

January 18, 2024

Mr. Greg Keyser  
Town and Village of Ellicottville Planner  
1 West Washington Street  
Ellicottville, New York 14731

Re: 16 Fillmore Avenue  
Lot No. 8

Subj: Foundation and Flood Design Review

File: 2556.001.001

Dear Mr. Keyser:

Barton & Loguidice, D.P.C. (B&L) has completed our initial review of the Zoning Permit Application submitted by Jamel Perkins (applicant). To date, B&L has received the following documents for review and comment:

1. Zoning Permit Application, including Subdivision Final Plat, Short EAF, and design plans and details for the residence, dated September 11, 2023;
2. Letter from the Applicant, dated November 28, 2023; and,
3. Letter from Applicants Engineer, Carl Calarco, P.E., dated December 2, 2023.

## Project Description

The project consists of a new single-family residence with an accessory apartment. The property (Lot #8) is part of a subdivision previously approved in 2015. The buildable area is located on filled area/land removed from FEMA's Special Flood Hazard Area (SFHA) in 2016. The Planning Board has requested that B&L perform a review of the basement/foundation design details to ensure it meets minimum flood hazard design standards and mitigates potential flood risks to the residence.

B&L offers the following comments to the Planning Board for consideration in its review and recommendation to the Village Board.

- Foundation notes indicate a foundation drain tile around the building, but the building sections and plans do not show the drain tile. Please verify or confirm that a drain tile is part of the design.
- Drainage tile needs to be encased in drainage stone and geotextile between soil/backfill and drainage stone.
- Floor slabs appear to be floating slabs. We suggest adding a means to allow floor slab to expand and contract, typically via the use of an expansion joint material around the perimeter.

Mr. Greg Keyser  
Town and Village of Ellicottville Planner  
January 18, 2024  
Page 2



- It is not clear on the drawings exactly which area has been removed from 100 year flood plain. Also, where is the edge of the 100 year flood plain and flood elevation?
- Please confirm and add notes as to the pond high water level.
- What is the framing for the walls at the 2-story living room (Room 105)? Can the studs span two stories or will there be some means to brace the studs at the second floor level? Alternatively, are they pre-engineered lumber studs? Please confirm/verify.

Please provide any clarifications or additional information at your earliest convenience in writing to the Planning Board. For efficient review of subsequent materials, B&L requests an itemized response to the comments provided herein.

If you have any questions, please do not hesitate to contact the Village or me.

Sincerely,

BARTON & LOGUIDICE, D.P.C.

A handwritten signature in blue ink that reads "Keith F. Ewald". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

Keith F. Ewald, AICP, PLA  
Senior Managing Landscape Architect

KFE/jjb

cc: Ellicottville Village Planning Board Members  
Phillip Stevens, P.E., Barton & Loguidice, D.P.C.

January 30, 2024

Mr. Greg Keyser  
Town and Village of Ellicottville Planner  
1 West Washington Street  
Ellicottville, New York 14731

Re: 16 Fillmore Drive Lot 8  
Barton & Loguidice letter dated 1-18-2024

Dear Mr. Keyser,

We have reviewed the letter submitted to you by Barton & Loguidice dated 1-18-2024. We offer the following comments:

1. The foundation wall was intended to have foundation drain tiles installed. Please see the foundation detail A/S101 and B/S101 Shown on drawings A301, A302 and S101.
2. Drainage tiles are encased in stone and geotextile. See detail A/S101
3. Expansion joints are shown in Detail A/S101 and B/S101.
4. The Area removed from the 100-year flood plain is shown on Site Plan C101 with a red boarder line. There is a note that states" Area removed of the SFHA LOMRF DATED 10-14-16. That area has a distance and bearing shown in red on the drawing. The Base Flood Elevation is labeled at the Northwest corner of the Area removed from the SFRA as 1540.9 BFE. I have enclosed the October 14, 2016, Letter of Map Revision Determination Document and the Village of Ellicottville FEMA floodplain map.
5. The high-water level of the pond is 1537.0 and is shown on drawing A301.
6. Please note that these drawings are for Site Plan and Architectural review. After the site plan and Architectural review is completed, a construction set of drawings will be submitted to the Village Code Enforcement Officer. The 2-story section will utilize pre-engineered lumber studs.

Please advise with any questions or concerns.

Sincerely,



Carl R. Calarco, P.E.  
P.O. Box 693  
Ellicottville, NY 1431  
716-244-8313



# PERKINS RESIDENCE 2023 NEW HOME

16 FILLMORE DRIVE LOT 8  
ELLICOTTVILLE NEW YORK 14731



LOCATION

CARL R.  
CALARCO, P.E.  
NYS LIC # 088460  
P.O. BOX 693  
ELLICOTTVILLE, NEW YORK 14731  
716-244-8313  
CRCALARCO@VERIZON.NET

COVER SHEET

AARON B.  
TILLER

COMMERCIAL, INDUSTRIAL, RESIDENTIAL  
CAD SERVICES  
5 PINE STREET  
ALLEGANY, NEW YORK 14706  
716-307-3684  
AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN  
FOR  
**PERKINS  
RESIDENCE**  
16 FILLMORE DRIVE  
ELLICOTTVILLE, NEW YORK 14731

## LEGEND

MATERIAL DESIGNATIONS:	
<b>ELEVATION</b>	
CONCRETE/PLASTER	RUNNING BOND MASONRY
CERAMIC TILE	STACK BOND MASONRY
GLAZING	STONE
BRICK	
<b>PLAN/SECTION</b>	
EARTH FILL	WOOD BLOCKING
ROCK	FINISHED WOOD
GRANULAR FILL	PLYWOOD - LARGE SCALE
LIGHTWEIGHT CONCRETE	PLYWOOD - SMALL SCALE
STRUCTURAL CONCRETE	METAL - LARGE SCALE
BRICK	METAL - SMALL SCALE
CONCRETE BLOCK	SHEATHING
CUT STONE	GYP. BD./PLASTER BD.
TILE ON CONCRETE	ACOUSTICAL CEILING TILE
MARBLE	CARPET
TERRAZZO	METAL STUDS
CERAMIC/QUARRY TILE	LOOSE FILL/BATT INSULATION
BOARD/RIGID INSULATION	

## ARCHITECTURAL SYMBOLS

SECTION: SECTION LETTER SHEET NUMBER	EXTERIOR ELEVATION: ELEVATION LETTER SHEET NUMBER
DETAIL: DETAIL NUMBER SHEET NUMBER	INTERIOR ELEVATION: ELEVATION LETTER SHEET NUMBER
DOOR NUMBER	ROOM NUMBER
WINDOW TYPE	ELEVATION TAG
COLUMN GRID	SPOT ELEVATION
CENTER LINE	REVISION
EXISTING CONTOUR LINE	PROPERTY LINE
NEW CONTOUR LINE	NORTH DESIGNATION
GRAPHIC SCALE	FIRE EXTINGUISHER
ROOF SLOPE INDICATION	EMERGENCY LIGHT WALL MOUNTED
BRACING	CARBON MONOXIDE DETECTOR SHALL BE WIRED INTO 110v CIRCUIT.
EXIT LIGHT GRILLE	SMOKE DETECTOR SHALL BE WIRED INTO 110v CIRCUIT. AND IN ADDITION TO THESE SHOWN ATLEAST ONE IS REQUIRED ON EVERY FLOOR.
MECHANICAL VENTILATION REQUIRED.	

## INDEX OF SHEETS

SHEET NO.	DESCRIPTION
CS	COVER SHEET
C101	SITE PLAN
C102	SITE PLAN DETAILS
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A201	ELEVATIONS
A202	ELEVATIONS
A301	CROSS SECTION
A302	CROSS SECTION
S101	FOUNDATION PLAN
S102	FRAMING PLAN

### DOCUMENT STATUS

DATE: 8-22-2023

NOT FOR CONSTRUCTION

PROGRESS SET

PRELIMINARY

FINAL

ISSUED BY: ABT

REVISION DATE: 1-29-2024

DRAWN BY: ABT

DATE: 8-22-2023

REVIEWED BY:

DRAWING NO:

CS



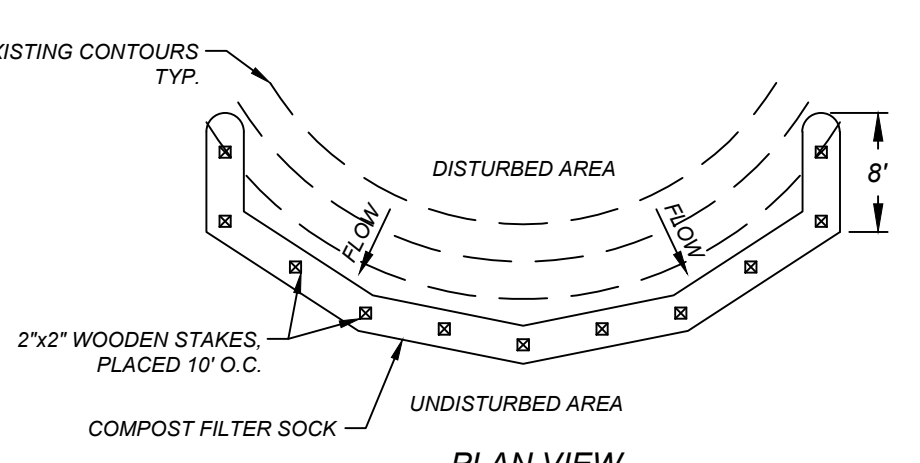
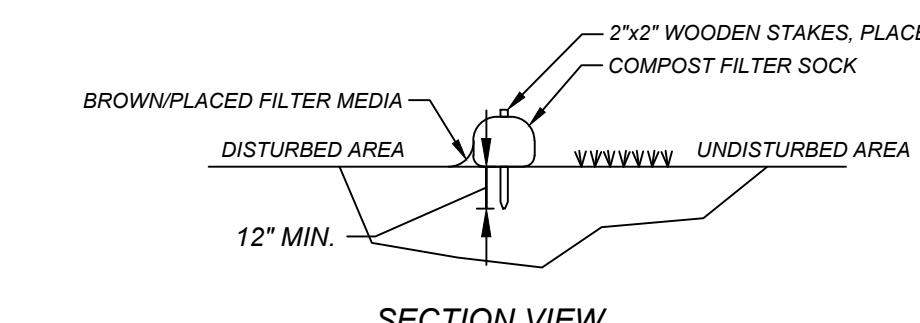
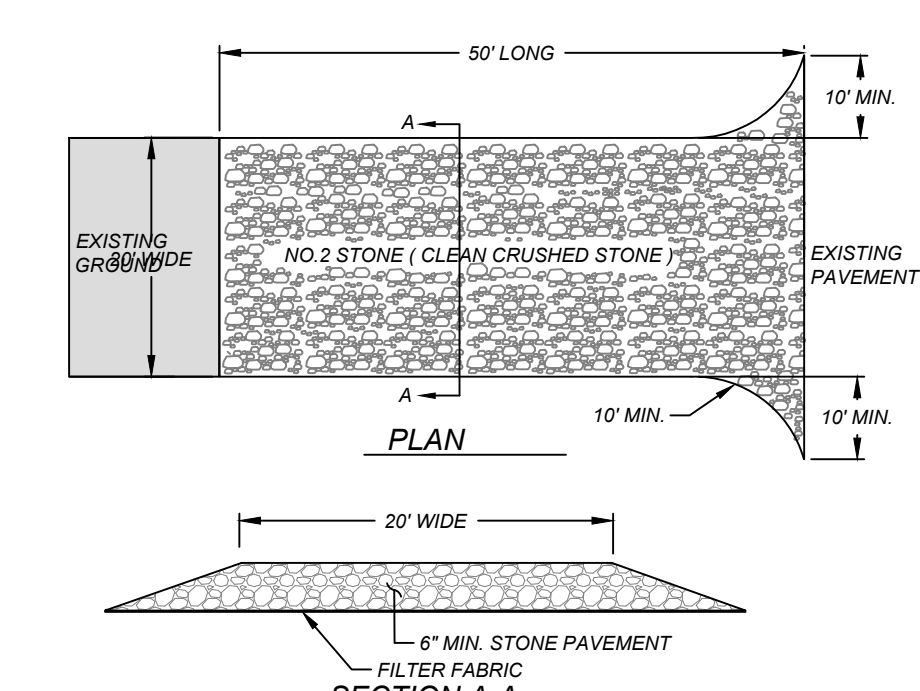
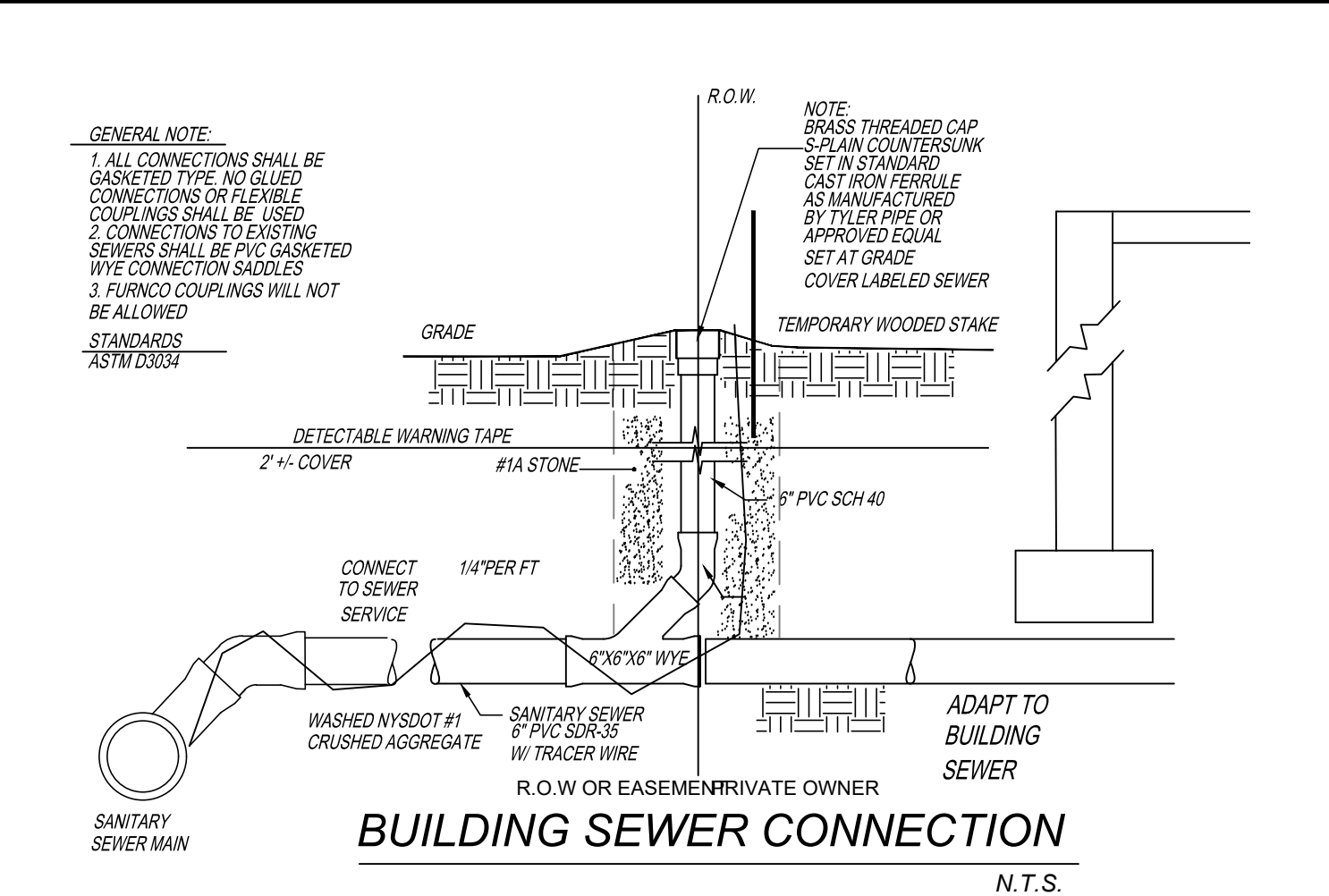
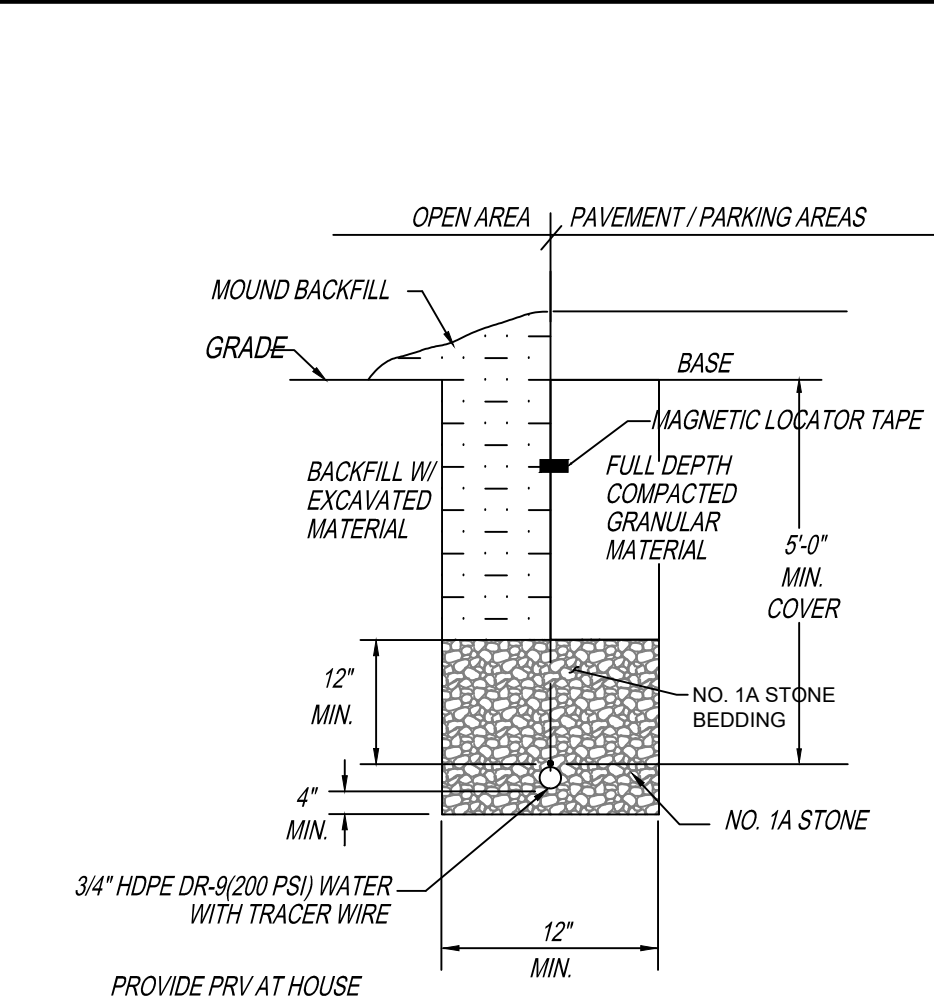
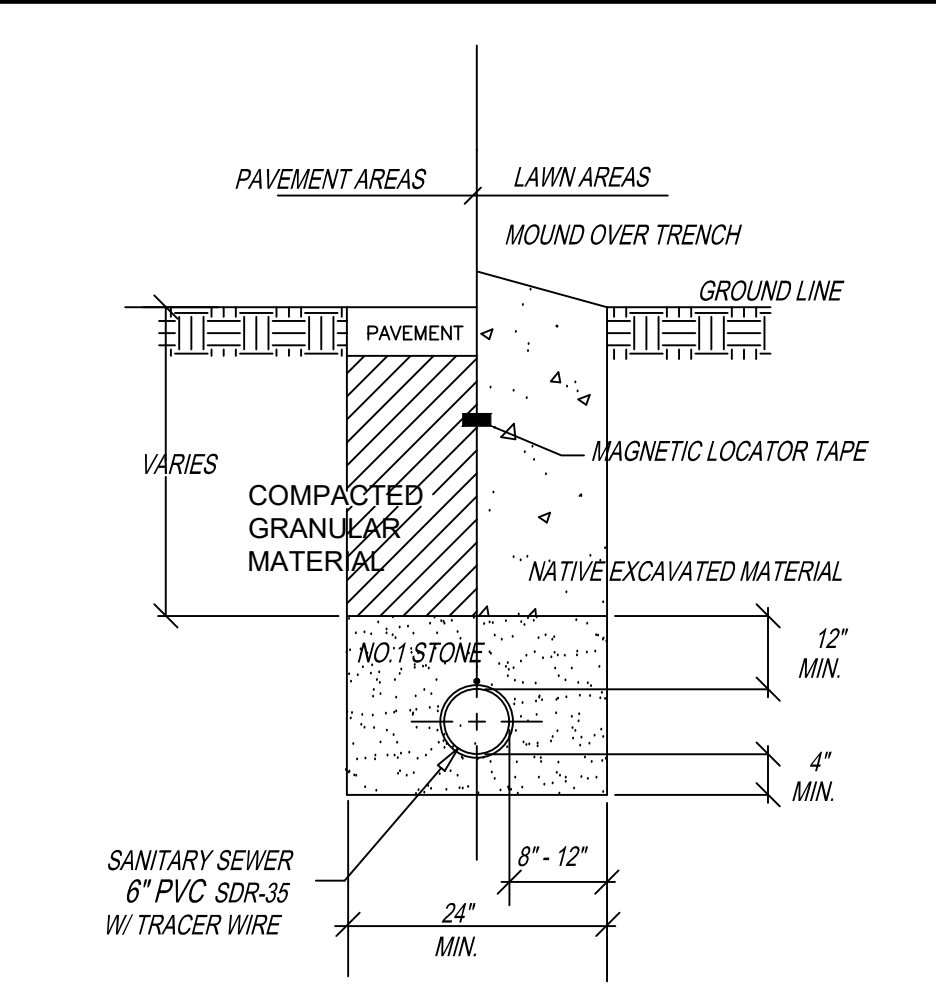
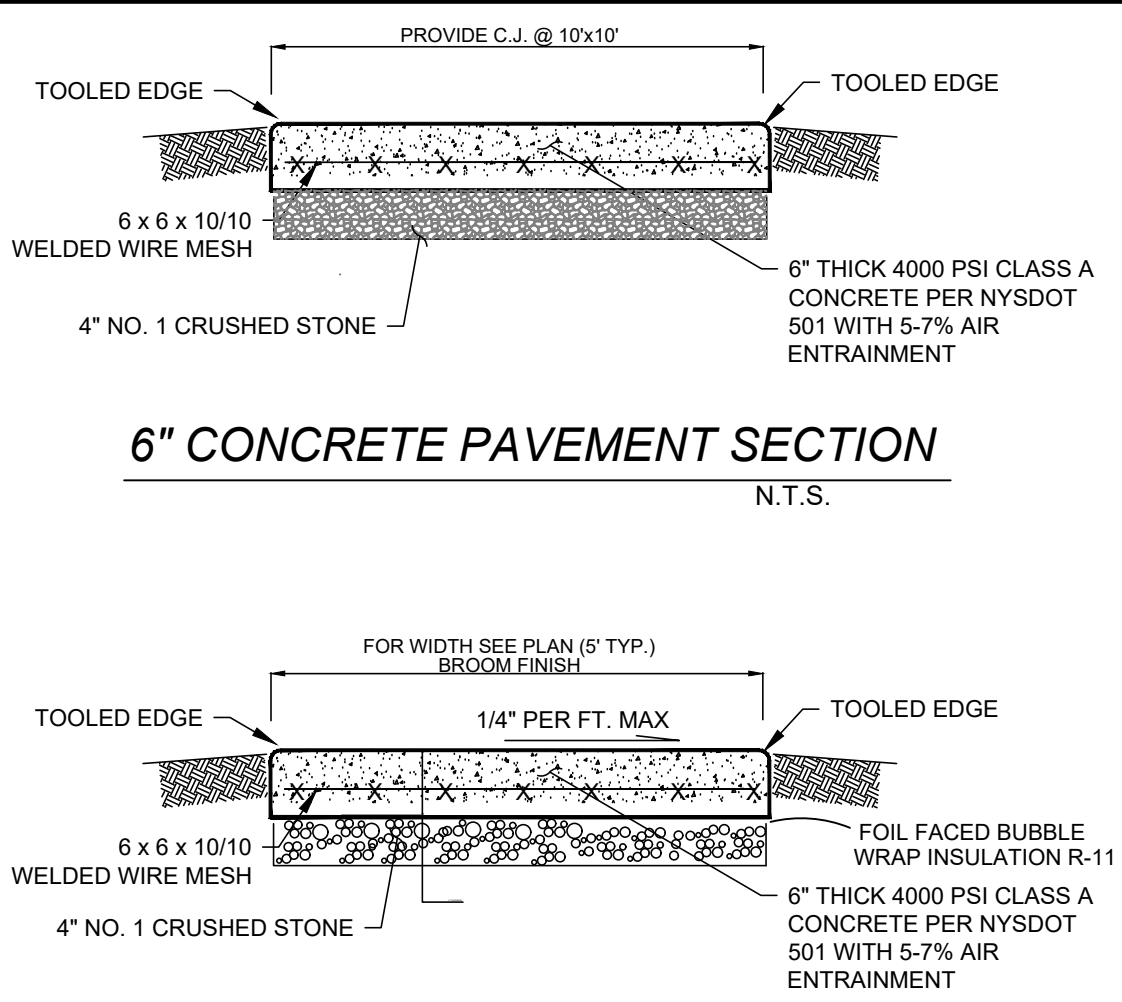
VILLAGE RESIDENTIAL ZONING - (MD)	
LOT SIZE	12,500 SF
FLOOR AREA RATIO	25%
MINIMUM BUILDING SIZE	1000 SF
SIDE YARD	15'.30 TOTAL
FRONT YARD	35'
REAR YARD	25'
ACCESSORY BUILDING	10'
OPEN SPACE	60%
BUILDING HEIGHT	2.5 STORIES

**LEGEND**

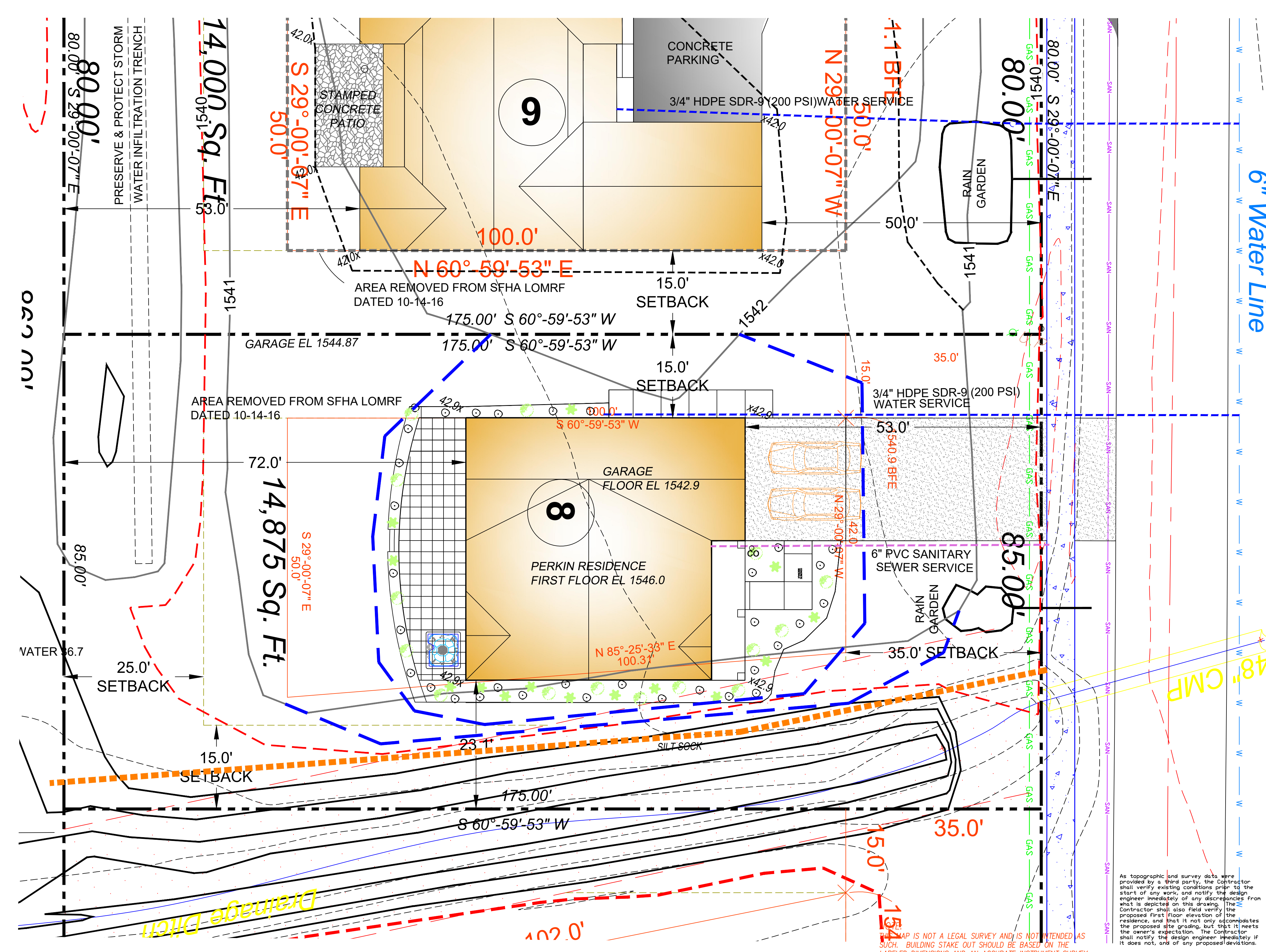
TOPO BEFORE FILL  
 MAJOR CONTOURS - - - - -  
 MINOR CONTOURS - - - - -

EXISTING TOPO  
 MAJOR CONTOURS - - - - -  
 MINOR CONTOURS - - - - -

PROPOSED CONTOURS - - - - -



**COMPOST FILTER SOCK (SILT SOCK)**  
N.T.S.



**CARL R. CALARCO, P.E.**  
 NYS LIC # 088460  
 P.O. BOX 693  
 ELLICOTTVILLE, NEW YORK 14731  
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**PROPOSED SITE PLAN**

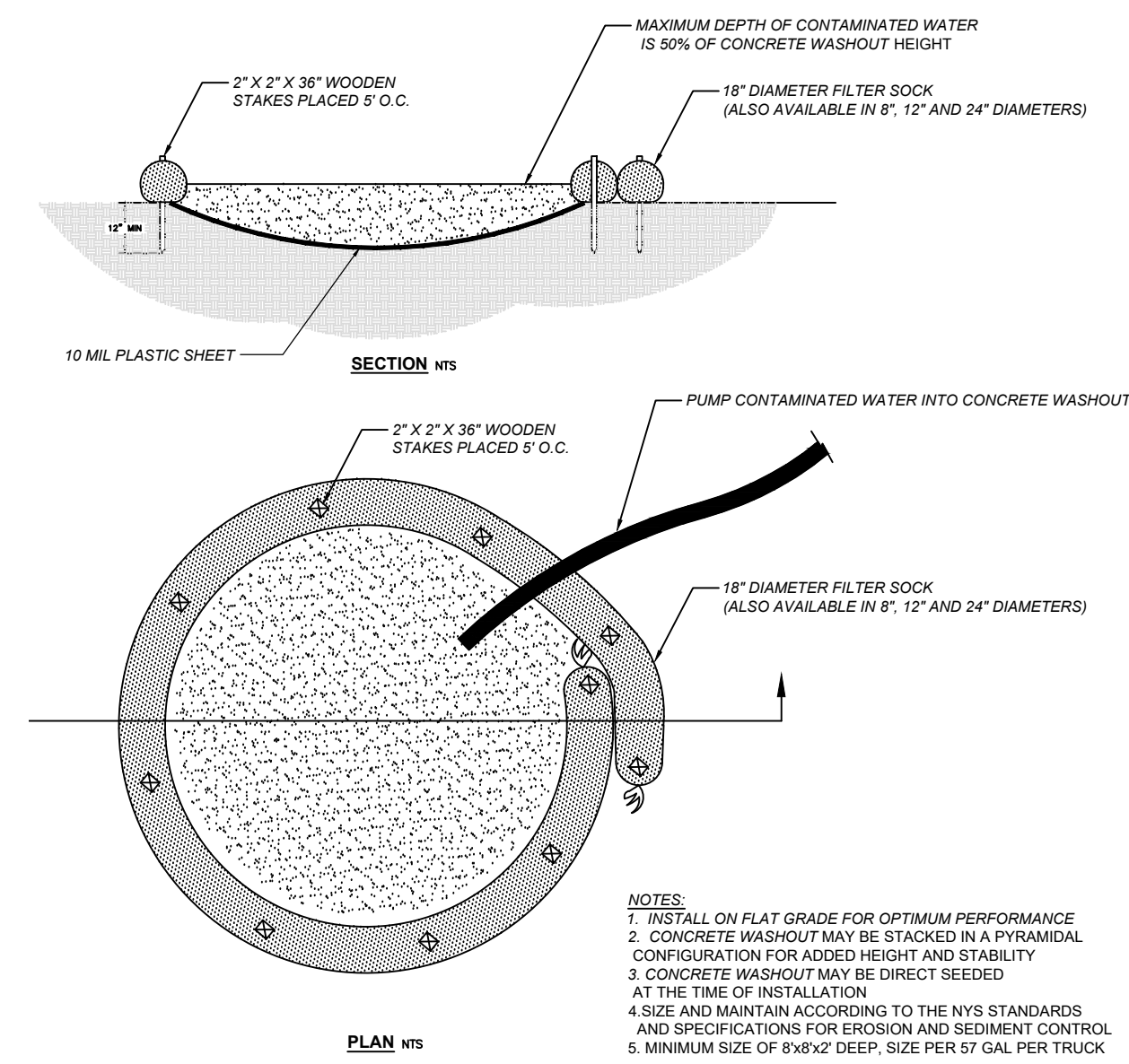
**AARON B. TILLER**  
 COMMERCIAL, INDUSTRIAL, RESIDENTIAL  
 CAD SERVICES  
 5 PINE STREET  
 ALLEGANY, NEW YORK 14706  
 716-307-3684  
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RESIDENTIAL DESIGN FOR  
**PERKINS RESIDENCE**  
 16 FILLMORE DRIVE  
 ELLICOTTVILLE, NEW YORK 14731

REVISION DATE:	1-29-2024	DRAWN BY:	
DATE:	8-22-2023	REVIEWED BY:	
DRAWING NO.:	<b>C101</b>		

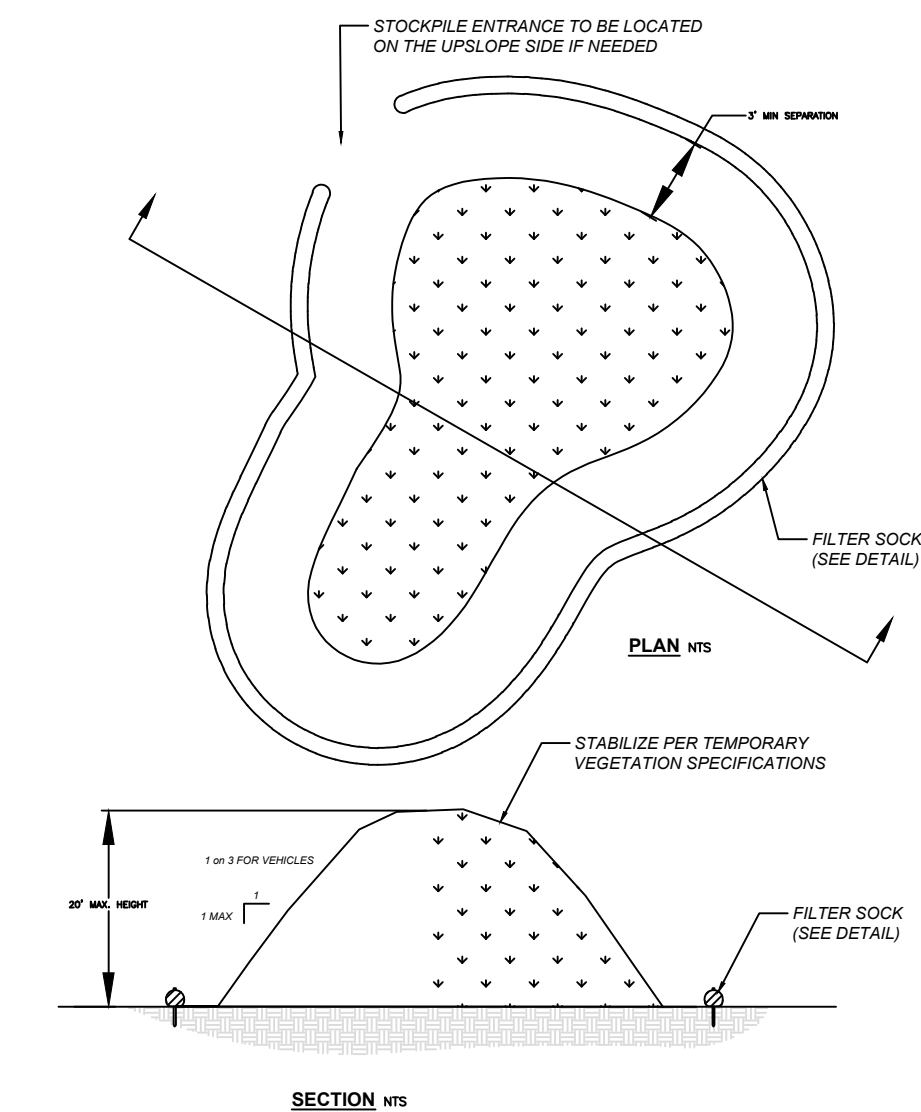
THIS MAP IS NOT A LEGAL SURVEY AND IS NOT INTENDED AS SUCH. BUILDING STAKE OUT SHOULD BE BASED ON THE LABELED DIMENSIONS AND AN ACCURATE INSTRUMENT SURVEY.





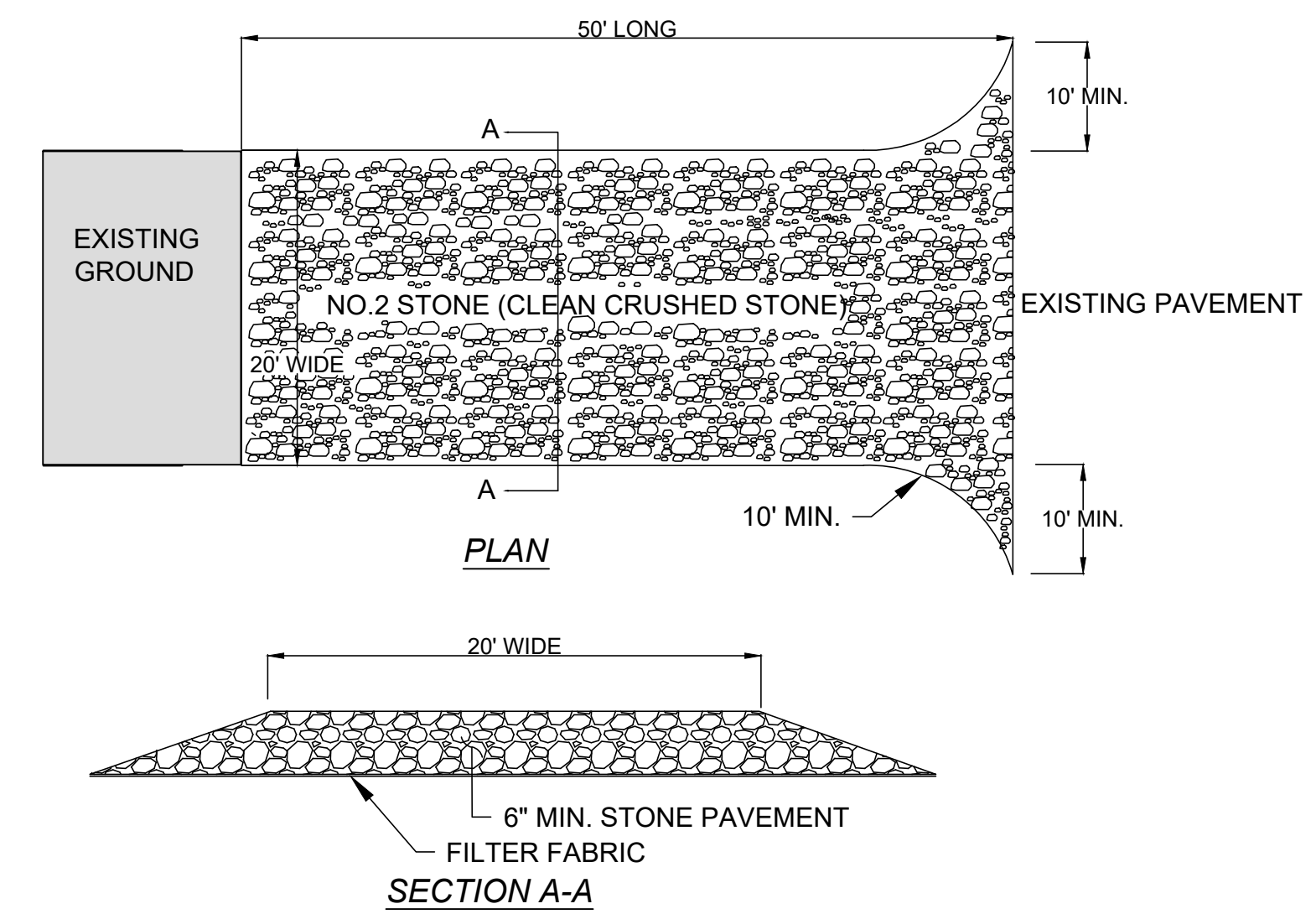
**CONCRETE WASHOUT**

N.T.S.



**TOPSOIL STOCKPILE DETAIL**

N.T.S.

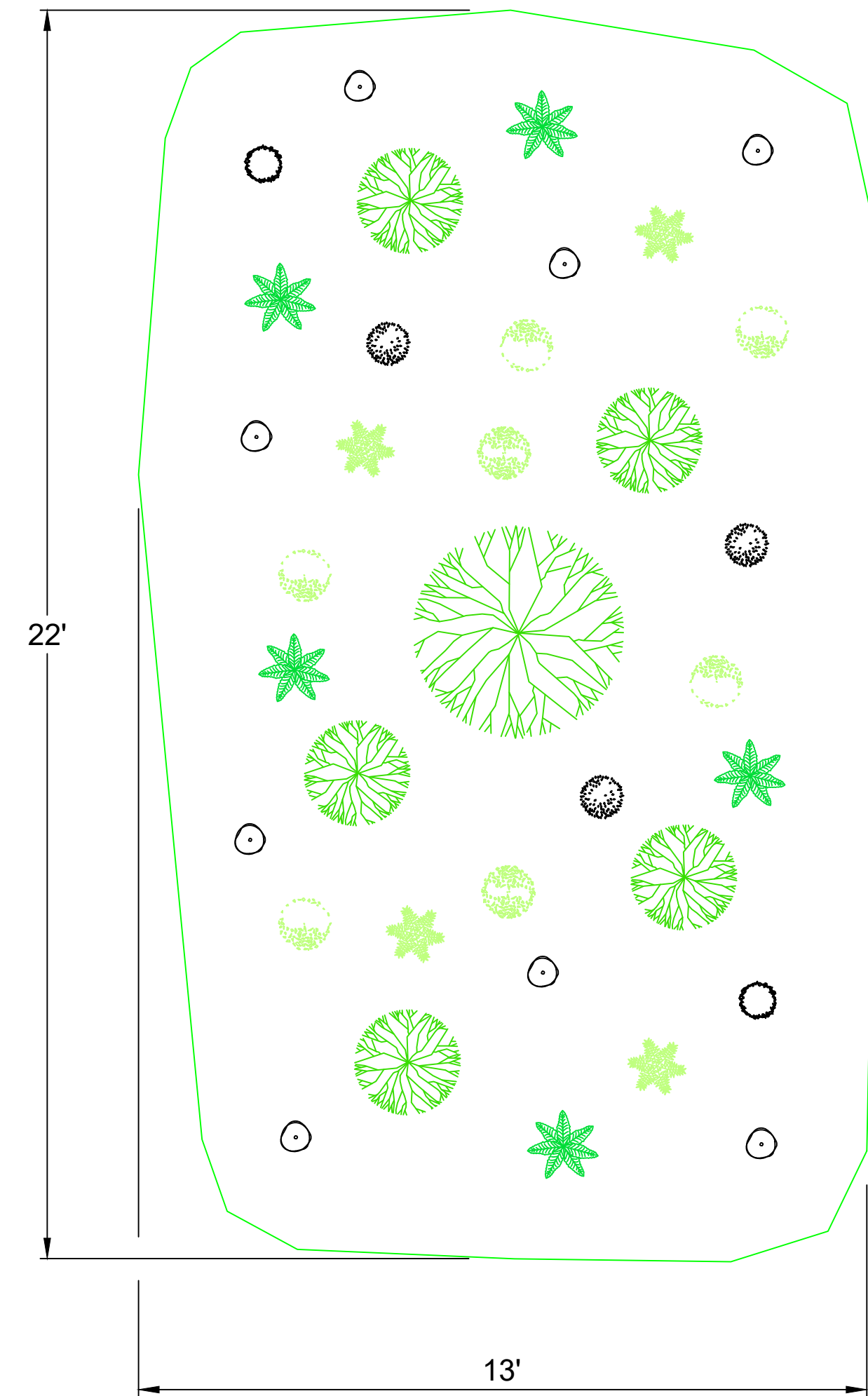


**NOTES:**

1. STONE SIZE NO.2 ( CLEAN CRUSHED STONE ).
2. PLACE FILTER FABRIC OVER ENTIRE AREA PRIOR TO PLACING STONE.
3. ALL SURFACE WATER FLOWING TOWARD CONSTRUCTION ENTRANCE TO BE PIPED ACROSS THE ENTRANCE.
4. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC R.O.W. SHALL BE REMOVED IMMEDIATELY.
5. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM.

**STABILIZED CONSTRUCTION ENTRANCE**

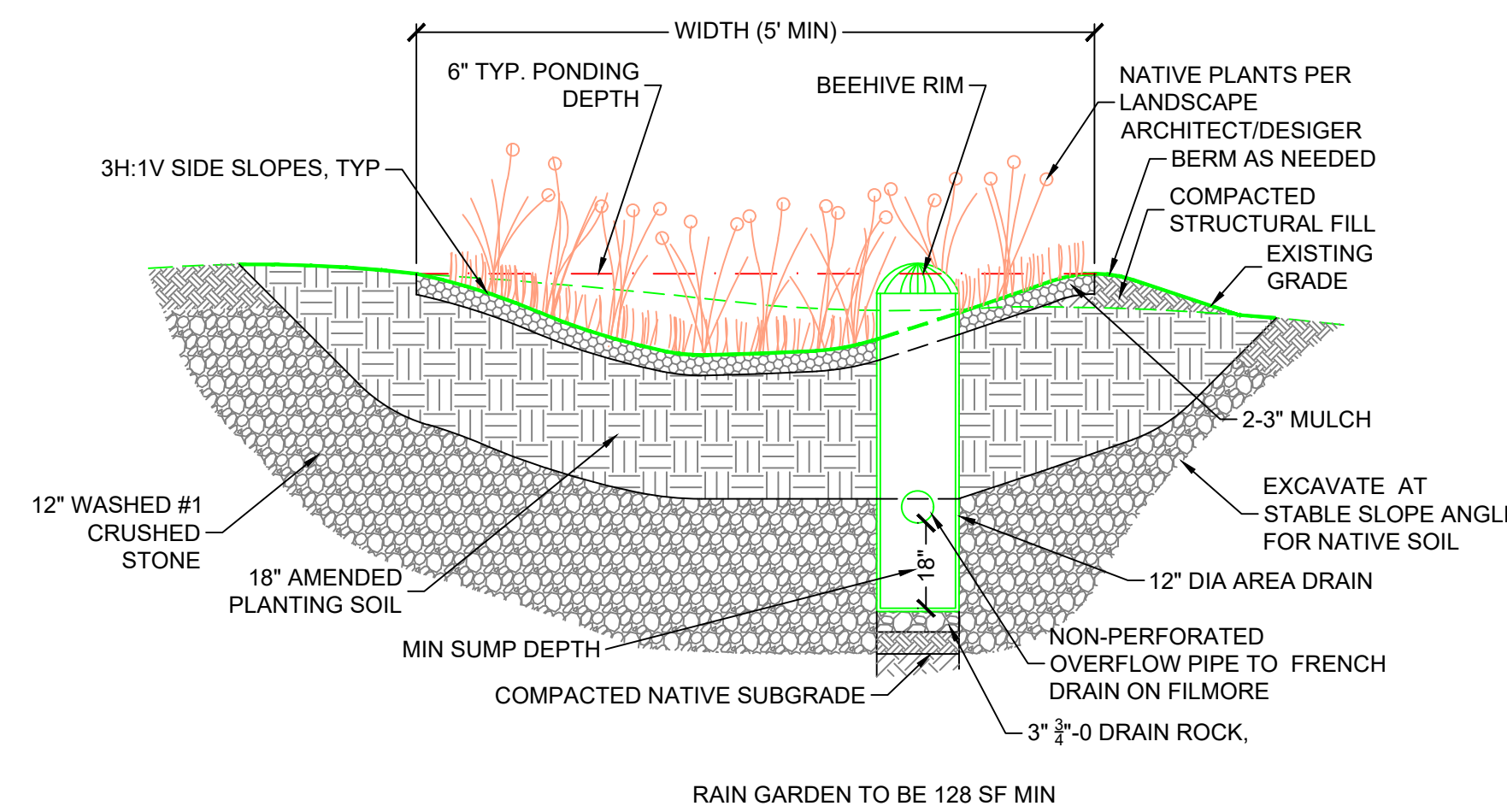
N.T.S.



**TYPICAL RAIN GARDEN**

N.T.S.

- WINTERBERRY  
RED SPRITE  
QUANTITY (5)
- RED-OSIER DOGWOOD  
QUANTITY (1)
- CINNAMON FERN  
QUANTITY (4)
- NEW ENGLAND ASTER  
QUANTITY (5)
- FOX SEDGE  
QUANTITY (2)
- WILD BERGAMOT  
QUANTITY (5)
- SWITCH GRASS  
QUANTITY (3)
- GREAT BLUE LOBELIA  
QUANTITY (8)
- SPOTTED JOE-PYE WEED  
QUANTITY (2)



**INFILTRATION RAIN GARDEN WITH PLANTING SOIL NOTES**

**DESIGN NOTES:**

1. PLANT WITH PLANTS PER LANDSCAPE ARCHITECT DWGS. NATIVE PLANTS ARE PREFERRED, BECAUSE NON-NATIVE AND INVASIVE SPECIES CAN MOVE DOWNSTREAM AND DAMAGE HABITAT. IF NON-NATIVES ARE CHOSEN, BE SURE THAT THEY WILL NOT DAMAGE DOWNSTREAM HABITAT.
2. BUILD AND VEGETATE RAIN GARDEN AS EARLY AS POSSIBLE TO ESTABLISH PLANTINGS BEFORE DIRECTING STORMWATER RUNOFF TO IT OR DIVERT STORMWATER AROUND FACILITY. PREFERABLY, THIS PERIOD WOULD LAST A MINIMUM OF 3 MONTHS OR PER LANDSCAPE ARCHITECT/DISIGNER GUIDELINES.
3. INFILTRATION AREAS (THE AREA OF THE RAIN GARDEN AS DEFINED BY THE TOP ELEVATION OF THE FACILITY) SHALL BE FENCED OFF FROM THE FIRST DAY OF EARTH MOVING UNTIL PROJECT COMPLETION TO PREVENT COMPACTION OF THE SUBGRADE, DIRT TRACKING ONTO ANY LAYER OF THE FACILITY AND STOCKPILING OF CONSTRUCTION MATERIALS THAT MAY CLOG THE SURFACE.
4. DURING EXCAVATION OF NATIVE SOILS TO THE BOTTOM OF THE FACILITY, RAINFALL MAY CAUSE FINES TO CLOG THE SURFACE OF THE FACILITY. IF THE NATIVE SOIL HAS BEEN EXPOSED TO RAINFALL, HAND RAKE THE SURFACE TO A DEPTH OF 3" TO RESTORE INFILTRATION CAPACITY.
5. CALL THE ENGINEER AT [716-699-4650] 24 HOURS IN ADVANCE OF CONSTRUCTING THIS FACILITY SO CONSTRUCTION OBSERVATION MAY BE PERFORMED TO IDENTIFY VARIATIONS IN THE FIELD THAT MAY AFFECT DESIGN AND VERIFY PROPER CONSTRUCTION.
6. DURING AREA DRAIN INSTALLATION, DISTURB NATIVE SOILS AS LITTLE AS POSSIBLE.

**AMENDED PLANTING SOIL MIX SPECIFICATIONS**

1. AMENDED PLANTING SOIL MIX SHALL HAVE THE FOLLOWING CHARACTERISTICS:
  - a. 60% LOAMY SAND AND 40% COMPOST.
  - b. ORGANIC CONTENT MATTER FROM 8-10% BY WEIGHT
  - c. CATION EXCHANGE CAPACITY (CEC) GREATER THAN OR EQUAL TO 5 MILLIEQUIVALENTS/100 GRAMS OF DRY SOIL
  - d. 2-5% MINERAL FINES CONTENT
2. AMENDED PLANTING SOIL MIX MAY BE CREATED BY TESTING ON-SITE NATIVE SOILS AND MIXING MATERIALS FROM OFF-SITE AS NEEDED TO ACHIEVE THE CHARACTERISTICS DESCRIBED IN NOTE 1 ABOVE.
3. AMENDED PLANTING SOIL MIX SHOULD BE UNIFORMLY MIXED WITH A SOIL MIXER.
4. PLACEMENT OF AMENDED PLANTING SOIL MIX SHALL OCCUR PER THE FOLLOWING GUIDELINES:
  - a. PLACE SOIL IN 12" LIFTS, KEEPING MACHINERY OUTSIDE OF INFILTRATION AREA.
  - b. DO NOT PLACE SOILS IF SATURATED.
  - c. COMPACT EACH LIFT WITH WATER OR BOOT PACKING UNTIL JUST SATURATED TO 85% COMPACTION. DO NOT COMPACT WITH HEAVY MACHINERY OR VIBRATORY COMPACTION.

**NOTE:**

AMENDED SOIL CAN BE NYSDOT ITEM NO. 208.01030022

**NOTE:**

RAIN GARDEN PLANT LIST PER TABLE 5.11 OF NYS STORMWATER MANGEMENT DESIGN MANUAL

SHRUBS	HERBACEOUS PLANTS
WITCH HAZEL	CINNAMON FERN
WINTERBERRY	CUTLEAF CONEFLOWER
ARROWWOOD	WOOLGRASS
BROOK-SIDE ALDER	NEW ENGLAND ASTER
RED-OSIER DOGWOOD	FOX SEDGE
SWEET PEPPERBUSH	SPOTTED JOE-PYE WEED
	SWITCH GRASS
	GREAT BLUE LOBELIA
	WILD BERGAMOT
	RED MILKWEED

**INFILTRATION RAIN GARDEN**

N.T.S.

As topographic and survey data were provided by a third party, the Contractor shall verify existing conditions prior to the start of any work, and notify the design engineer immediately of any discrepancies from what is depicted on this drawing. The Contractor shall also field verify the proposed first floor elevation of the residence, and that it not only accommodates the proposed site grading but that it meets the owner's expectation. The Contractor shall notify the design engineer immediately if it does not, and of any proposed deviations.

**CARL R. CALARCO, P.E.**  
NYS LIC # 088460  
P.O. BOX 693  
ELLCOTTVILLE, NEW YORK 14731  
716-244-8313  
CRCALARCO@VERIZON.NET

**PROPOSED  
SITE PLAN**

**AARON B. TILLER**  
COMMERCIAL, INDUSTRIAL, RESIDENTIAL  
CAD SERVICES  
5 PINE STREET  
ALLEGANY, NEW YORK 14706  
716-307-3684  
AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN  
FOR  
**PERKINS  
RESIDENCE**  
16 FILLMORE DRIVE  
ELLCOTTVILLE, NEW YORK 14731

REVISION DATE:	1-29-2024	DRAWN BY:	
DATE:	8-22-2023	REVIEWED BY:	
DRAWING NO:	<b>C102</b>		



PROPOSED  
 FIRST FLOOR PLAN

AARON B. TILLER

COMMERCIAL, INDUSTRIAL, RESIDENTIAL  
 CAD SERVICES  
 5 PINE STREET  
 ALLEGANY, NEW YORK 14706  
 716-307-3684  
 AARONTILLER@GMAIL.COM

PERKINS  
 RESIDENCE

RESIDENTIAL DESIGN  
 FOR

16 FILLMORE DRIVE  
 ELLICOTTVILLE, NEW YORK 14731

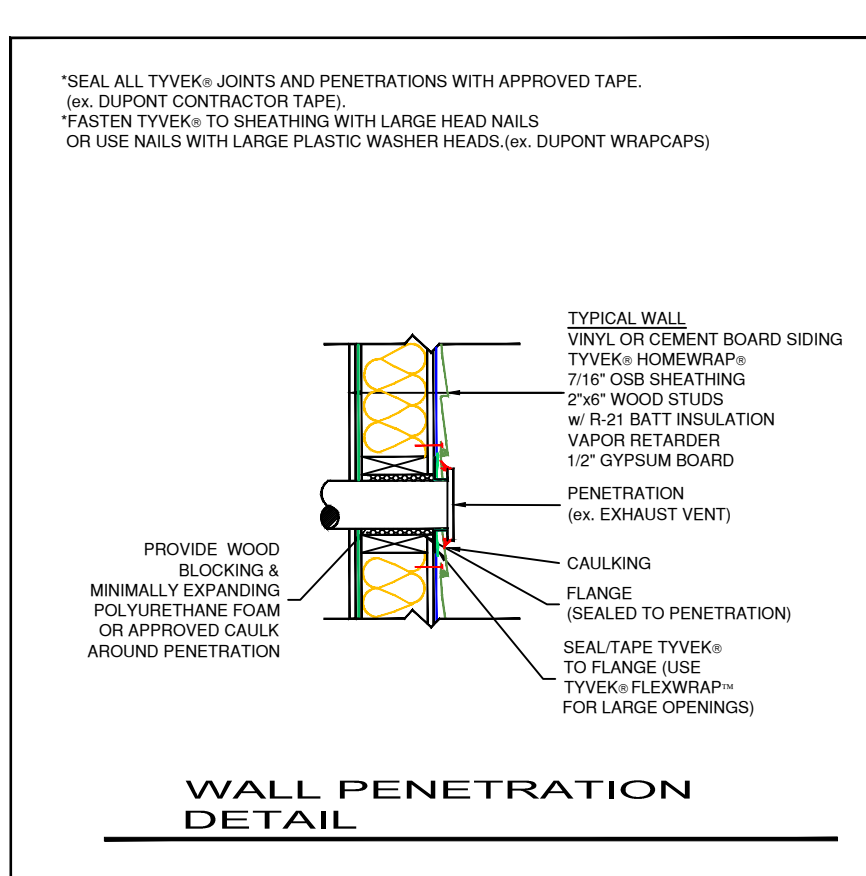
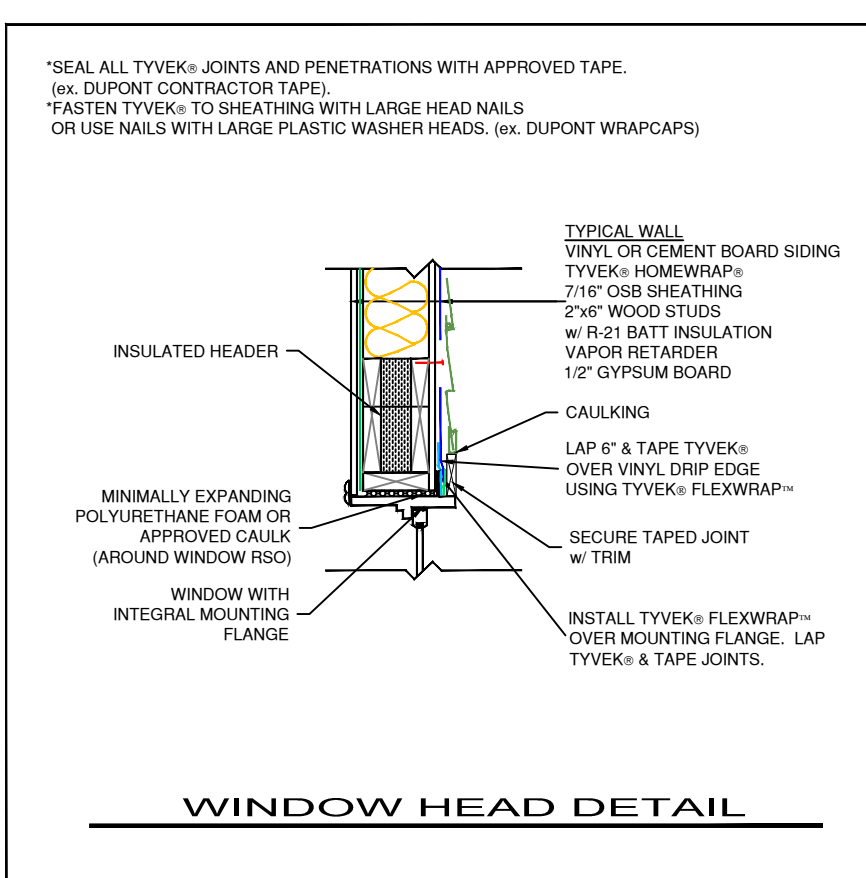
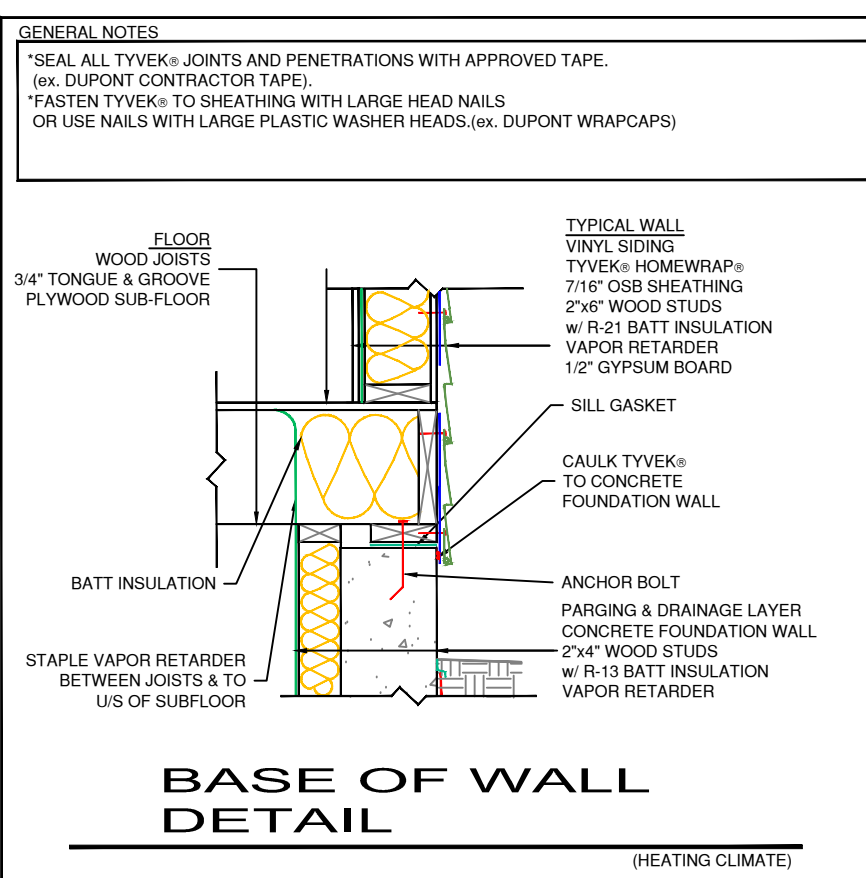
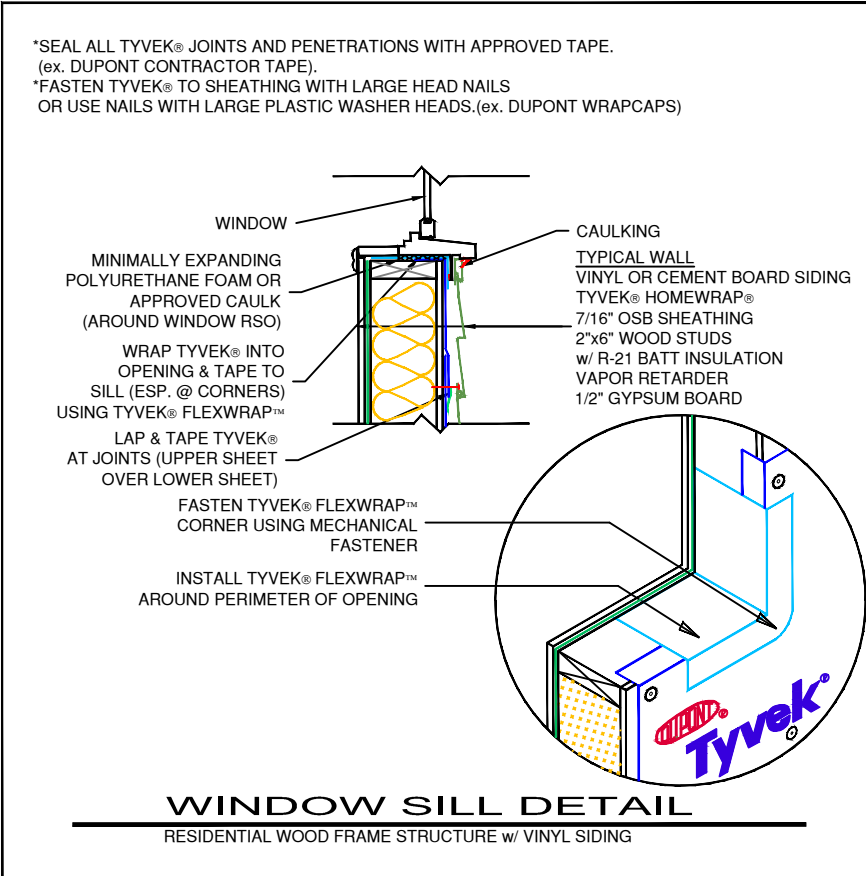
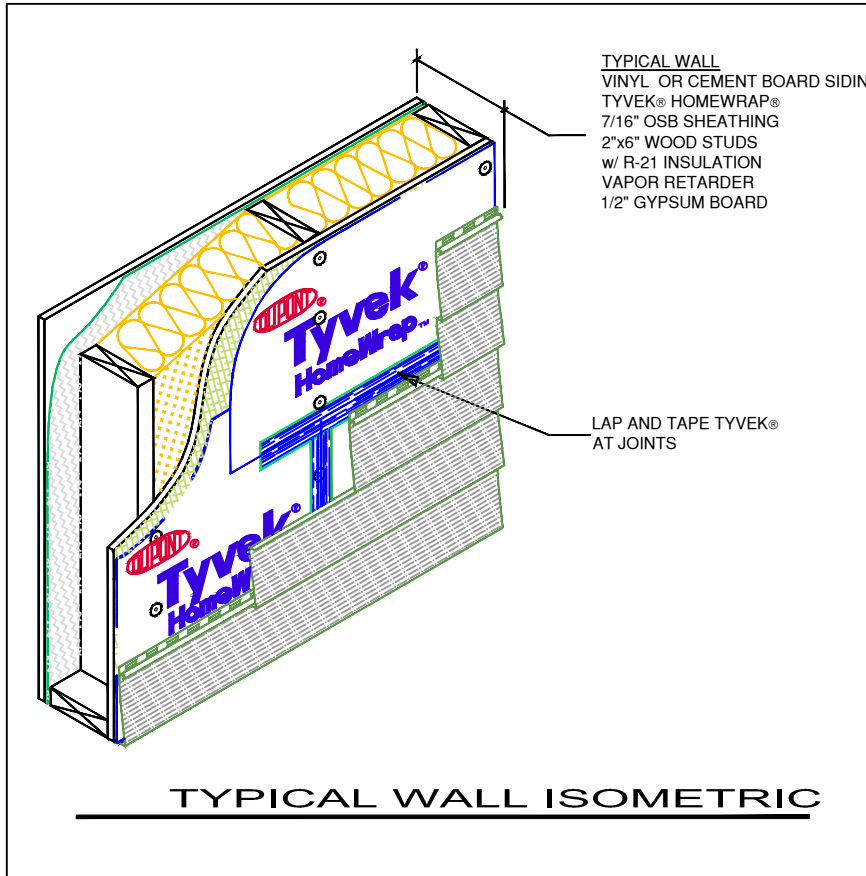
REVISION DATE:	DRAWN BY:
1-29-2024	
DATE:	REVIEWED BY:
8-22-2023	
DRAWING NO:	

A101



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"  
 FIRST FLOOR AREA=1,490 SF  
 GARAGE AREA = 711 SF



TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED CARL R. CALARCO, P.E., THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE, AS CURRENTLY IN EFFECT



**GENERAL NOTES:**

- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE NEW YORK STATE RESIDENTIAL CODE AND/OR ANY APPLICABLE COUNTY OR LOCAL JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION. OWNER/CONTRACTOR SHALL VERIFY WITH LOCAL BLDG. DEPT. WHICH CLIMATE ZONE THE PROJECT WILL BE BUILT IN.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- DESIGN LOADS:
 

ROOF (L.L.)	33 PSF
ROOF (L.L. + D.L.) (SHAKE/COMP)	48 PSF
ROOF (L.L. + D.L.)	48 PSF
STAIRS (L.L. + D.L.)	100 PSF
GARAGE FLOOR (L.L.) (2,000 POINT)	50 PSF
DECKS (L.L. + D.L.)	50 PSF
BALCONIES (EXT.) (L.L. + D.L.)	70 PSF
ATTIC STORAGE (C.G. ±) (L.L. + D.L.)	30 PSF

(IF YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS CONSULT WITH A LOCAL QUALIFIED PROFESSIONAL TO DETERMINE THE APPROPRIATE REVISIONS.)

5. THIS PLAN IS DESIGNED TO MEET 2020 NYS RESIDENTIAL ENERGY CODE UNDER PRESCRIPTIVE ENVELOPE REQUIREMENTS FOR RESIDENTIAL BLDGS. IN ADDITION TO PRESCRIPTIVE ENVELOPE REQUIREMENTS, AN ADDITIONAL MEASURE MUST BE SELECTED. SEE ADDITIONAL MEASURE BELOW.

PRESCRIPTIVE ENVELOPE REQUIREMENTS

INSULATION:	ROOF (VAULTED CEILING)	R-49
	ROOF (FLAT CEILING)	R-38
	EXTERIOR WALLS	R-21
	INTERIOR INSULATION	R-20
	WALLS BELOW GRADE	R-15
	SLAB EDGES @ HEATED AREAS	R-16
	FORCED AIR DUCT (AT UNHEATED AREA)	R-8
GLAZING/DOORS:	MAXIMUM WINDOW AREA	NO LIMIT
	WINDOW CLASS	U = 35
	ENTRY DOOR CLASS (MAX. 28 SQ. FT.)	U = 54
	FULL LIGHT GLASS DOOR CLASS	U = 40
	OTHER DOORS (EXCL. MAX. 28 SQ. FT.)	U = 20
	SKYLIGHT CLASS (MAX. 2% OF HEATED SPACE)	U = 60

- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING NOT TO EXCEED 25. A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450, WHEN TESTED IN ACCORDANCE WITH ASTM E 84, AND CRITICAL RADIANT FLUX NOT LESS THAN 0.12 WATTS PER SQUARE CENTIMETER.
- INSULATE ALL ACCESS DOOR/HATCHES TO CRAWLSPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR, OR CEILING THROUGH WHICH THEY PENETRATE.
- ALL WINDOWS WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE), AND WHOSE BOTTOM EDGE IS LESS THAN 10" ABOVE FLOOR OR WALKING SURFACE SHALL HAVE TEMPERED GLAZING.
- SKYLIGHTS ARE ASSUMED TO BE PRE-MANUFACTURED UNIT SKYLIGHTS. UNIT SKYLIGHTS SHALL BE COMPLIANT WITH THE REQUIREMENTS OF O.R.S.C. SECTION NF112.

- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2" IN. DEAD BOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10' FT. (VERTICAL) OF GRADE.
- GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS & SHOWERS, AND IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS, WHERE BOTTOM EDGE OF GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE, TO BE TEMPERED GLAZING.
- BASEMENTS AND EVERY SLEEPING ROOM TO HAVE MIN. WINDOW OPENING OF 5.7 SQ. FT. WITH A MIN. WIDTH OF 20" IN. AND A SILL HGT. NOT MORE THAN 44" IN. ABOVE FIN. FLOOR.
- SMOKE DETECTORS SHALL BE INSTALLED IN EA. SLEEPING ROOM, OUTSIDE THE IMMEDIATE VICINITY OF EACH SLEEPING AREA AND ON EACH STORY OF THE DWELLING. ALL DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS AND WILL BE AUDIBLE IN ALL SLEEPING AREAS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.

- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE G.F.I. OR G.F.C.E. PER NATIONAL ELECTRICAL CODE (N.E.C.) REQUIREMENTS.
- INTERIOR & EXTERIOR STAIRS SHALL HAVE A MEANS TO ILLUMINATE THE STAIRS, INCLUDING LANDINGS & TREADS. INTERIOR STAIRS OF 6 STEPS OR MORE SHALL HAVE THE REQUIRED LIGHTING IN THE IMMEDIATE VICINITY OF THE TOP & BOTTOM OF THE STAIRS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF STAIR, EXTERIOR STAIRS, LEADING FROM GRADE TO BASEMENT SHALL HAVE AN ARTIFICIAL LIGHT SOURCE IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF STAIRS. LIGHTING FOR INTERIOR STAIRS SHALL BE CONTROLLED FROM TOP & BOTTOM OF EA. STAIR.
- PROVIDE COMBUSTION AIR VENTS (W/ SCREEN AND BACK DAMPER) FOR FIREPLACES, WOOD STOVES, AND ANY APPLIANCES WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MIN. 80 cfm INTERMITTENT, ROOMS W/ BATHING OR SPA FACILITIES SHALL BE CONTROLLED BY A GEOTHERMIST, TIMER OR SIMILAR MEANS OF AUTOMATIC CONTROL. DRYER & RANGE HOODS ARE ALSO TO BE VENTED TO EXTERIOR.

- SPECIFY MANUFACTURER AND MATERIALS DEPICTED ON THESE PLANS ARE AN INDICATION OF QUALITY AND STRENGTH. VERIFY ALL CONSTRUCTION MATERIAL SUBSTITUTIONS WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PRIOR TO INSTALLATION/SUBSTITUTION.

- ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE (2) 2 X 10 HEADERS UNLESS OTHERWISE INDICATED.
- ALL EXTERIOR WALLS TO BE BUILT OF 2 X 6 STUDS @ 16" O.C. TYPICALLY UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS SUPPORTING TWO OR MORE FLOORS AND 1 OR MORE ROOF/CEILING ASSEMBLIES SHALL BE 2 X 6 STUDS @ 16" O.C.
- ALL METAL CONNECTORS TO BE "SIMPSON" OR EQUIVALENT. U.N.D. JOISTS HUNG ON FLUSH BEAMS TO BE ATTACHED WITH U210 OR EQUIVALENT. MULTIPLE JOISTS USE U210-U210-3 AS REQUIRED. USE OF 104 X 1-1/2" NAILS ARE ALLOWED WITH THESE TYPE OF HANGERS UNLESS NOTED ON THE PLANS. SEE NAIL CONVERSION CHART FROM CURRENT SIMPSON CATALOG FOR OTHER NOTES AND RESTRICTIONS THAT MAY APPLY.
- PROVIDE MIN DOUBLE JOISTS UNDER ALL BEARING WALLS ABOVE. RUNNING PARALLEL TO JOISTS AND SOLID BLOCKING BELOW ALL BEARING WALLS RUNNING PERPENDICULAR TO FLOOR JOISTS.
- PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER SPACE AT VAULTED C.G. AREAS. AND INSULATION BAPFLES AT EAVE VENTS BETWEEN RAFTERS. RAFTER VENTILATION IS ALSO REQUIRED AT BLOCKING LOCATIONS ABOVE THE PLATE.
- PROVIDE FIRE BLOCKING, DRAFT STOPS, & FIRE STOPS AS PER NYS RESIDENTIAL CODE
- HIPS, VALLEY'S AND RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END OUT OF THE RAFTER.
- UNLESS NOTED OTHERWISE, POST TO BEAM CONNECTIONS REQUIRE SIMPSON® BC SERIES CAP/BASE (OR APPROVED EQVA.) CONNECTORS. EXTERIOR APPLICATIONS REQUIRE SIMPSON® EPB SERIES BASES U.N.D. AND INTERIOR GARAGE POSTS REQUIRE SIMPSON® CB SERIES BASES.

**FRAMING NOTES:**

- ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE (2) 2 X 10 HEADERS UNLESS OTHERWISE INDICATED.
- ALL EXTERIOR WALLS TO BE BUILT OF 2 X 6 STUDS @ 16" O.C. TYPICALLY UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS SUPPORTING TWO OR MORE FLOORS AND 1 OR MORE ROOF/CEILING ASSEMBLIES SHALL BE 2 X 6 STUDS @ 16" O.C.
- ALL METAL CONNECTORS TO BE "SIMPSON" OR EQUIVALENT. U.N.D. JOISTS HUNG ON FLUSH BEAMS TO BE ATTACHED WITH U210 OR EQUIVALENT. MULTIPLE JOISTS USE U210-U210-3 AS REQUIRED. USE OF 104 X 1-1/2" NAILS ARE ALLOWED WITH THESE TYPE OF HANGERS UNLESS NOTED ON THE PLANS. SEE NAIL CONVERSION CHART FROM CURRENT SIMPSON CATALOG FOR OTHER NOTES AND RESTRICTIONS THAT MAY APPLY.
- PROVIDE MIN DOUBLE JOISTS UNDER ALL BEARING WALLS ABOVE. RUNNING PARALLEL TO JOISTS AND SOLID BLOCKING BELOW ALL BEARING WALLS RUNNING PERPENDICULAR TO FLOOR JOISTS.
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- PROVIDE FIRE BLOCKING, DRAFT STOPS, & FIRE STOPS AS PER NYS RESIDENTIAL CODE
- HIPS, VALLEY'S AND RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END OUT OF THE RAFTER.
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9. LUMBER SPECIES:

A. POSTS, BEAMS, HEADERS	NO. 2 DOUGLAS FIR
B. JOISTS AND RAFTERS	NO. 2 DOUGLAS FIR
C. SILL, PLATES, BLOCKING	NO. 3 DOUGLAS FIR
D. BRACING ETC.	STUD GRADE S.P.F.
E. STUDS	NO. 2 OR BETTER D/F
F. STUDS OVER 10' HIGH	NO. 2 OR BETTER D/F
G. POST & BEAM SCORING	UTILITY GRADE D/F
H. PLYWOOD SHEATHING	CDX PLY. 32/16
I. GULF-LAM BEAMS	F3-2400, DRY ADH.
J. (EXT. ADH. @ EXT. CONDITIONS)	

H.P. MATERIALS: F<sub>b</sub> = 2900 E = 2.0 F<sub>v</sub> = 290  
L.V. MATERIALS: F<sub>b</sub> = 2600 E = 1.8 F<sub>v</sub> = 285

\* PSL INDICATES PARALLEL STRAND LUMBER  
\*\* LVL INDICATES LAMINATED VENEER LUMBER  
I. METAL HANGERS & FASTENERS USED WITH P.T. LUMBER TO BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.

10. NAILING SCHEDULE:

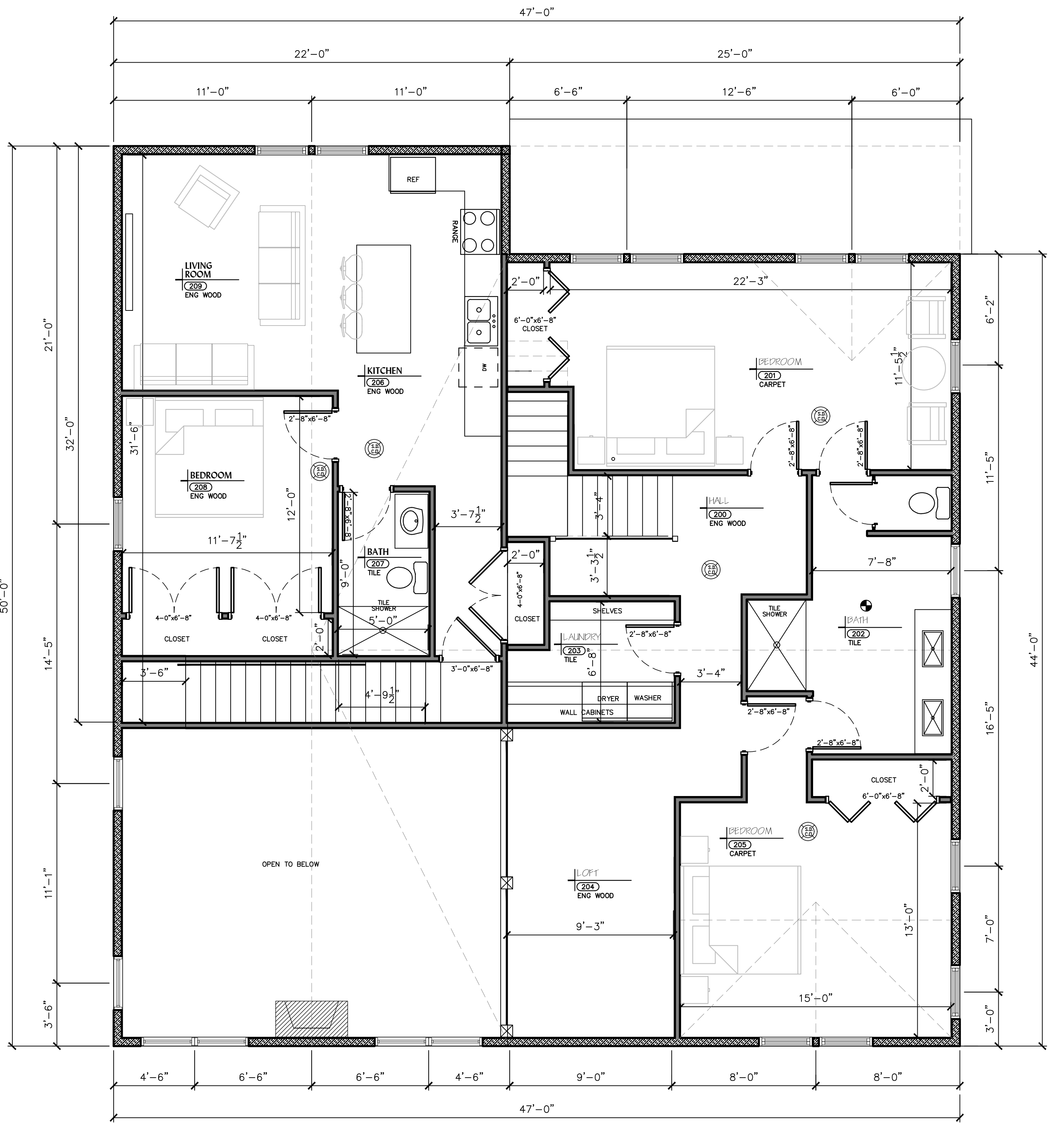
JOIST TO SILL OR GIRDER	3-8d	TOE NAIL
BRIDGING TO JOIST	3-8d	TOE NAIL
2" SUBFLOOR TO GIRDER	2-16d	BLIND & FACE
SOLE PL. TO JOIST	16d @ 16" o.c.	FACE NAIL
TOP PL. TO STUDS	2-16d	END NAIL
STUD TO SOLE PL.	3-8d OR 2-16d	TOE NAIL
DOUBLE STUDS	10d @ 24" o.c.	FACE NAIL
DOUBLE TOP PL.	10d @ 24" o.c.	FACE NAIL
CONTINUOUS HEADER (2 PC.)	16d @ 16" o.c.	EDGE NAIL
C.L.G. JST. TO PL.	3-8d	TOE NAIL
C.L.G. JST. LAP OVER PL.	3-10d	FACE NAIL
C.L.G. TO RAFTER	3-10d	FACE NAIL
RAFTER TO TOP PL.	2-16d	TOE NAIL
COLLAR TIE (EA. END)	3-10d (U.N.O.)	FACE NAIL
BUILT-UP CORNER STUDS	10d @ 24" o.c.	FACE NAIL
PLYWOOD SHEATHING	6d @ 8" o.c.	EDGE NAIL
6d @ 12" o.c.	FIELD NAIL	
SOLID BLOCKING @ BEARING	3-8d	TOE NAIL
PLY WALL & ROOF SHEATHING	8d @ 8" o.c.	EDGE NAIL
8d @ 12" o.c.	FIELD NAIL	
STARTLED ROOF SHEATHING	3" o.c.	EDGE NAIL
PLYWOOD SHEATHING	6d @ 8" o.c.	EDGE NAIL
6d @ 12" o.c.	FIELD NAIL	
MULTIPLE JOISTS (UP TO 3)	16d @ 16" o.c.	STAGGERED @ 24" o.c.
MULTIPLE JOISTS (OVER 3)	16d @ 16" o.c.	STAGGERED @ 24" o.c.
1 X 8 SPACED SHEATHING	2-8d	FACE NAIL
RAFTERS TO HIPS, VALLEY	4-16d	TOE NAIL
OR RIDGES	2-16d	FACE NAIL
RAFTER LEDGERS	3-20d	EACH STUD

SPAN TABLES

JOISTS (10# D.L.)		FLOOR (40# D.L.)		CEILING (19# D.L.)		RAFTERS (19# D.L.)		TILE COMP. / SHAKE (10# D.L.)	
NO. 2 D.F. MEMBER	SPAC'G O.C.	NO. 2 D.F. MEMBER	SPAC'G O.C.	NO. 2 D.F. MEMBER	SPAC'G O.C.	NO. 2 D.F. MEMBER	SPAC'G O.C.	NO. 2 D.F. MEMBER	SPAC'G O.C.
2 X 6	12"	2 X 6	12"	2 X 6	12"	2 X 6	12"	2 X 6	12"
2 X 8	16"	2 X 8	16"	2 X 8	16"	2 X 8	16"	2 X 8	16"
2 X 10	24"	2 X 10	24"	2 X 10	24"	2 X 10	24"	2 X 10	24"
2 X 12	36"	2 X 12	36"	2 X 12	36"	2 X 12	36"	2 X 12	36"

**ENERGY CONSERVATION CODE**

- RESIDENTIAL BUILDING REGULATED BY 2020 NYS ENERGY CONSERVATION CODE.
- TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATION ARE IN COMPLIANCE WITH THE ENERGY CODE.
- THE BUILDING IS LOCATED IN CATTARAUGUS COUNTY, WHICH IS CLIMATE ZONE 6
- THE BUILDING HAS FOLLOWED THE CODE USING RESCHECK.
- THE BUILDING SHALL HAVE THE FOLLOWING MIN COMPONENT UNLESS NOTED.
  - FENESTRATION 0.31 U-FACTOR
  - SKYLIGHTS 0.55 U-FACTOR
  - CEILING R-49
  - WOOD FRAME WALL 20+5 OR 13+10 R-VALUE
  - MASS WALL 15/20 R-VALUE
  - FLOOR 30 R-VALUE
  - BASEMENT WALL 15/19 R-VALUE
  - SLAB 10 R-VALUE TO 4"
  - CRAWL SPACE 15/19 R-VALUE
- A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE BUILDER AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED IN THE UTILITY ROOM. THE CERTIFICATE SHALL LIST THE R-VALUES, U-FACTORS AND RESULTS FROM REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING. THE CERTIFICATE SHALL LIST THE TYPES OF AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT.
- WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT, WHEN TESTED ACCORDING TO NFRC 400 OR AAMA/WDMA/CSA 101/1.5.2/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.
- BUILDING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.
- A SHOWER OR BATHTUB ON AN EXTERIOR WALL HAVING THE AIR BARRIER AT THE EXTERIOR ADJACENT TO THE SHOWER AND TUB SHALL SEPARATE THEM FROM THE SHOWER AND TUB.
- PROVIDE A BLOWER DOOR TEST PER SECTION R402.4.1.2
- A MINIMUM OF 75% OF LAMPS SHALL BE HIGH EFFICACY.
- PROVIDE WHOLE HOUSE MECHANICAL VENTILATION PER TABLE M1507.3.3(1)



**SECOND FLOOR PLAN**

SCALE: 1/4"=1'-0"  
SECOND FLOOR AREA=1,032 SF  
GARAGE AREA=692 SF

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED CARL R. CALARCO, P.E., THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE, AS CURRENTLY IN EFFECT

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CRCALCARCO@VERIZON.NET

**PROPOSED SECOND FLOOR PLAN**

**AARON B. TILLER**  
COMMERCIAL, INDUSTRIAL, RESIDENTIAL CAD SERVICES  
5 PINE STREET  
ALLEGANY, NEW YORK 14706  
716-307-3684  
AARONTILLER@GMAIL.COM

RESIDENTIAL DESIGN FOR  
**PERKINS RESIDENCE**  
16 FILLMORE DRIVE  
ELLCOTTVILLE, NEW YORK 14731

REVISION DATE:	1-29-2024	DRAWN BY:	
DATE:	8-22-2023	REVIEWED BY:	
DRAWING NO:	<b>A102</b>		



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**FRONT ELEVATION**  
 SCALE: 1/4"=1'-0"



**REAR ELEVATION**

**PROPOSED  
 ELEVATIONS**

**AARON B. TILLER**  
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 CAD SERVICES  
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 716-307-3684  
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RESIDENTIAL DESIGN  
 FOR  
**PERKINS  
 RESIDENCE**  
 16 FILLMORE DRIVE  
 ELLICOTTVILLE, NEW YORK 14731

REVISION DATE: 1-29-2024  
 DRAWN BY:

DATE: 8-22-2023  
 REVIEWED BY:

DRAWING NO: **A201**

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED CARL R. CALARCO, P.E., THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE, AS CURRENTLY IN EFFECT

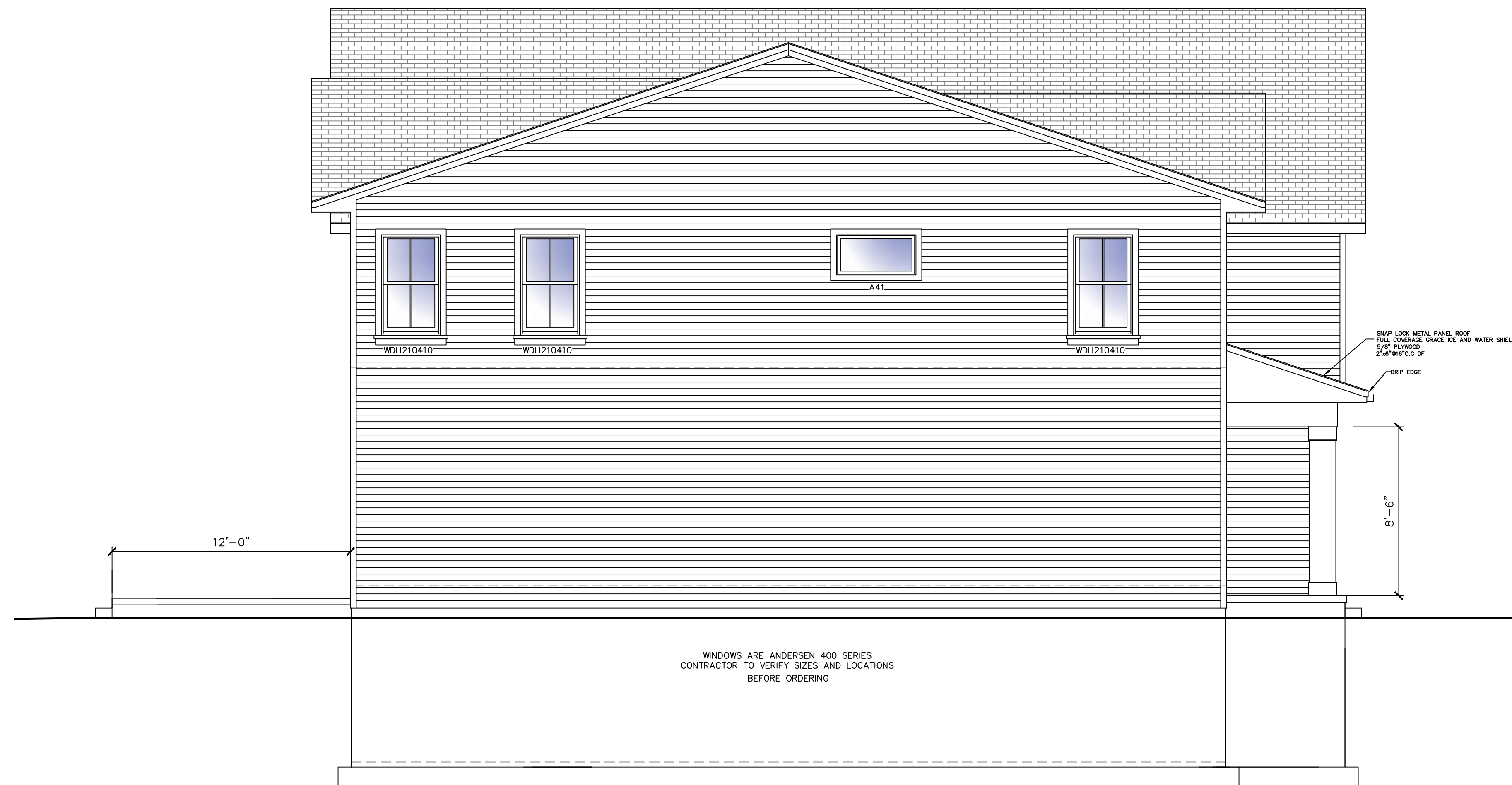


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**RIGHT ELEVATION**

SCALE: 1/4"=1'-0"



**LEFT ELEVATION**

**PROPOSED ELEVATIONS**

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RESIDENTIAL DESIGN  
 FOR  
**PERKINS RESIDENCE**  
 16 FILLMORE DRIVE  
 ELLICOTTVILLE, NEW YORK 14731

REVISION DATE: 1-29-2024 DRAWN BY:

DATE: 8-22-2023 REVIEWED BY:

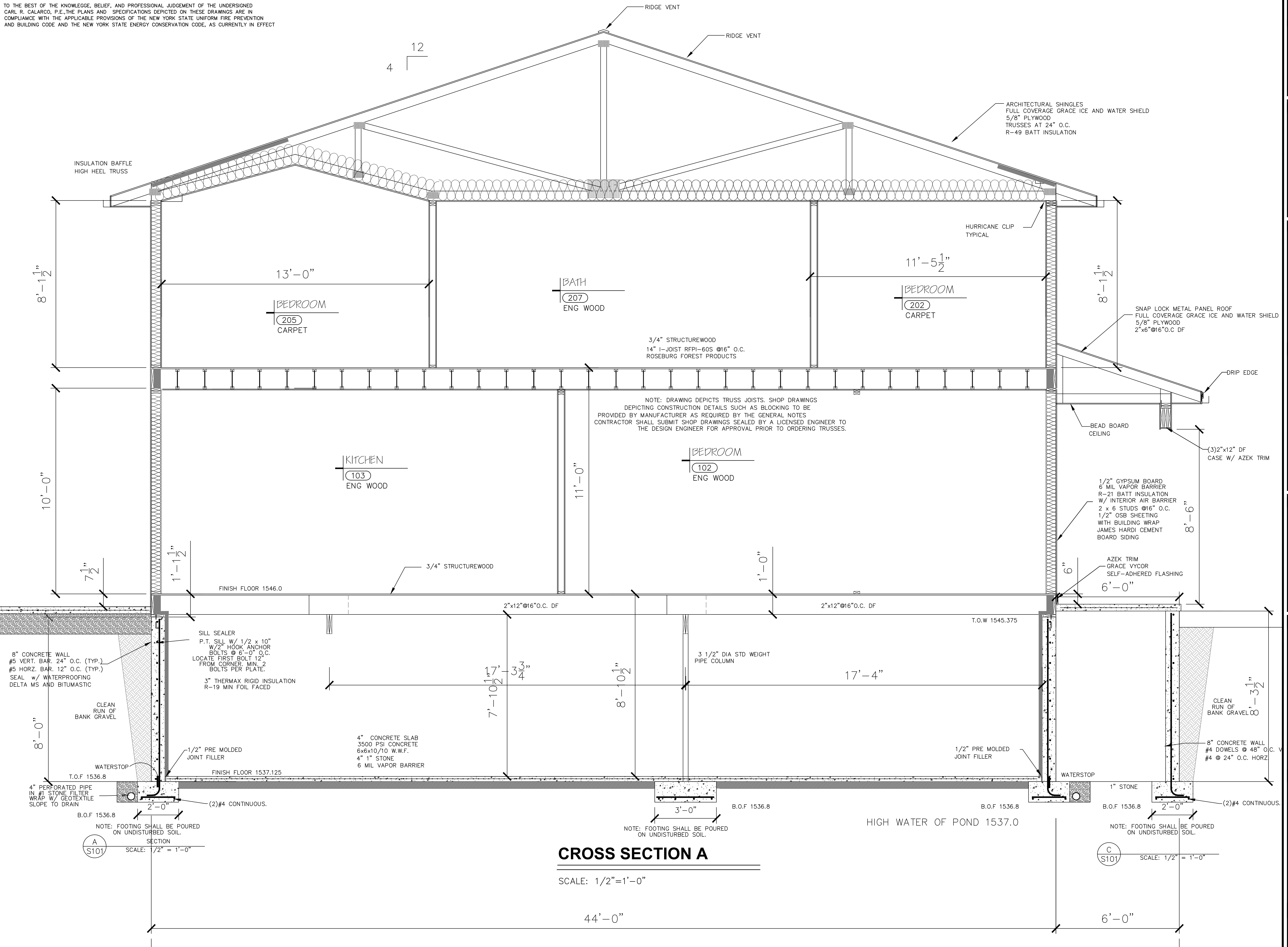
DRAWING NO: **A202**

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED CARL R. CALARCO, P.E., THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE, AS CURRENTLY IN EFFECT



TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED CARL R. CALARCO, P.E., THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE, AS CURRENTLY IN EFFECT

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**PROPOSED  
CROSS SECTION**

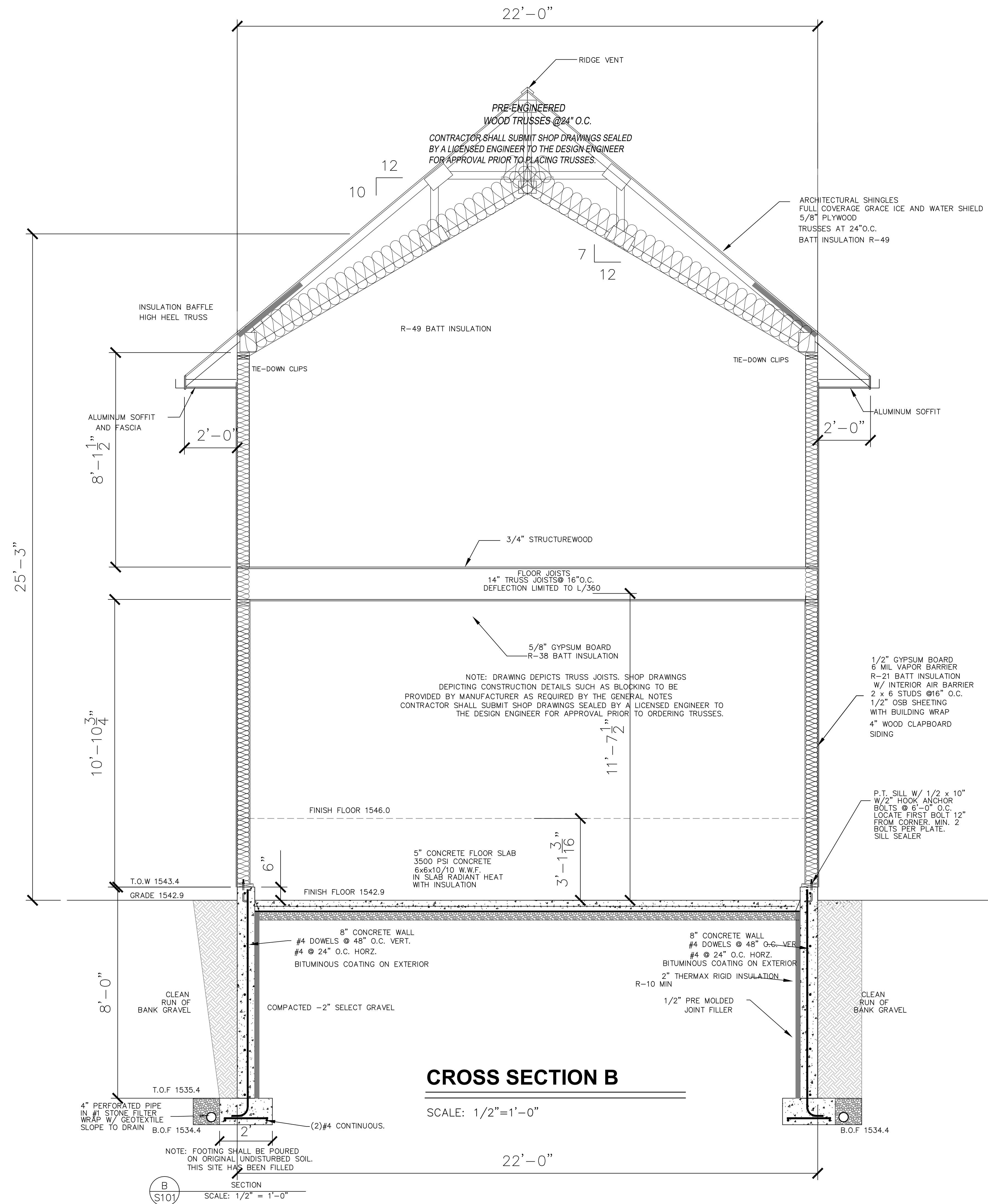
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 ELLICOTTVILLE, NEW YORK 14731

REVISION DATE:	DRAWN BY:
1-29-2024	
DATE:	REVIEWED BY:
8-22-2023	
DRAWING NO:	<b>A301</b>



TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED  
 CARL R. CALARCO, P.E., THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN  
 COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION  
 AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE, AS CURRENTLY IN EFFECT



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**PROPOSED  
 CROSS SECTION**

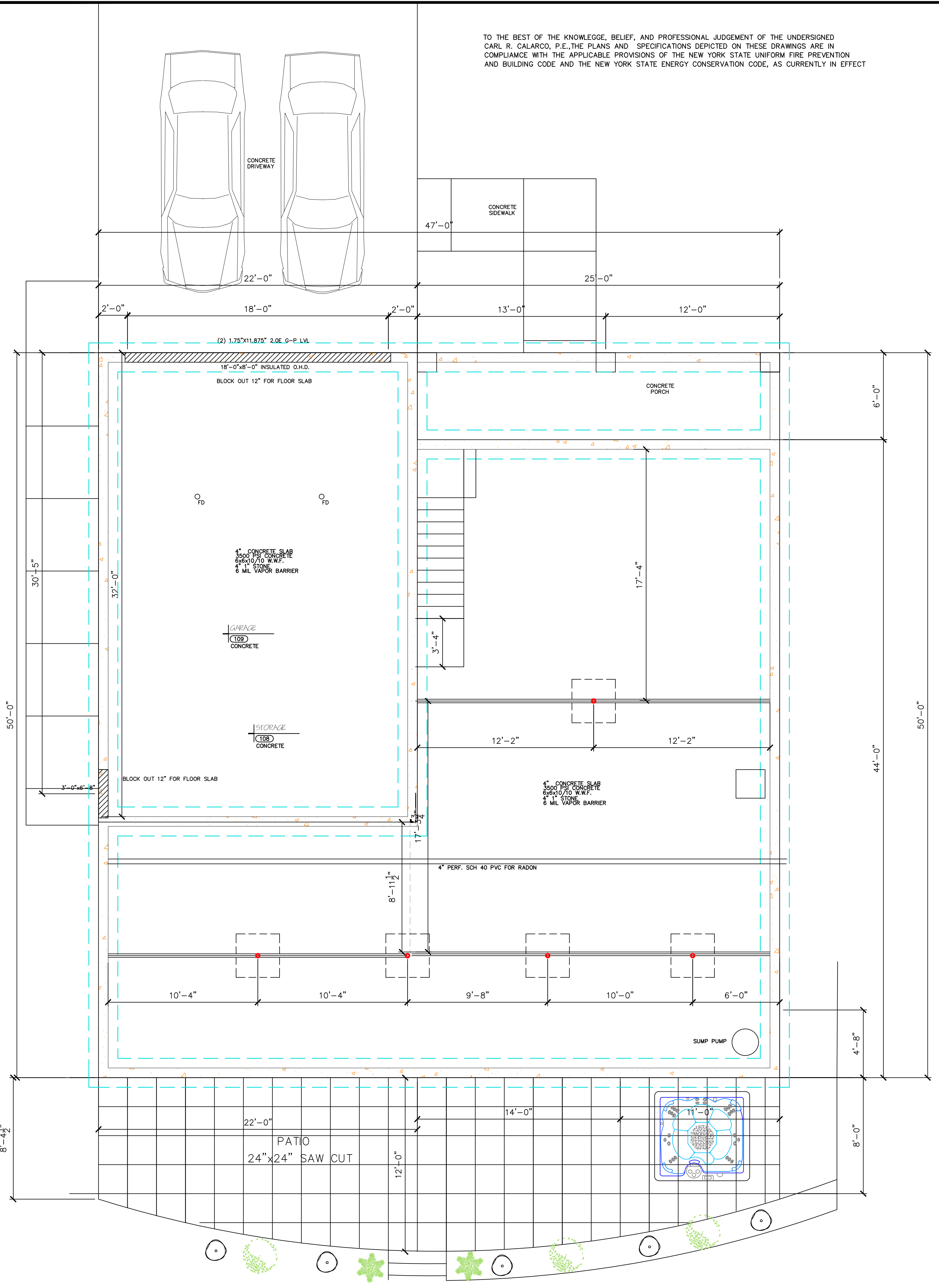
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 RESIDENCE**  
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REVISION DATE:	DRAWN BY:
DATE:	REVIEWED BY:
DRAWING NO:	
<b>A302</b>	

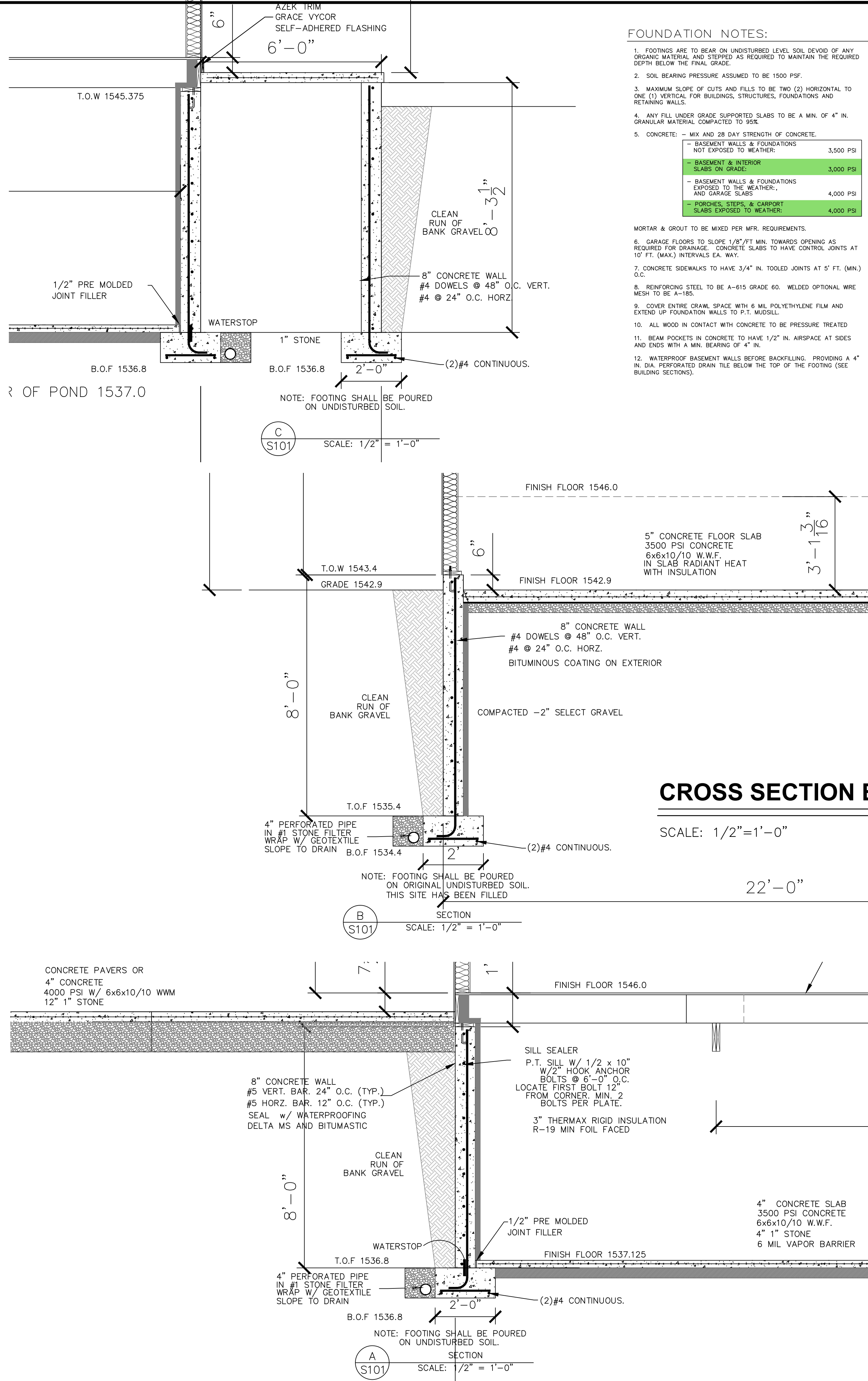


TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED CARL R. CALARCO, P.E., THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE, AS CURRENTLY IN EFFECT



**FOUNDATION PLAN**

SCALE: 1/4"=1'-0"  
FIRST FLOOR AREA=1,379 SF  
GARAGE AREA=712 SF



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PROPOSED FOUNDATION PLAN

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RESIDENTIAL DESIGN FOR PERKINS RESIDENCE  
16 FILLMORE DRIVE  
ELLCOTTVILLE, NEW YORK 14731

REVISION DATE:	DRAWN BY:
DATE:	REVIEWED BY:
DRAWING NO:	<b>S101</b>





# Federal Emergency Management Agency

Washington, D.C. 20472

## LETTER OF MAP REVISION BASED ON FILL DETERMINATION DOCUMENT (REMOVAL)

COMMUNITY AND MAP PANEL INFORMATION		LEGAL PROPERTY DESCRIPTION
COMMUNITY	VILLAGE OF ELLICOTTVILLE, CATTARAUGUS COUNTY, NEW YORK	A portion of Lots 1, 3, 7, 8, and 14 through 18, Colton Corners Subdivision, as shown on the Final Plat Plan recorded as Instrument No. 249057-001, in the Office of the County Clerk, Cattaraugus County, New York  The portion of property is more particularly described by the following metes and bounds:
	COMMUNITY NO.: 360070	
AFFECTED MAP PANEL	NUMBER: 3600700001C  DATE: 5/2/1994	
FLOODING SOURCE: ELK CREEK; GREAT VALLEY CREEK		APPROXIMATE LATITUDE & LONGITUDE OF PROPERTY: 42.282079, -78.670099 SOURCE OF LAT & LONG: LOMA LOGIC DATUM: NAD 83

### DETERMINATION

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
1	--	Colton Corners	2 Fillmore Drive	Portion of Property	X (shaded)	--	--	1539.9 feet

**Special Flood Hazard Area (SFHA)** - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

ADDITIONAL CONSIDERATIONS (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)

LEGAL PROPERTY DESCRIPTION	PORTIONS REMAIN IN THE SFHA
DETERMINATION TABLE (CONTINUED)	REVISED BY LETTER OF MAP REVISION
FILL RECOMMENDATION	SUPERSEDES PREVIOUS DETERMINATION

This document provides the Federal Emergency Management Agency's determination regarding a request for a Letter of Map Revision based on Fill for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the described portion(s) of the property(ies) is/are not located in the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). This document revises the effective NFIP map to remove the subject property from the SFHA located on the effective NFIP map; therefore, the Federal mandatory flood insurance requirement does not apply. However, the lender has the option to continue the flood insurance requirement to protect its financial risk on the loan. A Preferred Risk Policy (PRP) is available for buildings located outside the SFHA. Information about the PRP and how one can apply is enclosed.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605.

Luis V. Rodriguez, P.E., Director  
Engineering and Modeling Division  
Federal Insurance and Mitigation Administration





# Federal Emergency Management Agency

Washington, D.C. 20472

## LETTER OF MAP REVISION BASED ON FILL DETERMINATION DOCUMENT (REMOVAL)

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

### LEGAL PROPERTY DESCRIPTION (CONTINUED)

#### LOT 1

STARTING AT THE NORTHERLY CORNER OF LOT #1; THENCE S60°59'53"W, 35 FEET; THENCE S29°00'07"E, 15 FEET, TO THE POINT OF BEGINNING; THENCE S60°59'53"W, 90 FEET; THENCE S29°00'07"E, 50 FEET; THENCE N60°59'53"E, 90 FEET; THENCE N29°00'07"W, 50 FEET TO THE POINT OF BEGINNING

#### LOT 3

STARTING AT THE NORTHERLY CORNER OF LOT #3; THENCE S60°59'53"W, 35 FEET; THENCE S29°00'07"E, 15 FEET, TO THE POINT OF BEGINNING; THENCE S60°59'53"W, 90 FEET; THENCE S29°00'07"E, 58 FEET; THENCE N60°59'53"E, 90 FEET; THENCE N29°00'07"W, 58 FEET TO THE POINT OF BEGINNING

#### LOT 7

STARTING AT THE NORTHERLY CORNER OF LOT #7; THENCE S60°59'53"W, 35 FEET; THENCE S29°00'07"E, 15 FEET, TO THE POINT OF BEGINNING; THENCE S78°41'24"W, 102 FEET; THENCE S29°00'07"E, 50 FEET; THENCE N60°59'53"E, 100 FEET; THENCE N29°00'07"W, 70 FEET TO THE POINT OF BEGINNING

#### LOT 8

STARTING AT THE NORTHERLY CORNER OF LOT #8; THENCE S60°59'53"W, 35 FEET; THENCE S29°00'07"E, 15 FEET, TO THE POINT OF BEGINNING; THENCE S60°59'53"W, 100 FEET; THENCE S29°00'07"E, 50 FEET; THENCE N85°25'33"E, 100.31 FEET; THENCE N29°00'07"W, 42 FEET TO THE POINT OF BEGINNING

#### LOT 14

STARTING AT THE NORTHWEST CORNER OF LOT #14; THENCE S29°00'07"W, 34.83 FEET; THENCE N60°05'48"E, 15 FEET, TO THE POINT OF BEGINNING; THENCE S29°00'07"E, 48.48 FEET; THENCE N60°59'53"E, 115 FEET; THENCE N29°00'07"W, 49.93 FEET; THENCE S60°05'48"W, 115 FEET TO THE POINT OF BEGINNING

#### LOT 15

STARTING AT THE NORTHWEST CORNER OF LOT #15; THENCE S29°00'07"W, 72.64 FEET; THENCE N60°05'48"E, 15 FEET, TO THE POINT OF BEGINNING; THENCE S29°00'07"E, 50.0 FEET; THENCE N60°59'53"E, 50 FEET; THENCE N29°00'07"W, 50.0 FEET; THENCE S60°05'48"W, 50 FEET TO THE POINT OF BEGINNING

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605.

A handwritten signature in black ink, appearing to read "Luis V. Rodriguez".

Luis V. Rodriguez, P.E., Director  
Engineering and Modeling Division  
Federal Insurance and Mitigation Administration



# Federal Emergency Management Agency

Washington, D.C. 20472

## LETTER OF MAP REVISION BASED ON FILL DETERMINATION DOCUMENT (REMOVAL)

### ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

#### LOT 16

STARTING AT THE NORTHWEST CORNER OF LOT #16; THENCE S29°00'07"W, 65.27 FEET; THENCE N60°11'50"E, 15 FEET, TO THE POINT OF BEGINNING; THENCE S29°00'07"E, 50.0 FEET; THENCE N60°11'50"E, 50 FEET; THENCE N29°00'07"W, 50.0 FEET; THENCE S60°11'50"W, 50 FEET TO THE POINT OF BEGINNING

#### LOT 17

STARTING AT THE NORTHWEST CORNER OF LOT #17; THENCE S29°00'07"E, 60.01 FEET; THENCE N60°11'50"E, 15 FEET, TO THE POINT OF BEGINNING; THENCE S29°00'07"E, 50.0 FEET; THENCE N60°11'50"E, 50 FEET; THENCE N29°00'07"W, 50.0 FEET; THENCE S60°11'50"W, 50 FEET TO THE POINT OF BEGINNING

#### LOT 18

STARTING AT THE NORTHWEST CORNER OF LOT #18; THENCE S29°00'07"E, 50.0 FEET; THENCE N60°11'50"E, 15 FEET, TO THE POINT OF BEGINNING; THENCE S29°00'07"E, 60.0 FEET; THENCE N60°11'50"E, 50 FEET; THENCE N29°00'07"W, 60.0 FEET; THENCE S60°11'50"W, 50 FEET TO THE POINT OF BEGINNING

#### DETERMINATION TABLE (CONTINUED)

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
3	--	Colton Corners	6 Fillmore Drive	Portion of Property	X (shaded)	--	--	1540.0 feet
7	--	Colton Corners	14 Fillmore Drive	Portion of Property	X (shaded)	--	--	1540.3 feet
8	--	Colton Corners	16 Fillmore Drive	Portion of Property	X (shaded)	--	--	1540.9 feet
14	--	Colton Corners	28 Fillmore Drive	Portion of Property	X (shaded)	--	--	1545.0 feet
15	--	Colton Corners	23 Parkside Drive	Portion of Property	X (shaded)	--	--	1543.1 feet

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605.

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Washington, D.C. 20472

## LETTER OF MAP REVISION BASED ON FILL DETERMINATION DOCUMENT (REMOVAL)

### ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANGE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
16	--	Colton Corners	21 Parkside Drive	Portion of Property	X (shaded)	--	--	1543.0 feet
17	--	Colton Corners	19 Parkside Drive	Portion of Property	X (shaded)	--	--	1543.2 feet
18	--	Colton Corners	17 Parkside Drive	Portion of Property	X (shaded)	--	--	1543.0 feet

#### FILL RECOMMENDATION (This Additional Consideration applies to the preceding 9 Properties.)

The minimum NFIP criteria for removal of the subject area based on fill have been met for this request and the community in which the property is located has certified that the area and any subsequent structure(s) built on the filled area are reasonably safe from flooding. FEMA's Technical Bulletin 10-01 provides guidance for the construction of buildings on land elevated above the base flood elevation through the placement of fill. A copy of Technical Bulletin 10-01 can be obtained by calling the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or from our web site at <http://www.fema.gov/mit/tb1001.pdf>. Although the minimum NFIP standards no longer apply to this area, some communities may have floodplain management regulations that are more restrictive and may continue to enforce some or all of their requirements in areas outside the Special Flood Hazard Area.

#### PORTIONS OF THE PROPERTY REMAIN IN THE SFHA (This Additional Consideration applies to the preceding 9 Properties.)

Portions of this property, but not the subject of the Determination/Comment document, may remain in the Special Flood Hazard Area. Therefore, any future construction or substantial improvement on the property remains subject to Federal, State/Commonwealth, and local regulations for floodplain management.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605.

Luis V. Rodriguez, P.E., Director  
Engineering and Modeling Division  
Federal Insurance and Mitigation Administration



# Federal Emergency Management Agency

Washington, D.C. 20472

## LETTER OF MAP REVISION BASED ON FILL DETERMINATION DOCUMENT (REMOVAL)

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

### **REVISED BY LETTER OF MAP REVISION (This Additional Consideration applies to the preceding 9 Properties.)**

The effective National Flood Insurance Program map for the subject property, has since been revised by a Letter of Map Revision (LOMR) dated 2/4/2015. The 2/4/2015 LOMR has been used in making the determination/comment for the subject property.

### **SUPERSEDES OUR PREVIOUS DETERMINATION (This Additional Consideration applies to all properties in the LOMR-F DETERMINATION DOCUMENT (REMOVAL))**

This Determination Document supersedes our previous determination dated 3/14/2016, for the subject property.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605.

A handwritten signature in black ink, appearing to read "Luis V. Rodriguez".

Luis V. Rodriguez, P.E., Director  
Engineering and Modeling Division  
Federal Insurance and Mitigation Administration



A

B

C

D

1

2

3

4

5

6

### LEGEND

- SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD**
- ZONE A** No base flood elevations determined.
- ZONE AE** Base flood elevations determined.
- ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); base flood elevations determined.
- ZONE AO** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
- ZONE A99** To be protected from 100-year flood by a Federal flood protection system under construction; no base flood elevations determined.
- ZONE V** Coastal flood with velocity hazard (wave action); no base flood elevations determined.
- ZONE VE** Coastal flood with velocity hazard (wave action); base flood elevations determined.
- FLOODWAY AREAS IN ZONE AE**
- OTHER FLOOD AREAS**
- ZONE X** Areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood.
- OTHER AREAS**
- ZONE X** Areas determined to be outside the 500-year floodplain.
- ZONE D** Areas in which flood hazards are undetermined.
- UNDEVELOPED COASTAL BARRIERS**
- Identified 1983
- Identified 1990 or later
- Otherwise Protected Areas Identified 1991 or Later
- Coastal barrier areas are normally located within or adjacent to special flood hazard areas.
- Floodplain Boundary
- Floodway Boundary
- Zone D Boundary
- Boundary Dividing Special Flood Hazard Zones, and Boundary Dividing Areas of Different Coastal Base Flood Elevations Within Special Flood Hazard Zones.
- 513 Base Flood Elevation Line; Elevation in Feet\*
- D Cross Section Line
- (EL 987) Base Flood Elevation in Feet Where Uniform Within Zone\*
- RM 7x Elevation Reference Mark
- M1.5 River Mile

**NOTES**

This map is for use in administering the National Flood Insurance Program; it does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size, or all planimetric features outside Special Flood Hazard Areas. The community map repository should be consulted for possible updated flood hazard information prior to use of this map for property purchase or construction purposes.

Coastal base flood elevations apply only to areas of 0.0 NVD, and include the effects of wave action; these elevations may also differ significantly from those developed by the National Weather Service for hurricane evacuation planning.

Areas of special flood hazard (100-year flood) include Zones A, AE, AH, AO, A99, V, and VE.

Certain areas not in Special Flood Hazard Areas may be protected by flood control structures.

Boundaries of the floodways were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the Federal Emergency Management Agency. Floodway widths in some areas may be too narrow to show to scale. Floodway widths are provided in the Flood Insurance Study Report.

### REVISED DATA

**MAP REPOSITORY**  
 Building Department Office, 9 Mill Street, Ellicottville, New York 14731 (Maps available for reference only, not for distribution)

**INITIAL IDENTIFICATION:**  
 MAY 24, 1974

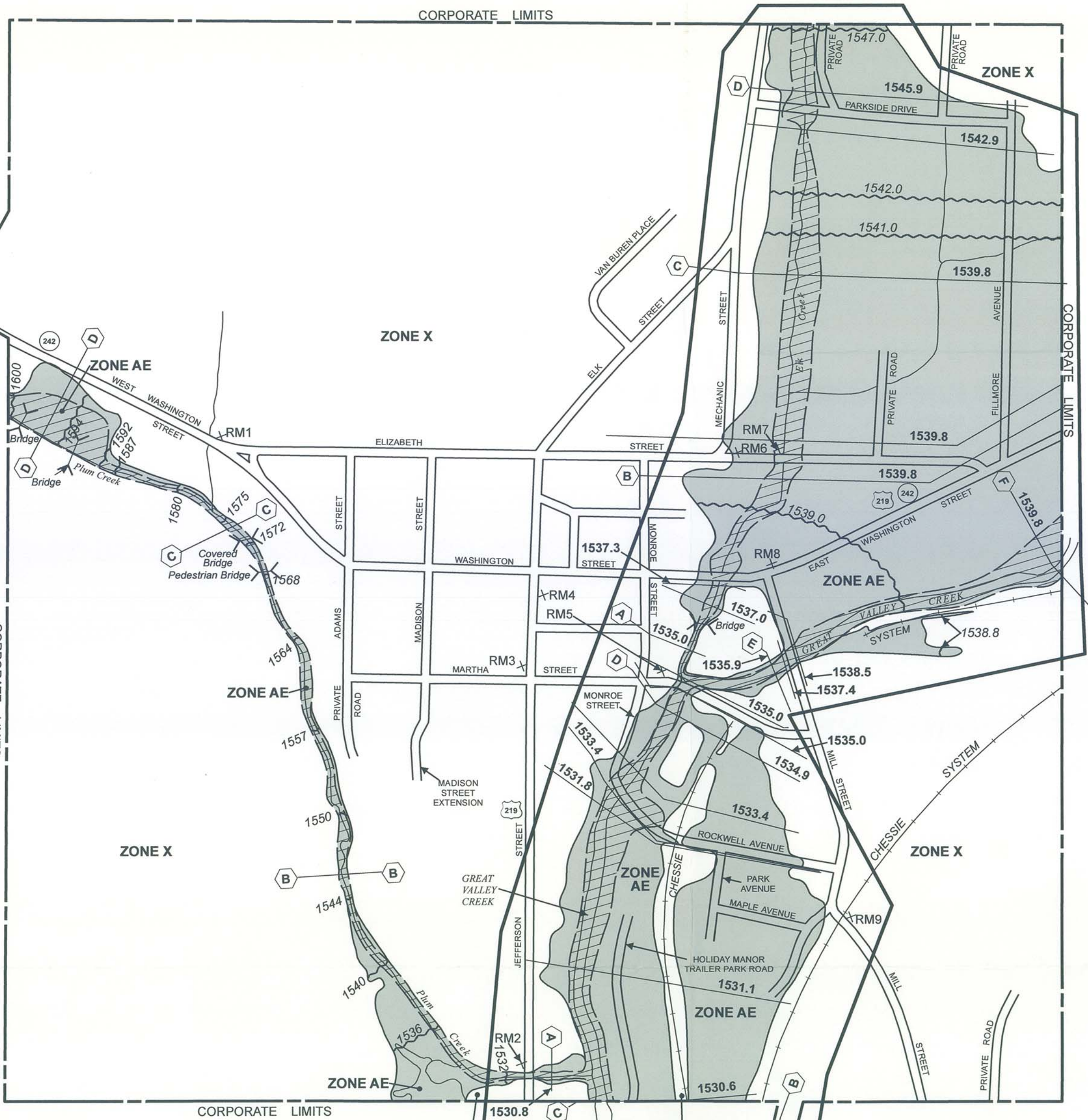
**FLOOD HAZARD BOUNDARY MAP REVISIONS:**  
 JULY 30, 1976

**FLOOD INSURANCE RATE MAP EFFECTIVE:**  
 FEBRUARY 1, 1979

**FLOOD INSURANCE RATE MAP REVISIONS:**  
 May 2, 1994 - to change base flood elevations, to change special flood hazard areas, and to update map format.

To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at (800) 638-6629.

**APPROXIMATE SCALE**  
 400 0 400 FEET



REFERENCE MARK	ELEVATION IN FT. (NGVD) <sup>1</sup>	DESCRIPTION OF LOCATION
RM 1	1,582.68	Chiseled square in northeast corner of concrete headwall, approximately 0.2 mile west along State Route 242 (West Washington Street) from its intersection with U.S. Route 219 (South Jefferson Street) and approximately 50 feet north of centerline of State Route 242.
RM 2	1,533.35	Chiseled square on northwest corner of bridge on U.S. Route 219 (Jefferson Street) adjacent to guard rail.
RM 3	1,544.54	Lag screw set approximately 0.4 foot above ground, in power line pole on northwest corner of Jefferson Street and Martha Street.
RM 4	1,548.86	Standard disk stamped S 4 1922 set vertically in west stone face, 1.4 feet south of northwest corner of Union Free School Building, approximately 94.5 feet south of south curb of State Route 242 (Washington Street), approximately 38.0 feet east of east curb of U.S. Route 219 (Jefferson Street) and 1 foot above ground level.
RM 5	1,535.31	Notch square on northwest concrete wing wall of bridge on Martha Street.
RM 6	1,539.66	Railroad spike set in pole NM 1, NYT 1 at northeast corner of Elizabeth Street and Mechanic Street.
RM 7	1,537.42	Northwest corner of bridge Elizabeth Street (concrete slope over gas line).
RM 8	1,537.80	Chiseled X on west nut of hydrant on north side of State Route 242 (Washington Street) at its intersection with Mill Street.
RM 9	1,543.01	BR and P Ry disk on top of east end of north bridge seat for north abutment of Chessie Railroad bridge over Mill Street, 0.2 mile east along State Route 242 (Washington Street) from post office, 0.3 mile southeast along Mill Street, approximately 7 feet east of east main track and 3 feet below level of track.

<sup>1</sup>National Geodetic Vertical Datum of 1929.

### FLOOD PRONE STREET INDEX

- NOTE TO USER**
- This index provides a list of all streets shown on the Flood Insurance Rate Map (FIRM) that are partially or totally within Special Flood Hazard Areas (SFHAs). This index should not be used as an authoritative source for determining whether specific streets, properties, or buildings are within an SFHA. This index is intended to be used only as a guide for determining the relative location of the street in question on the FIRM panel.
- KEY**
- BAKER STREET ..... (C2)  
 street name ..... grid location
- NAMED STREETS**
- ELIZABETH STREET ..... (C2)
  - FILLMORE AVENUE ..... (D2)
  - HOLIDAY MANOR TRAILER PARK ROAD ..... (C4)
  - MAPLE AVENUE ..... (C3)
  - MARTHA STREET ..... (C3)
  - MECHANIC STREET ..... (C2)
  - MILL STREET ..... (C3)
  - MONROE STREET ..... (C3)
  - PARK DRIVE ..... (D1)
  - PARKSIDE DRIVE ..... (D2)
  - ROCKWELL AVENUE ..... (C3)
  - STATE ROUTE 242 ..... (D2)
  - U.S. ROUTE 219 ..... (D2)
  - U.S. ROUTE 219 AND STATE ROUTE 242 ..... (D2)

**NATIONAL FLOOD INSURANCE PROGRAM**

**FIRM**  
 FLOOD INSURANCE RATE MAP  
 and  
 STREET INDEX

VILLAGE OF  
 ELLICOTTVILLE,  
 NEW YORK  
 CATTARAUGUS COUNTY

ONLY PANEL PRINTED

REVISED TO  
 REFLECT LOMR  
 EFFECTIVE: February 4, 2015

COMMUNITY-PANEL NUMBER  
 360070 0001 C

MAP REVISED:  
 MAY 2, 1994

Federal Emergency Management Agency