



June 21, 2022

Village of Ellicottville
Planning Board

Re: New Single-Family Residence
6 Fillmore Drive, Lot 3 – Colton Corners Subdivision

Dear Planning Board,

Mr. Gregg Tomani has purchased Lot #3 of the Colton Corner Subdivision at 6 Fillmore Drive in the village (Tax Map # 55.027-2-6.27). He plans to construct a new single-family home with an attached 2 car garage.

Please refer to the attached site plan for the location map, the site boundaries, the proposed project/ site changes, and the adjoining public streets and the neighborhood. The existing condition consists of a vacant lot created previously by the Colton Corner Subdivision as described above.

Below is a zoning review of the proposed action.

SECTION 3A.4 - Residential Development District - Medium Density (MD)

3A.4.B. Permitted Uses:

- Single family detached dwelling - Permitted

3A.4.C. Lot and Site Regulations

- 1a. Min Lot Size 12,500 sf; Proposed is 15,750 sf
 - 1b. Lot Width 80' Min, Existing 90'
 2. Min Building size is 1000 sf; Proposed building footprint is 2,887 sf.
 3. Side Yard Set Back-15', 30' total; Proposed is 17.0', total 35.0'
 4. Front Yard Set Back- 35'; Proposed is 50.0'
 5. Rear Yard Set Back- 25'; Proposed is 61.9'
 6. Lot Coverage – 40% max.; Proposed is 31% (calculated below)
House with attached garage + sidewalk & drive
= 2,887 sf (Structure) + 2,058 (sidewalk & drive behind ROW)
= 4,945 / 15,750 = 31% proposed lot coverage

3A.4.D. Building Height:

-2.5 stories allowed, 2 story proposed

3A.4.E. Apartment/Lockout Units

-not proposed

3A.4.F. Architectural Design Review

-Proposed new structure is subject to Architectural Design Review.

3A.4.G. Site Plan Review

- Proposed new structure is subject to Site Plan Review.

3A.4.H. Re-subdivision of Lots

-not proposed.

Encumbrances, Covenants, or Easements

-10' x23' sign easement on northeast corner of lot

Floodplain

A floodplain development permit is not required. This project is part of the Colton Corners subdivision. As part of the subdivision project, a buildable area on each lot was raised out of the floodplain and a LOMR-F was submitted. The FEMA submissions were done initially in March of 2016 and several lots were further modified in October of 2016. Refer to LOMR-F No. 16-02-1940A accessible on the FEMA website. This lot (Lot 3, aka 6 Fillmore) was included on the October 14, 2016 LOMR-F submission. The buildable area removed from the Special Flood Hazard Area (SFHA) is depicted by a red dashed line on the proposed site plan.

Please contact me if you have any questions.

Sincerely,



Caleb D. Henning, MBA, PE
Partner/Project Engineer
MDA Consulting Engineers, PLLC

Floodplain:

FIRM Zone n/a BFE n/a

Flood Plain Development Permit Required? YES NO

ATTACHMENTS

Attach all relevant items listed in the Town/Village of Ellicottville Zoning Law for type of application(s) being submitted. Additional copies of all plans, documents and other application materials may be required. See attached list of required forms and information needed for type of application being submitted. Deadline for submittal is three (3) weeks prior to regularly scheduled meeting date. Meeting dates are subject to change by the Board Chair.

SIGNATURES

Applicant and Owner (if different) must sign the application.

I hereby certify that I have examined this application and know the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The acceptance or approval of this application does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction, land use or the performance of construction. I have read and am familiar with the Town/Village of Ellicottville zoning law that is relevant to this application(s).

Permission to inspect – I hereby consent to Town/Village of Ellicottville Staff inspection of the project site and adjacent property areas. Town/Village staff may enter the property without notice. Inspection may occur without the owner, applicant or agent present, If the property is posted with “keep out” signs or fenced with an unlocked gate, staff may still enter the property. Agency staff may take measurements, analyze site physical characteristics, take soil and vegetation samples, sketch and photograph the site.

Applicant Signature: [Signature] Date: 6/20/22

Applicant must be (check all that apply): Owner Operator Lessee

Applicant Name: GREGG LOMBANT

Property Owner’s Signature (if different than applicant) _____ Date: _____

Property Owner’s Name: ^{Print} _____

Office use only:

Application Fee(s) _____

Received by: _____ on _____ (Date)

Project Number(s): _____

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: New Residence at 6 Fillmore Drive			
Project Location (describe, and attach a location map): 6 Fillmore Drive, Lot 3, Ellicottville, New York 14731			
Brief Description of Proposed Action: New single-family wood frame home at 6 Fillmore Drive in the Village of Ellicottville			
Name of Applicant or Sponsor: Caleb D. Henning		Telephone: 716-699-4650	
Address: PO Box 604, 3 Bristol Lane		E-Mail: chenning@mdaengineers.com	
City/PO: Ellicottville	State: NY	Zip Code: 14731	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Village of Ellicottville, Building permit, Architectural Review, Site Plan Review, Floodplain Development Permit		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<div style="display: flex; justify-content: space-between;"> <div>_____ 0.362 acres</div> <div>_____ 0.362 acres</div> <div>_____ 0.362 acres</div> </div>	
4. Check all land uses that occur on, are adjoining or near the proposed action: <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	YES
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	YES
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	YES
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	YES

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:			
<input type="checkbox"/> Shoreline	<input type="checkbox"/> Forest	<input type="checkbox"/> Agricultural/grasslands	<input type="checkbox"/> Early mid-successional
<input type="checkbox"/> Wetland	<input type="checkbox"/> Urban	<input checked="" type="checkbox"/> Suburban	
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?			
NO	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?			
NO	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,			
NO	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?			
NO	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:			
NO	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>
Flows will be directed to a storm water management system developed for the Colton Corners Subdivision			
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:			
NO	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:			
NO	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:			
NO	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE			
Applicant/sponsor/name: Caleb D. Henning, PE, MBA			
Date: <u>06/28/2022</u>			
Signature:  Title: Partner/Project Engineer			

ELEVATION GENERAL NOTES

1. THE GRADE SHALL BE SLOPED AWAY FROM THE STRUCTURE A MIN. PITCH OF 1/2" (12 INCHES IN 10 FEET), WHEN THE GRADE SLOPES AWAY FROM THE STRUCTURE OR LESS IF RESTRICTED BY LOT LINES. HOWEVER, IT SHALL STILL BE A MINIMUM OF 6 INCHES REGARDLESS OF THE HORIZONTAL DISTANCE.
2. BACKFILL SOIL SHALL BE FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS AND LARGE ROCKS. CONSIDERATION SHALL BE GIVEN TO POSSIBLE ADDITIONAL SETTLEMENT OF THE BACKFILL WHEN ESTABLISHING THE FINAL GRADE LEVEL ADJACENT TO THE FOUNDATION.
3. GRADES INDICATED ON ELEVATIONS ARE APPROXIMATE AND ARE TO BE DETERMINED BY ACTUAL SITE CONDITIONS. WHEN GRADE REQUIRES MORE THAN 2 RISERS OFF ANY PLATFORM OR IF AN OPEN SIDE OF STAIR PLATFORM SHOULD HAVE A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FINISHED GRADE, THE CONTRACTOR SHALL PROVIDE HANDRAILS ON STAIRS AND PLATFORMS.
4. THE DISTANCE FROM GRADE TO THE FINISHED SURFACE OF THE FLOOR ABOVE THE BASEMENT SHALL BE LESS THAN 6 FEET FOR MORE THAN 50 PERCENT OF THE TOTAL PERIMETER OF THE STRUCTURE AND MAY NOT BE MORE THAN 12 FEET AT ANY POINT.
5. THE CONTRACTOR SHALL PROVIDE PROPER DRAINAGE AND GRADES AS REQUIRED TO DRAIN WATER AWAY FROM THE STRUCTURE.
6. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR SEEKING ENGINEERING CONSULTATION IF THE SITE SO DEMANDS.
7. ALL ON SITE WORK WILL BE IN ACCORDANCE WITH STATE AND LOCAL BUILDING CODES.
8. ALL DOWN SPOUTS TO BE CONNECTED TO STORM CONDUCTOR SYSTEM TO MEET NY'S FOUNDATION DRAINAGE CODE REQUIREMENTS.
9. ALL DRAIN AND WASTE VENTS THRU ROOF SHALL BE 3" AND TERMINATE A MINIMUM OF 18" ABOVE THE POINT IT PASSES THROUGH THE ROOF.
10. ALL EXTERIOR RECEPTACLES WILL BE ON A GFI CIRCUIT.



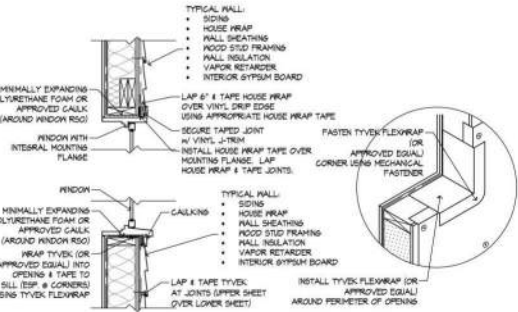
KP KEY PLAN
NOT TO SCALE



A EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



B EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



1 WINDOW HEAD & SILL DETAIL
N.T.S.

EXTERIOR MATERIALS SCHEDULE

- ALL MATERIALS TO BE APPROVED BY OWNER PRIOR TO ORDERING.
- BASIS OF DESIGN:**
- HORIZONTAL SIDING: FIBER CEMENT
 - ROOF SYSTEM: ASPHALT SHINGLES
 - SOFFIT & FASCIA: PRE-FINISHED ALUMINUM
 - SUPPORT COLUMNS: PVC WRAPPED
 - STONE WAINSCOT: NATURAL DRY-STACK THIN STONE VENEER
 - DECORATIVE WOOD: NATURAL WOOD LARCH OR APPROVED EQUAL

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ISSUED BY JACOB FLITTON ARCHITECT P.C.

TOMANI RESIDENCE
6 Fillmore
Ellicottville, NY 14731

Job # 21-081
Revisions

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Date: 2022.06.20

Title: Exterior Elevations

Sheet: **A3.0**

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COURTESY: 500 W. GARY BLVD., FAY ARCHITECTS/PROJECTS, 2ND FL., TOWN RESIDENCE, ELICOTTVILLE, NY. ARCHITECTS: JACOB FLITTON ARCHITECTS, 104 ENGINEERS, LLP, SCHEINER, RESNIK, SCHWARTZ, PUGH & ASSOCIATES, 58 ELEVATION PAVING/CONCRETE WORK.

- ELEVATION GENERAL NOTES**
1. THE GRADE SHALL BE SLOPED AWAY FROM THE STRUCTURE A MIN. PITCH OF 1/12 (10 INCHES IN 12 FEET), WHEN THE GRADE SLOPES AWAY FROM THE STRUCTURE OR LESS IF RESTRICTED BY LOT LINES. HOWEVER IT SHALL STILL FIT A MINIMUM OF 6 INCHES REGARDLESS OF THE HORIZONTAL DISTANCE.
 2. BACKFILL SOIL SHALL BE FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS AND LARGE ROCKS. CONSIDERATION SHALL BE GIVEN TO POSSIBLE ADDITIONAL SETTLEMENT OF THE BACKFILL WHEN ESTABLISHING THE FINAL GRADE LEVEL ADJACENT TO THE FOUNDATION.
 3. GRADES INDICATED ON ELEVATIONS ARE APPROXIMATE AND ARE TO BE DETERMINED BY ACTUAL SITE CONDITIONS. WHEN GRADE REQUIRES MORE THAN 2 RISERS OFF ANY PLATFORM OR IF AN OPEN SIDE OF STAIRS PLATFORM SHOULD HAVE A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FINISHED GRADE, THE CONTRACTOR SHALL PROVIDE HANDRAILS ON STAIRS AND PLATFORMS.
 4. THE DISTANCE FROM GRADE TO THE FINISHED SURFACE OF THE FLOOR ABOVE THE BASEMENT SHALL BE LESS THAN 8 FEET FOR MORE THAN 50 PERCENT OF THE TOTAL PERIMETER OF THE STRUCTURE, AND MAY NOT BE MORE THAN 12 FEET AT ANY POINT.
 5. THE CONTRACTOR SHALL PROVIDE PROPER DRAINAGE AND GRADES AS REQUIRED TO DRAIN WATER AWAY FROM THE STRUCTURE.
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 7. ALL ON SITE WORK WILL BE IN ACCORDANCE WITH STATE AND LOCAL BUILDING CODES.
 8. ALL DOWN SPOUTS TO BE CONNECTED TO STORM CONDUCTOR SYSTEM TO MEET NY'S FOUNDATION DRAINAGE CODE REQUIREMENTS.
 9. ALL DRAIN AND WASTE VENTS THRU ROOF SHALL BE 5" AND TERMINATE A MINIMUM OF 18" ABOVE THE POINT IT PASSES THROUGH THE ROOF.
 10. ALL EXTERIOR RECEPTACLES WILL BE ON A GFI CIRCUIT.



KP KEY PLAN
NOT TO SCALE



A EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



B EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS SCHEDULE

ALL MATERIALS TO BE APPROVED BY OWNER PRIOR TO ORDERING.

BASIS OF DESIGN:

HORIZONTAL SIDING:	FIBER CEMENT
ROOF SYSTEM:	ASPHALT SHINGLES
SOFFIT & FASCIA:	PRE-FINISHED ALUMINUM
SUPPORT COLUMNS:	PVC WRAPPED
STONE WAINSCOT:	NATURAL DRY-STACK THIN STONE VENEER
DECORATIVE WOOD:	NATURAL WOOD LARCH OR APPROVED EQUAL

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Ellicottville, NY 14731

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Title:	Exterior Elevations	

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- ELEVATION GENERAL NOTES**
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A EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



B EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS SCHEDULE	
ALL MATERIALS TO BE APPROVED BY OWNER PRIOR TO ORDERING.	
BASIS OF DESIGN:	
HORIZONTAL SIDING:	FIBER CEMENT
ROOF SYSTEM:	ASPHALT SHINGLES
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Date: 2022.06.20

Title: Exterior Elevations

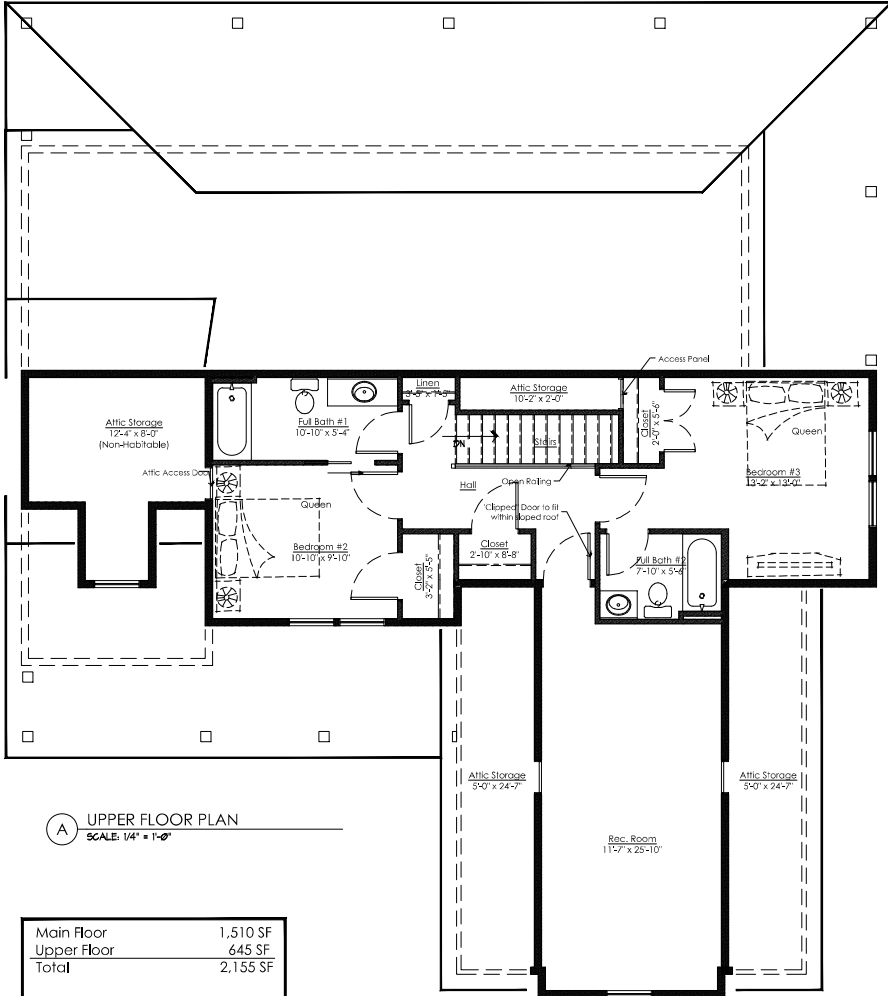
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UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

Main Floor	1,510 SF
Upper Floor	645 SF
Total	2,155 SF
Garage	590 SF
Attic Storage	145 SF
Rec. Room	310 SF
Rear Deck	580 SF
Front Porch	210 SF
(Not Included in Upper Floor Total Above)	

- FLOOR PLAN GENERAL NOTES:**
- DO NOT SCALE DRAWINGS.
 - ALL PLAN DIMENSIONS ARE TO FACE OF NOMINAL STUD DOORS & WINDOWS ARE DIMENSIONED TO CENTERLINE.
 - ALL EXTERIOR WALLS TO BE 2x6 FRAMING @ 16" o.c. (UNLESS NOTED OTHERWISE).
 - ALL INTERIOR WALLS ARE 2x4 FRAMING @ 16" o.c. (UNLESS NOTED OTHERWISE).
 - FRAMING CONTRACT SHALL INCLUDE ALL BLOCKING, BACKING, AND FURRING REQUIRE TO COMPLETE THIS JOB.

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ISSUED BY: JACOB FLITTON ARCHITECT PLLC

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6 Fillmore
Ellicottville, NY 14731

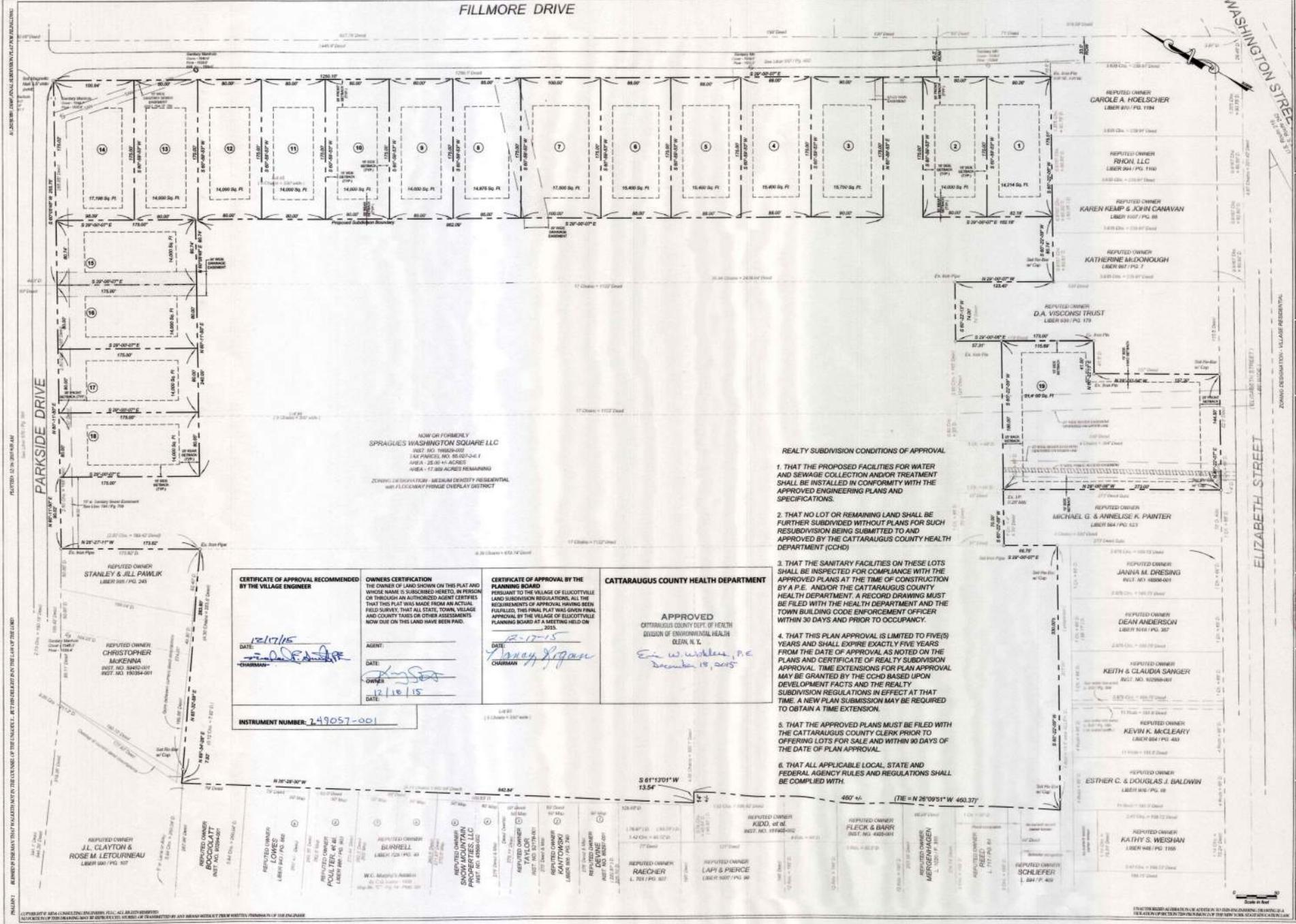
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Revisions		ALL DIMENSIONS AND NOTES ON THIS DRAWING ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
Date:	2022.06.20	THIS DRAWING IS THE SOLE PROPERTY OF JACOB FLITTON ARCHITECT PLLC. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JACOB FLITTON ARCHITECT PLLC.
Title:	Upper Floor Plan	
Sheet:	A2.1	

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FILLMORE DRIVE

WASHINGTON STREET

ELIZABETH STREET



OWNER OR FORMERLY SPRAGUE'S WASHINGTON SQUARE LLC
 1007 RD 118820-000
 1.64 ACRES, INV. 60-027-3-1
 AREA - 25.00 ± ACRES REMAINING
 100A - 17.800 ACRES REMAINING
 ZONING DESIGNATION - RESIDENTIAL
 100 B (C) LOW-DENSITY FRINGE OVERLAY DISTRICT

REALTY SUBDIVISION CONDITIONS OF APPROVAL

1. THAT THE PROPOSED FACILITIES FOR WATER AND SEWAGE COLLECTION AND/OR TREATMENT SHALL BE INSTALLED IN CONFORMITY WITH THE APPROVED ENGINEERING PLANS AND SPECIFICATIONS.
2. THAT NO LOT OR REMAINING LAND SHALL BE FURTHER SUBDIVIDED WITHOUT PLANS FOR SUCH RESUBDIVISION BEING SUBMITTED TO AND APPROVED BY THE CATTARAUGUS COUNTY HEALTH DEPARTMENT (CCHD)
3. THAT THE SANITARY FACILITIES ON THESE LOTS SHALL BE INSPECTED FOR COMPLIANCE WITH THE APPROVED PLANS AT THE TIME OF CONSTRUCTION BY A P.E. AND/OR THE CATTARAUGUS COUNTY HEALTH DEPARTMENT. A RECORD DRAWING MUST BE FILED WITH THE HEALTH DEPARTMENT AND THE TOWN BUILDING CODE ENFORCEMENT OFFICER WITHIN 30 DAYS AND PRIOR TO OCCUPANCY.
4. THAT THIS PLAN APPROVAL IS LIMITED TO FIVE(5) YEARS AND SHALL EXPIRE EXACTLY FIVE YEARS FROM THE DATE OF APPROVAL AS NOTED ON THE PLANS AND CERTIFICATE OF REALTY SUBDIVISION APPROVAL. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY THE CCHD BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
5. THAT THE APPROVED PLANS MUST BE FILED WITH THE CATTARAUGUS COUNTY CLERK PRIOR TO OFFERING LOTS FOR SALE AND WITHIN 90 DAYS OF THE DATE OF PLAN APPROVAL.
6. THAT ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCY RULES AND REGULATIONS SHALL BE COMPLIED WITH.

<p>CERTIFICATE OF APPROVAL RECOMMENDED BY THE VILLAGE ENGINEER</p> <p>DATE: 12/17/15</p> <p>BY: [Signature]</p> <p>INSTRUMENT NUMBER: 249057-001</p>	<p>OWNERS CERTIFICATION</p> <p>THE OWNER OF LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH AN AUTHORIZED AGENT CERTIFIES THAT THIS PLAT WAS MADE FROM AN ACTUAL FIELD SURVEY THAT ALL STATE, TOWN, VILLAGE AND COUNTY TAXES OR OTHER ASSESSMENTS NOW DUE ON THIS LAND HAVE BEEN PAID.</p> <p>AGENT: [Signature]</p> <p>DATE: 12/10/15</p> <p>OWNER: [Signature]</p>	<p>CERTIFICATE OF APPROVAL BY THE PLANNING BOARD</p> <p>RESOLUTION NO. 12-17-15</p> <p>DATE: 12/10/15</p> <p>BY: [Signature]</p>	<p>CATTARAUGUS COUNTY HEALTH DEPARTMENT</p> <p>APPROVED</p> <p>CATTARAUGUS COUNTY DEPT. OF HEALTH DIVISION OF ENVIRONMENTAL HEALTH DEIN, N.Y.</p> <p>By: [Signature]</p> <p>December 10, 2015</p>
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NO.	DATE	REVISION
1	12/17/15	ISSUED FOR PERMITS
2	12/17/15	REVISED PERMITS
3	12/17/15	REVISED PERMITS
4	12/17/15	REVISED PERMITS
5	12/17/15	REVISED PERMITS

MDA Consulting Engineers, PLLC
 1000 WASHINGTON STREET, SUITE 100
 YORKSHIRE, NY 14782

DATE	DESCRIPTION
12/17/15	ISSUED FOR PERMITS
12/17/15	REVISED PERMITS
12/17/15	REVISED PERMITS
12/17/15	REVISED PERMITS
12/17/15	REVISED PERMITS

COLTON CORNERS SUBDIVISION
 SPRAGUE'S WASHINGTON SQUARE, LLC
 P.O. BOX 100
 YORKSHIRE, NY 14782



FINAL PLAT PLAN

DATE: 2014.04.23
 SCALE: 1" = 50'
 PROJECT NAME: SPRAGUE'S WASHINGTON SQUARE
 SHEET NO: 12501
 DRAWN BY: HMS
 CHECKED BY: AT
 SHEET TITLE: PLAT MAP

THIS PLAN WAS PREPARED BY MDA CONSULTING ENGINEERS, PLLC, AN EQUAL OPPORTUNITY FIRM. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE DATA AND THE INFORMATION PROVIDED. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CLIENT IS RESPONSIBLE FOR THE COST OF THIS PLAN AND FOR THE COST OF OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CLIENT IS RESPONSIBLE FOR THE COST OF THIS PLAN AND FOR THE COST OF OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.