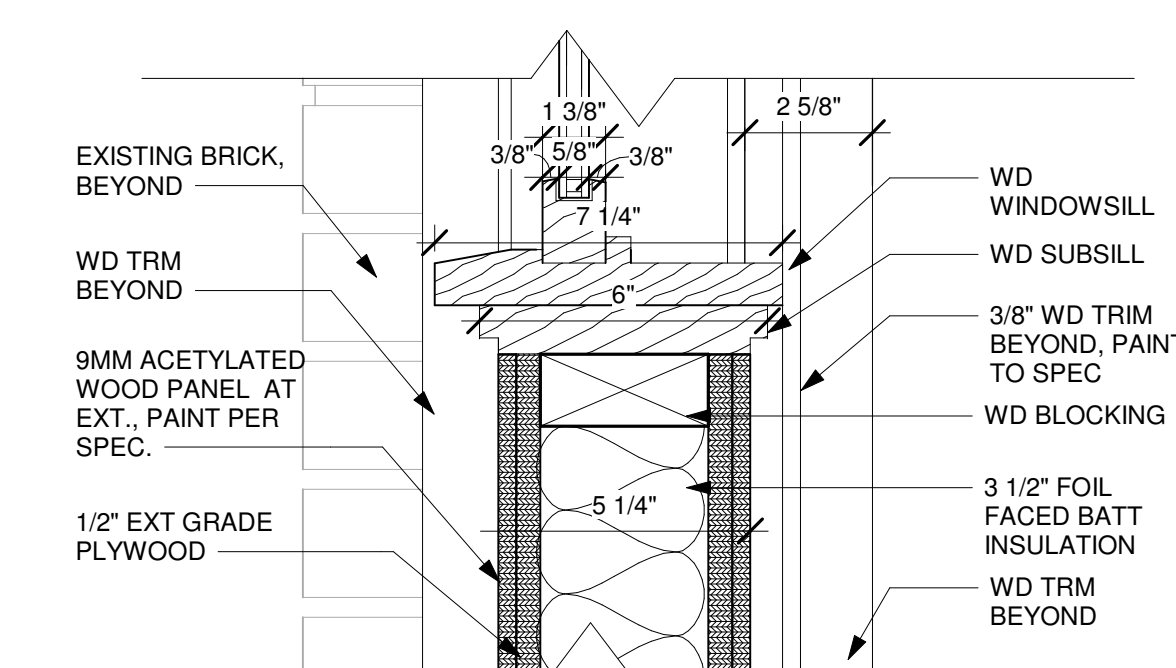
2 PLAN DETAILS - AT SIDELITE FRAMING  
3" = 1'-0"



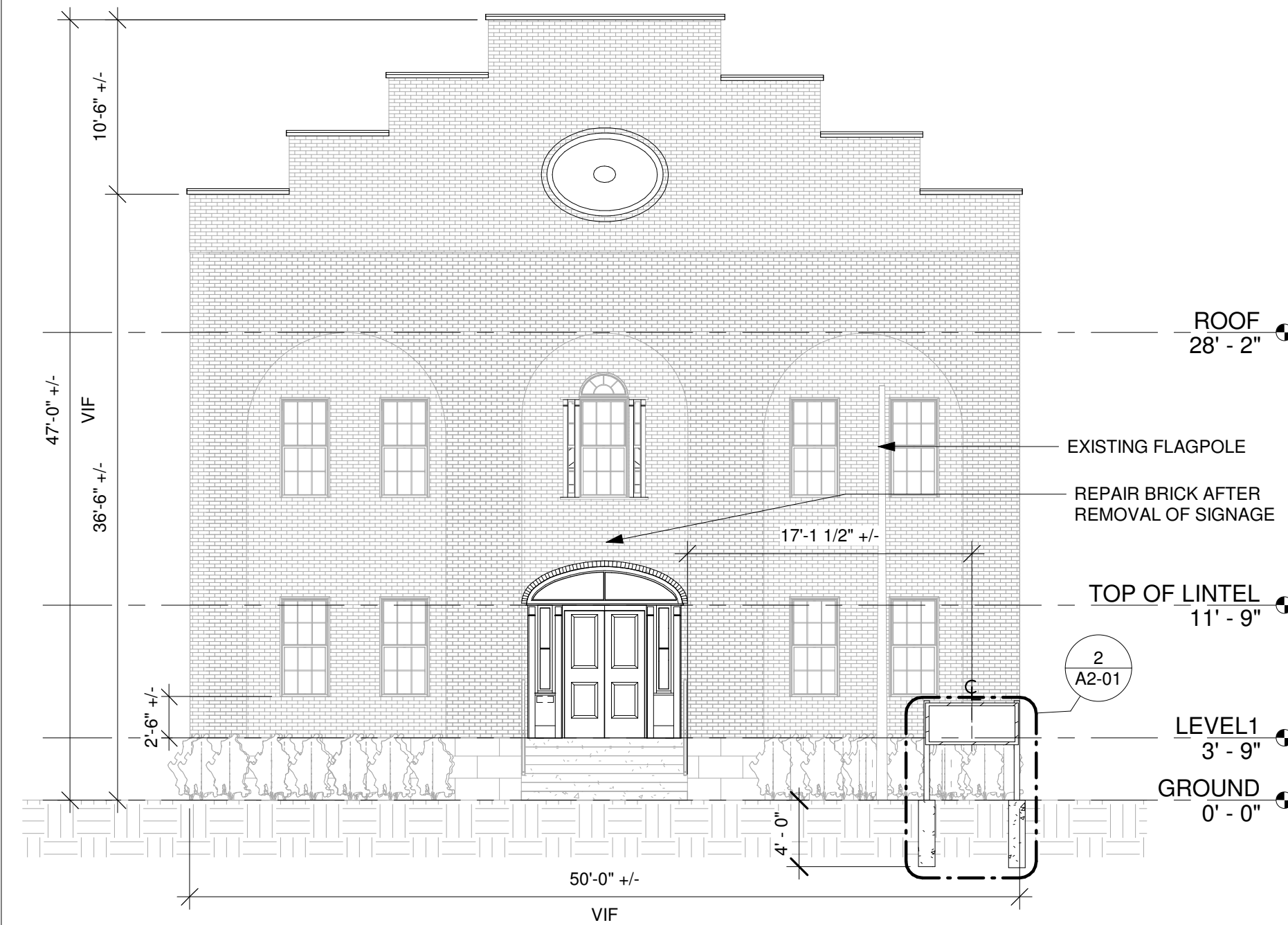
4 VERTICAL SECTION DETAIL - DOOR  
HEADER AND FANLIGHT  
3" = 1'-0"



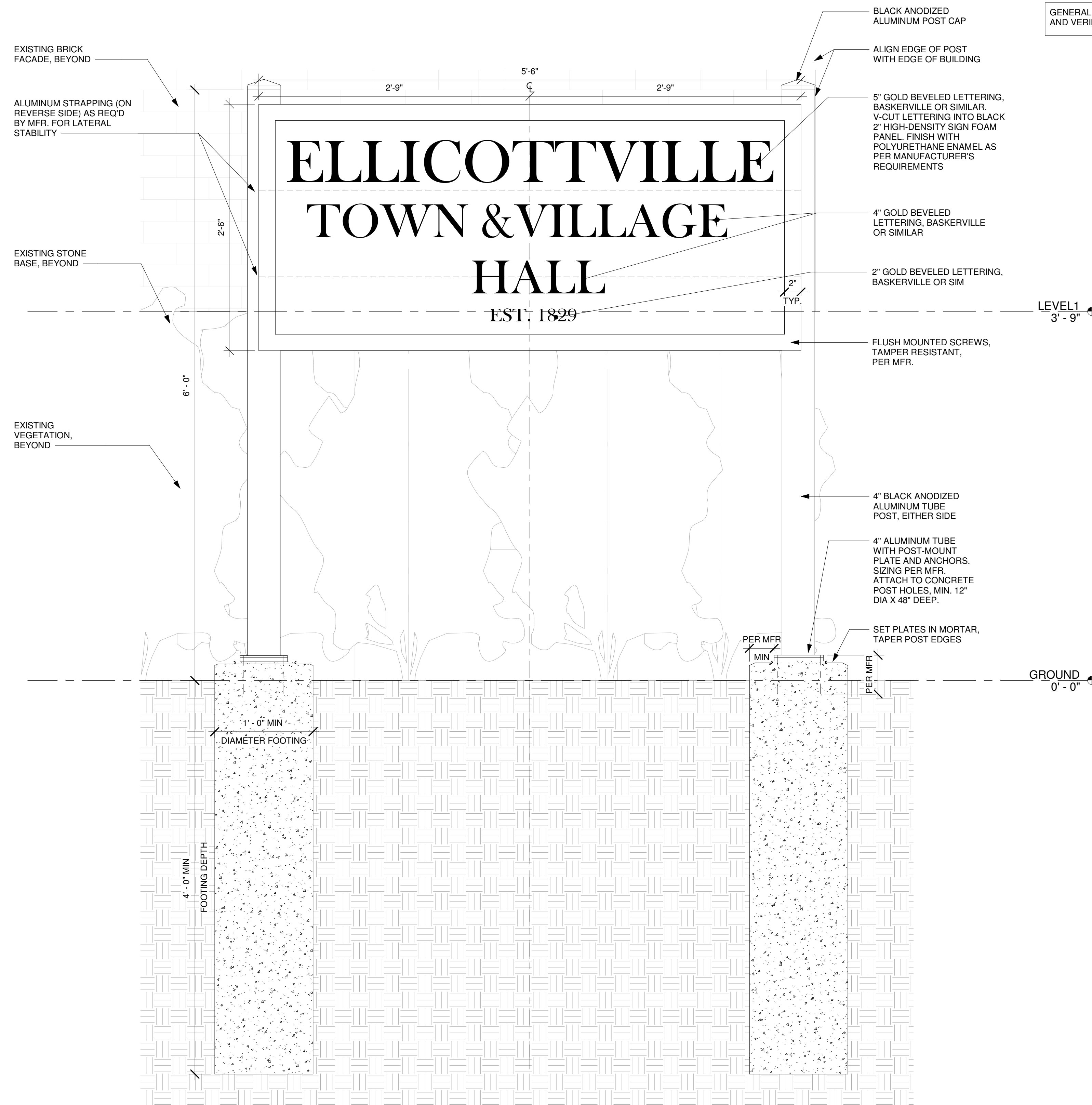
3 VERTICAL SECTION AT SIDELITE  
FRAMING  
3" = 1'-0"



5 SECTION AT THRESHOLD DETAIL  
3" = 1'-0"



1 SOUTH ELEVATION - NEW  
1/8" = 1'-0"



2 SIGNAGE - PROPOSED  
1 1/2" = 1'-0"

**GENERAL NOTES**

1. QUANTITIES AND DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON FIELD OBSERVATION AND ARE INTENDED TO SERVE AS ORDER OF MAGNITUDE INDICATIONS OF WORK. ACTUAL REQUIREMENTS MAY VARY. VERIFY ALL DIMENSIONS IN FIELD BEFORE PROCEEDING WITH WORK. NOTIFY ARCHITECT IF EXISTING CONDITIONS OCCUR DIFFERENTLY THAN DOCUMENTED.
2. ALL DIMENSIONS ARE +/- AND ARE TO BE VERIFIED IN FIELD BEFORE PROCEEDING WITH WORK.
3. UNLESS OTHERWISE NOTED, ALL REMOVALS IDENTIFIED IN THESE NOTES BECOME PROPERTY OF THE CONTRACTOR MAKING THE REMOVAL.
4. COORDINATE ALL WORK INDICATED ON THIS DRAWING WITH THAT OF THE OTHER TRADES.
5. ALL FINISH COLORS TO BE SELECTED BY ARCHITECT FROM SUBMITTALS BY CONTRACTOR FOR SPECIFIED PRODUCTS.
6. RESTORE SITE TO ORIGINAL CONDITIONS AS FOUND.

GENERAL NOTE: ALL FINISH COLORS TO BE SELECTED AND VERIFIED BY ARCHITECT.

THESE DOCUMENTS, SUBMITTED FOR THE SPECIFIC PROJECT NAMELY RENOVATE EXTERIOR FACADE & PERIMETER HEATING SYSTEM AT ALLEN HALL, STATE UNIVERSITY COLLEGE AT BROCKPORT, BROCKPORT, NEW YORK ARE AN INSTRUMENT OF SERVICE AND ARE NOT TO BE ALTERED, COPIED, OR USED FOR ANY OTHER PROJECT WITHOUT THE EXPRESSED WRITTEN PERMISSION OF FLYNN BATTAGLIA ARCHITECTS, P.C. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS UNDER THE DIRECTION OF A LICENSED ARCHITECT OR ENGINEER, TO ALTER ANY ITEMS IN THESE DOCUMENTS IN ANY WAY. IF ANY ITEM IS ALTERED, THE ALTERING ARCHITECT/ENGINEER SHALL AFFIX HIS/HER SEAL ALONG WITH THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. COPYRIGHT 2017 FLYNN BATTAGLIA ARCHITECTS, P.C. ALL RIGHTS RESERVED.

THE REGISTERED PROFESSIONAL CERTIFIES THAT THIS PROJECT HAS BEEN DESIGNED BY ME, OR UNDER MY SUPERVISION, IN ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE AND THE ENERGY CONSERVATION CODE OF NEW YORK STATE AND APPLICABLE FEDERAL LAWS AND REGULATIONS AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE CONSTRUCTION DOCUMENTS ARE IN CONFORMANCE THEREWITH.

DATE 09/11/2023



**FLYNN | BATTAGLIA**

617 Main Street, Suite 401  
Buffalo, New York 14203  
Telephone (716) 854-2424

**TOWN OF  
ELLCOTTVILLE**

**Ellicottville Town  
Hall**

1 West Washington St,  
Ellicottville, NY 14731

**CONTRACT DOCUMENTS**

**NOTES & REVISIONS:**

Revision Schedule		
Revision Number	Date	Description

DRAWING ISSUED: January 25, 2024

Project Number: 00410	Scale: As indicated
Drawn By: ADF	Checked By: MM

Drawing Title  
**SOUTH ELEVATION AND SIGNAGE  
DETAIL**

Drawing Number

**A2-01**



# Short Environmental Assessment Form

## Part 1 - Project Information

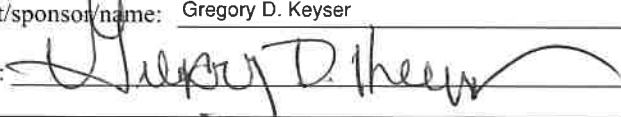
### Instructions for Completing

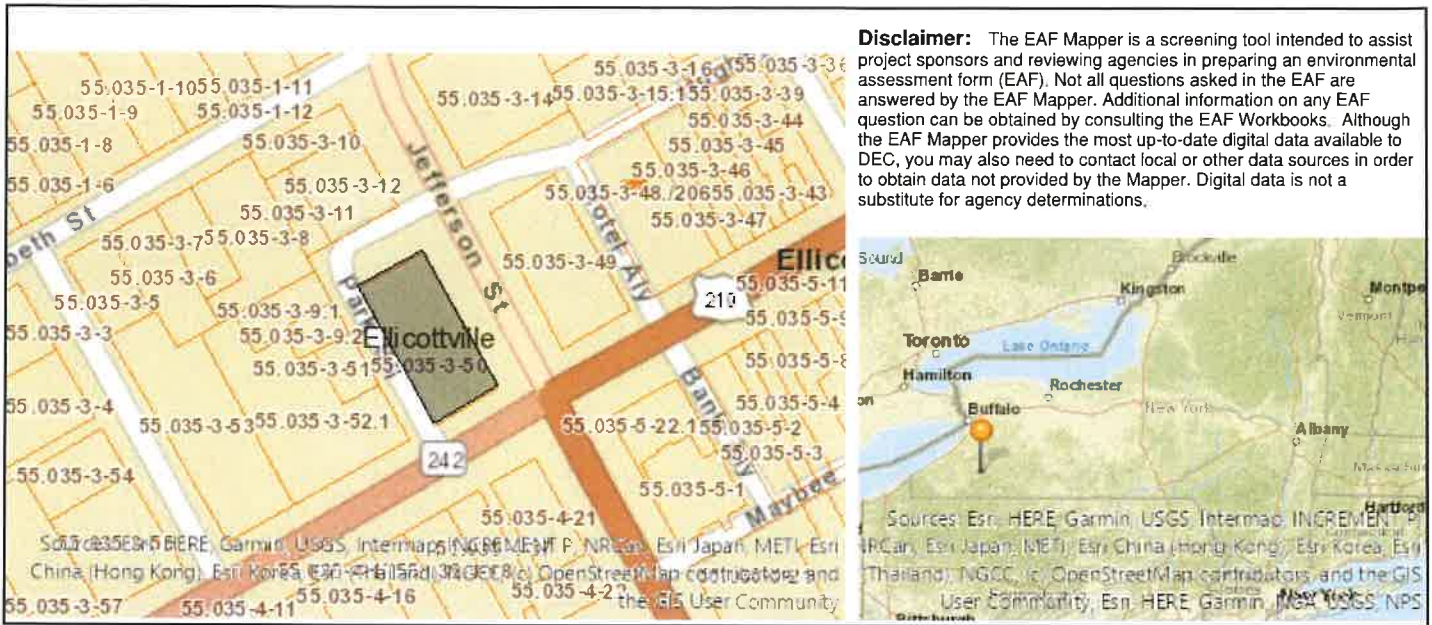
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Town Hall Front Door Replacement			
Project Location (describe, and attach a location map): 1 W Washington Street, Tax Parcel ID 55.035-3-50			
Brief Description of Proposed Action: Replace existing front door and remove existing wall sign			
Name of Applicant or Sponsor: Town of Ellicottville		Telephone: (716) 699-2100	
		E-Mail: N/A	
Address: 1 W Washington Street			
City/PO: PO Box 600		State: New York	Zip Code: 14731
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Village of Ellicottville - Architectural Design Review, Historic District Review and Building Permit			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.42 acres			
b. Total acreage to be physically disturbed? _____ 0.00 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.42 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Town Hall/Old Cattaraugus County Court House (USN 00947.000001) b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe:		
_____		
_____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Former Signore Site (C905034 and 905023)		
<p><b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor name: <u>Gregory D. Keyser</u> Date: <u>1/29/2024</u></p> <p>Signature: <u></u> Title: <u>Town Planner</u></p>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	Yes



**New York State  
Parks, Recreation and  
Historic Preservation**

**KATHY HOCHUL**  
Governor

**ERIK KULLESEID**  
Commissioner

November 28, 2023

Aubrey Fan  
Flynn Battaglia Architects  
617 Main Street  
Suite S-401  
Buffalo, NY 14203

Re: DASNY  
Ellicottville Town Hall Entrance  
1 Washington St, Ellicottville, NY 14731  
23PR09748

Dear Aubrey Fan:

Thank you for requesting the comments of the Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the submitted materials in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York State Parks, Recreation and Historic Preservation Law). These comments are those of the Division for Historic Preservation and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6 NYCRR § 617).

The Ellicottville Town and Village Hall contributes to the Ellicottville Historic District, which is listed in the State and National Registers of Historic Places. Our office has reviewed the November 14, 2023 work scope, which proposed replacement of the deteriorated, non-historic entry, as well as new signage. Based upon our review, it is the OPRHP's opinion that this project will have No Adverse Impact on historic resources.

If you have any questions, I am best reached by email.

Sincerely,

Derek Rohde  
Historic Site Restoration Coordinator  
518-275-5745 | [Derek.Rohde@parks.ny.gov](mailto:Derek.Rohde@parks.ny.gov)