

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: New Residence at 23 Parkside Drive			
Project Location (describe, and attach a location map): 23 Parkside Drive, Lot 15, Ellicottville, New York 14731			
Brief Description of Proposed Action: New Two-Family wood frame home at 23 Parkside Drive in the Village of Ellicottville			
Name of Applicant or Sponsor: Caleb D. Henning		Telephone: 716-699-4650 E-Mail: chenning@mdaengineers.com	
Address: PO Box 604, 3 Bristol Lane			
City/PO: Ellicottville		State: NY	Zip Code: 14731
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Village of Ellicottville, Building permit, Architectural Review, Site Plan Review, Special Use Permit, Floodplain Development Permit			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 0.324 acres	
b. Total acreage to be physically disturbed?		_____ 0.324 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 0.324 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input checked="" type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, <ul style="list-style-type: none"> a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan? 	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ Flows will be directed to a storm water management system developed for the Colton Corners Subdivision _____	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Caleb D. Henning, PE, MBA</u> Date: <u>06/28/2022</u> Signature: <u></u> Title: <u>Partner/Project Engineer</u>		



TOWN AND VILLAGE OF ELLICOTTVILLE
ENGINEERING DEPARTMENT



PO BOX 600
ELLICOTTVILLE, NY
14731

PHONE: (716) 699-4773

PHONE: (716) 699-9005

APPLICATION FOR FLOODPLAIN DEVELOPMENT
PERMIT

SUPPLEMENT TO BUILDING PERMIT APPLICATION

This application is for permission to construct the following in compliance with the NYS Building code and Town/ Village of Ellicottville's Zoning Code, Local Ordinances, Engineering Standards, and Fee Schedule

PROPOSED DEVELOPMENT:

Site Address: 23 Parkside Drive, Ellicottville (Lot 15 - Colton Corners subdivision)

Tax Map #: 55.027-2-6.23

OTHER RELEVANT BUILDING INFORMATION SHALL BE DOCUMENTED IN THE ELLICOTTVILLE ENGINEERING DEPARTMENT BUILDING PERMIT APPLICATION. THIS APPLICATION SHALL SERVE AS A SUPPLEMENT TO THE BUILDING PERMIT APPLICATION.

SECTION #1: GENERAL PROVISIONS (Applicant Must Read and Sign)

1. No work may start until this application is received, reviewed, and signed.
2. The permit may be revoked if any false statements are made herein. If revoked, all work must cease.
3. Development shall not be used or occupied until a Certificate of Compliance is issued.
4. This supplemental application expires 2 years after the date of issuance.
5. Applicant hereby gives consent to the Local Administrator or his/her representative to make inspections to verify compliance.
6. I, THE APPLICANT, CERTIFY THAT ALL STATEMENTS HEREIN AND IN THE ENCLOSED ATTACHMENTS TO THIS APPLICATION ARE TRUE AND ACCURATE:

APPLICANT NAME: John and Josette Dickinson

APPLICANT SIGNATURE:

SECTION #2: DESCRIPTION OF WORK (Applicant to Submit Application after Completion of Section #2)

DESCRIPTION OF WORK (Please Check All that Apply):

ACTIVITY

STRUCTURE TYPE

- New Structure
- Addition

- Residential
- Non-Residential

- Alteration
- Relocation
- Demolition
- Replacement

- Combined Use
- Manufactured/Mobile Home

General Description of Work to be Completed:

Construction of new single-family residence. The proposed structure is outside the 100-year floodplain, within an area removed from the SFHA (Refer to LOMR-F No. 16-02-1940A, dated 10/14/2016). The proposed development within the floodplain includes general at-grade improvements (driveway, walks, patio, etc.).

Total Estimated Cost of Project: \$ _____

SECTION #3: FLOODPLAIN DETERMINATION (To Be Completed by Local Administrator)

The proposed development is located on FIRM Panel No. _____, Dated _____.

The Proposed Development (Check One):

- Is Reasonably Safe from Flooding
- Is adjacent to a Flood Prone Area
100-Yr Flood Elevation at the site is: _____ Ft. NGVD 1929 or NAVD1988 (Circle One)
- Is in a Flood Prone Area

SECTION #4: ADDITIONAL INFORMATION REQUIRED (To Be Completed by Local Administrator)

The applicant must submit the following documents checked below before the application can be processed:

- A site plan showing the location of all existing structures, water bodies, adjacent roads, lot dimensions and proposed development.
- Development plans and specifications, drawn to scale, including where applicable: details for anchoring structures, proposed elevation of lowest floor (including basement), types of water-resistant materials used below the first floor, details of floodproofing of utilities located below the first floor, details of enclosures below the first floor, openings in foundation for entry and exit of floodwaters. Plans and specifications must be signed by a registered engineer or architect.
- Elevation Certificate Conditional Letter of Map Revision Determination (Subdivisions w/ Proposed Fill)
- Topographic information showing existing and proposed grades, location of all proposed fill
- Top of new fill elevation: _____ Ft. NGVD 1929 or NAVD1988 (Circle One)
- PE Certification of Soil Compaction

SECTION #5: PERMIT DETERMINATION (To Be Completed by Local Administrator)

The proposed activity: IS
 IS NOT

In conformance with the provisions of the Town and Village Flood Damage Protection Local Law & the National Flood Insurance Program Regulations.

SIGNED: _____ DATE: _____

SECTION #6: AS-BUILT ELEVATIONS (To Be Submitted By Applicant prior to COC Issuance)

The following must be completed by a registered professional engineer, architect, or land surveyor (Complete 1 and/or 2 Below as applicable):

1. Actual (As-Built) Elevation of the top of lowest floor, including basement (in Coastal High Hazard Areas, bottom of lowest structural member of lowest floor) is: _____ Ft. NGVD 1929 or NAVD1988 (Circle One)

Attach Elevation Certificate FEMA Form 81-31

2. Actual (As-Built) Elevation of floodproofing protection is: _____ Ft. NGVD 1929 or NAVD1988 (Circle One)

Attach Elevation Certificate FEMA Form 81-65

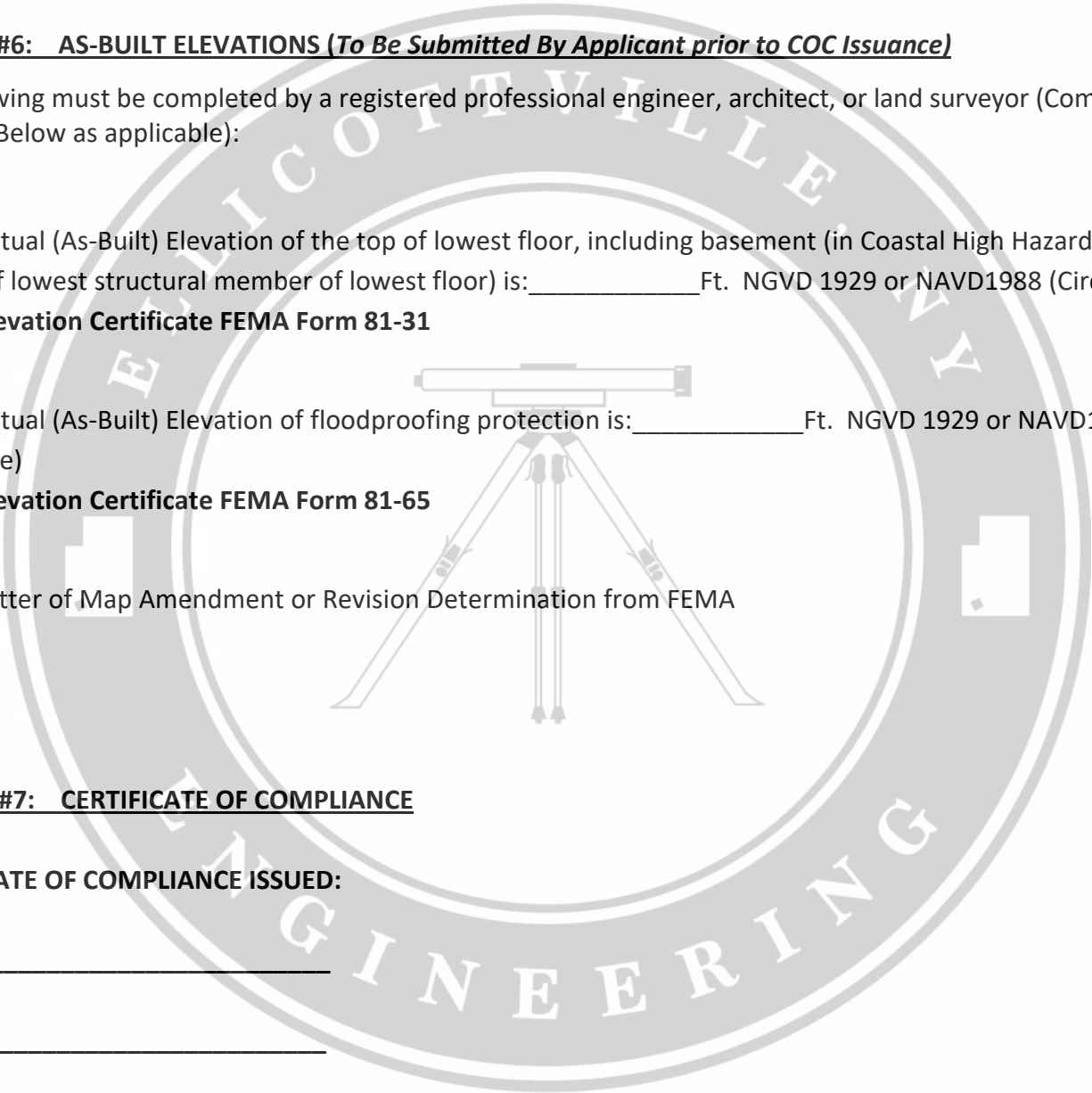
3. Letter of Map Amendment or Revision Determination from FEMA

SECTION #7: CERTIFICATE OF COMPLIANCE

CERTIFICATE OF COMPLIANCE ISSUED:


DATE: _____

BY: _____





SPECIFICATIONS

	GEOLOGY	Limestone
	TYPE	100% Splitface
	PATTERN	2:1 Random Ashlar
	HEIGHTS	2" - 8"
	LENGTHS	6" - 14"
	DEPTHS	3/4" to 1-1/4"
	COLORS	Buff, Burnt Orange, Burgundy, Gray-Grey, Lavender
	COVERAGE	
	WEIGHT	14.8 lbs per square foot
	FLATS	10 s/f Box, 100 s/f Crate, 180 s/f Crate
	CORNERS	10 l/f per box; 100 l/f per NTV Crate
	NOTES	

ASTM C-97

Water Absorption %
Bulk Specific Gravity

ASTM C-170

Parallel to Rift, Dry
Parallel to Rift, Wet
Perpendicular to Rift, Dry
Perpendicular to Rift, Wet

ASTM C-99

Parallel to Rift, Dry
Parallel to Rift, Wet

ASTM C-880

Perpendicular to Rift, Dry
Perpendicular to Rift, Wet



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 East Syracuse, NY 13057
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DATE	BY	REVISION
5/18/2022	MM	ISSUE FOR PERMITTING
	MM	
	MM	
	MM	
	MM	
	MM	
	MM	
	MM	
	MM	

MDA Consulting Engineers, PLLC
 230 PARKSIDE DRIVE
 ELLICOTTVILLE, NY 14751
 716.363.9400
 www.mda-engineers.com

PERMITTING STATES
 DATE: 5/18/2022
 NOT FOR CONSTRUCTION
 PROGRESS SET
 PRELIMINARY
 FINAL
 PREPARED BY: CDH
 DESIGN CONSULTING ENGINEERS, PLLC

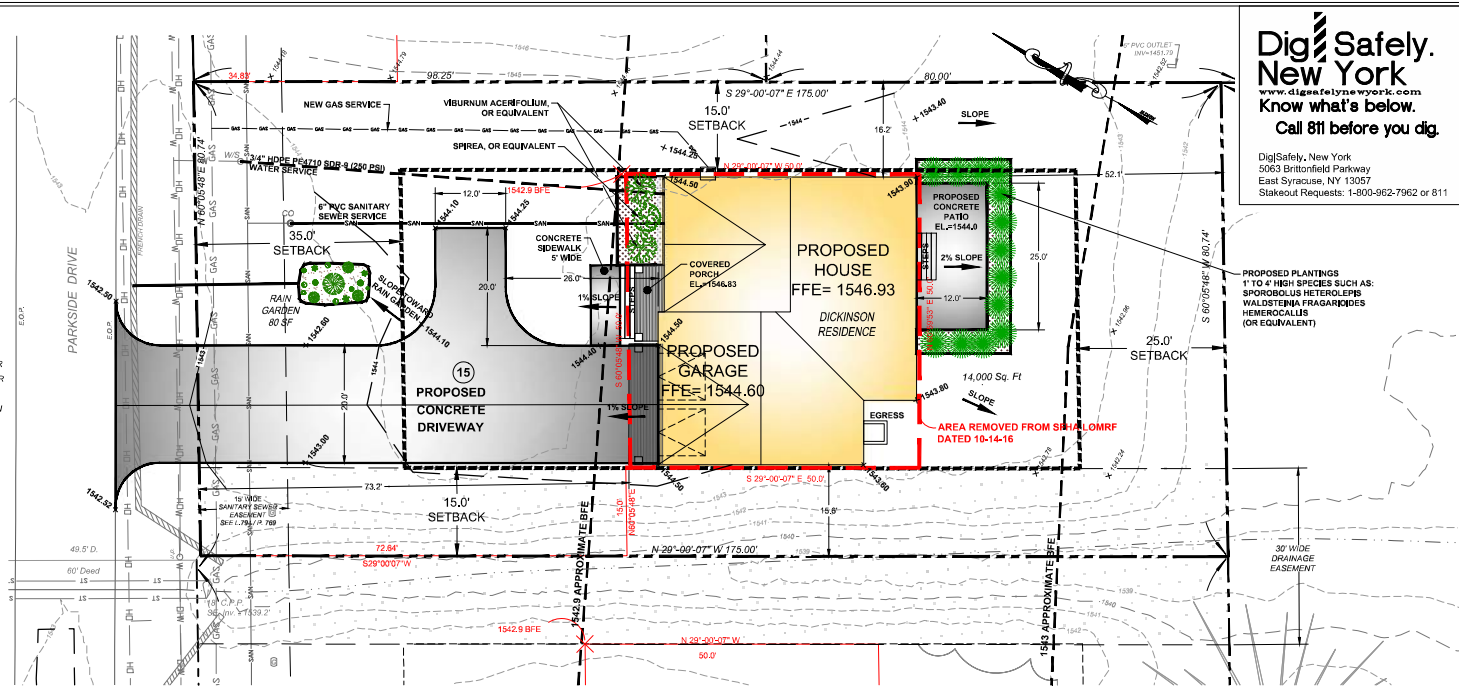
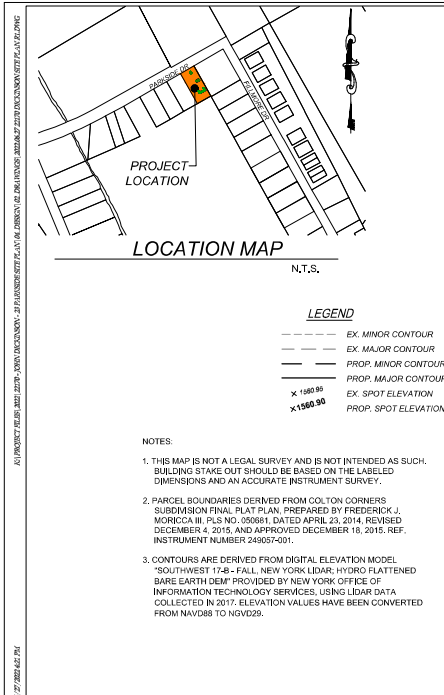
DICKINSON SITE PLAN
 23 PARKSIDE DRIVE
 ELLICOTTVILLE, NY 14751



SITE PLAN

DATE: 5/18/2022
 SCALE: 1" = 10'
 PROJECT: DICKINSON SITE PLAN
 DRAWING NO: 22170
 CLIENT: MDM
 DESIGNER: CDH

SP1

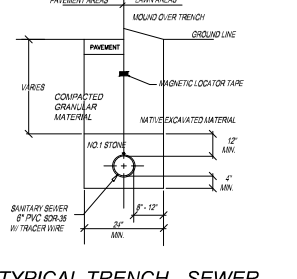
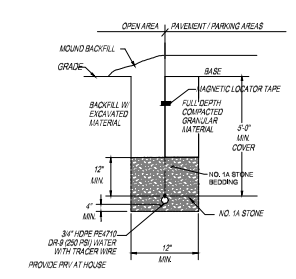
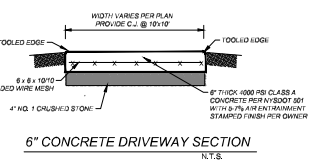
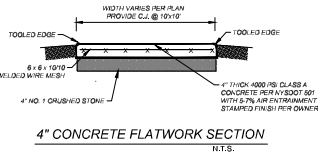
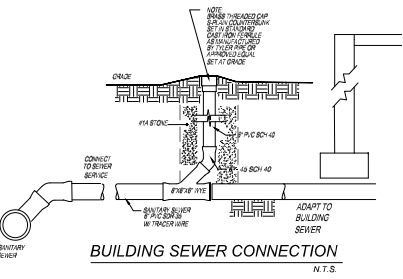


VILLAGE RESIDENTIAL DEVELOPMENT DISTRICT - MEDIUM DENSITY (MD)

REGULATION NAME	REQUIRED	PROVIDED
MINIMUM LOT SIZE	12,500 SF	14,000 SF
MINIMUM BUILDING SIZE	1,000 SF	2,200 SF
MINIMUM SIDE YARD	15.0' TOTAL	15.6', 31.8' TOTAL
MINIMUM FRONT YARD	35'	73.2'
MINIMUM REAR YARD	25'	52.1'
MAXIMUM LOT COVERAGE	40%	26%
MAXIMUM BUILDING HEIGHT	2.5 STORIES	2 STORIES

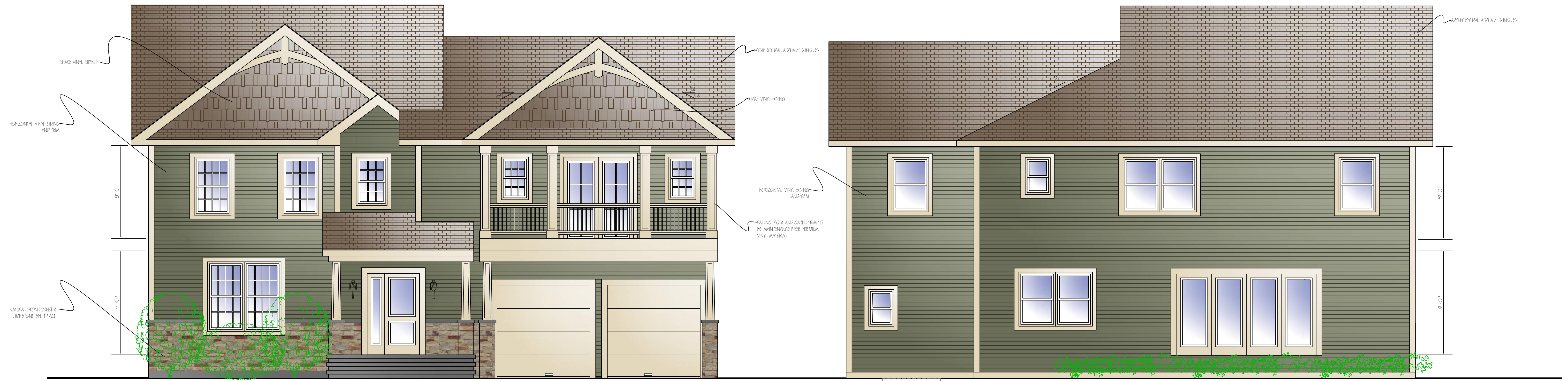
DESCRIPTION	VALUE
Lot Area (SF)	14,000
Area of Structures (SF)	2,200
Impervious Area (SF)	1,450
Lot Coverage (SF)	3,650
Lot Coverage (%)	26%

LOT COVERAGE CALCULATION



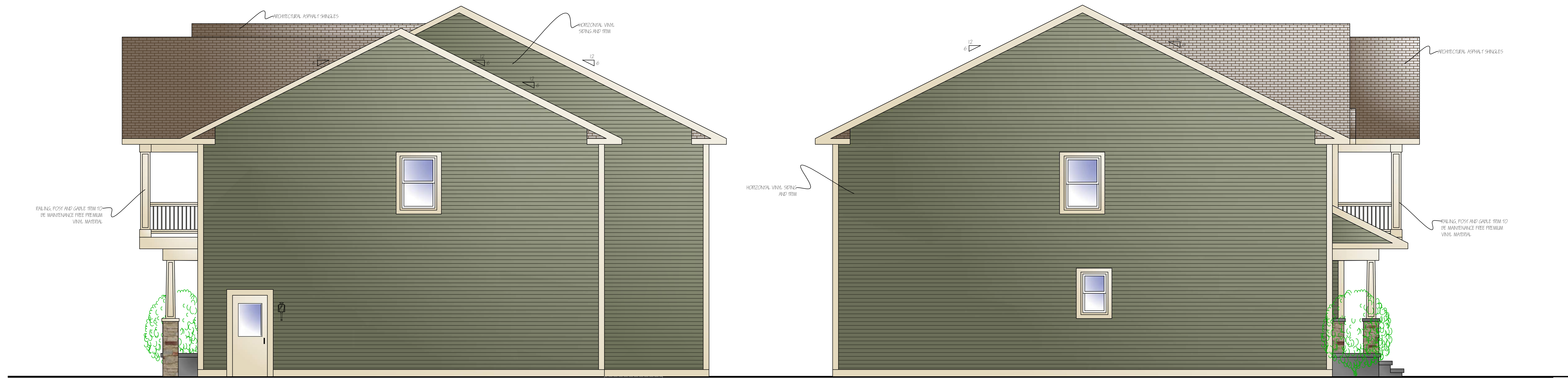
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SCALE: 1" = 10'
 DATE: 5/18/2022



FRONT ELEVATION

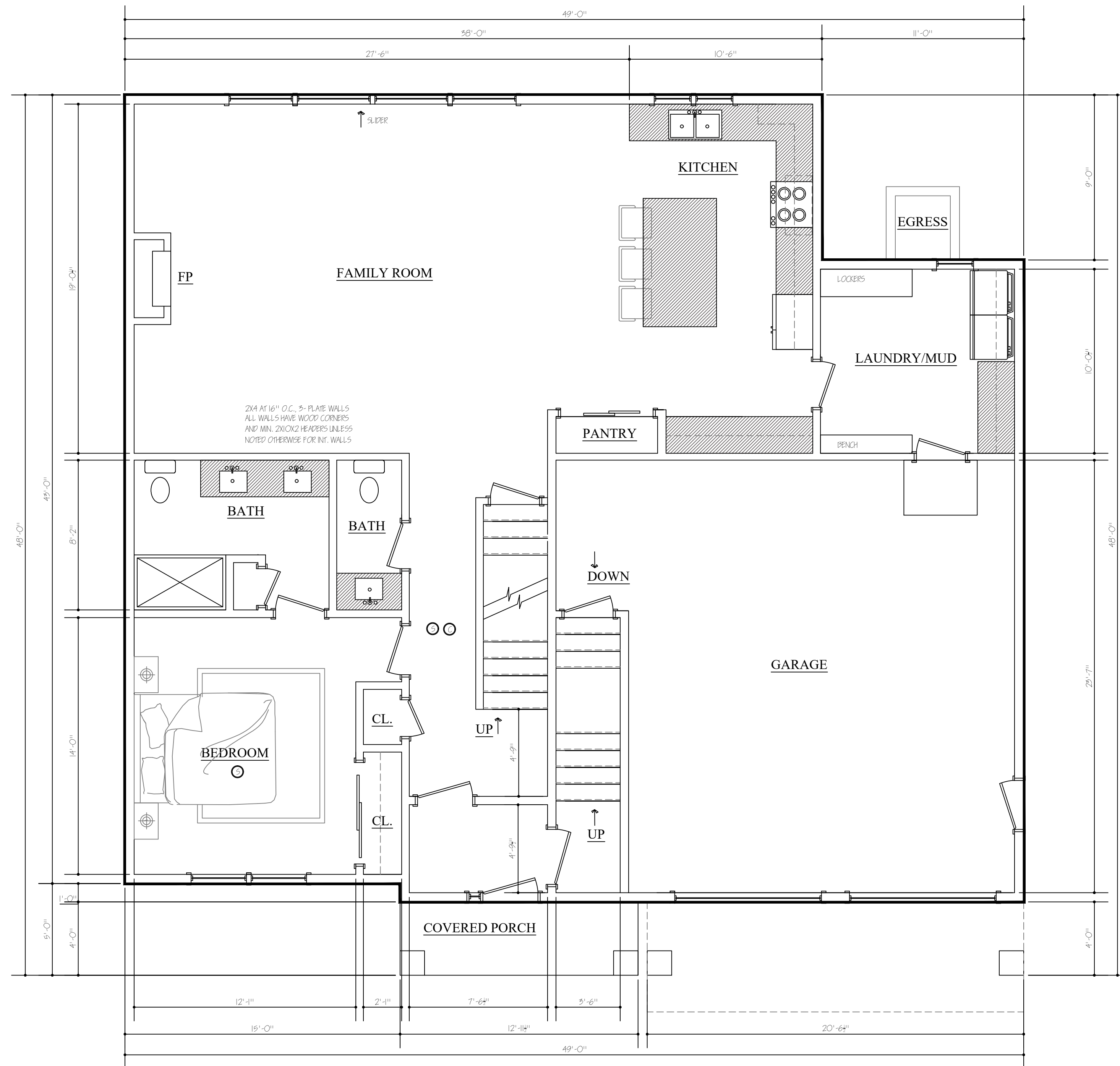
REAR ELEVATION



SIDE ELEVATION

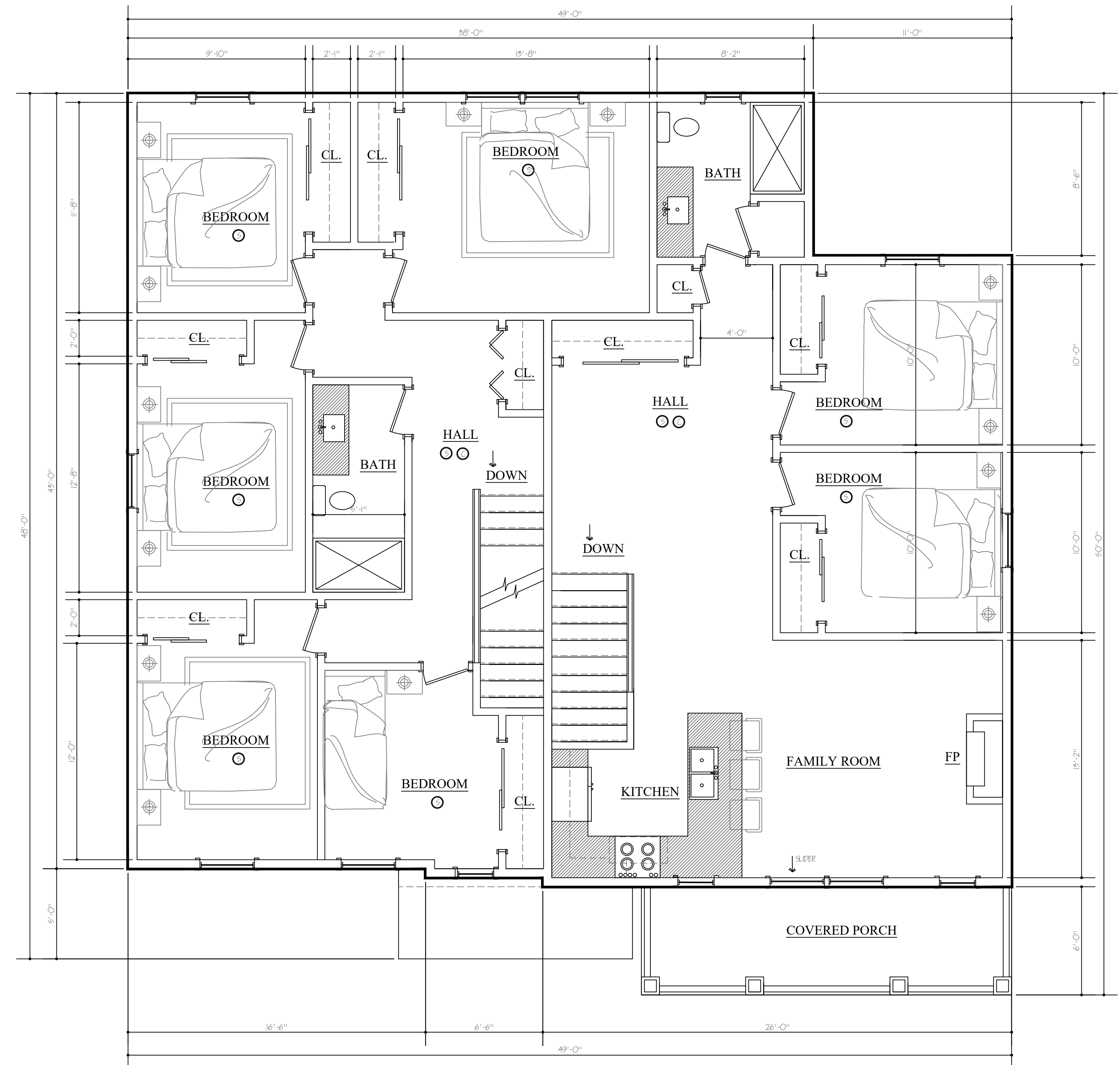
SIDE ELEVATION

23 PARKSIDE DRIVE, ELLICOTTVILLE, NEW YORK



GROUND FLOOR PLAN

1/4" = 1'-0"



UPPER FLOOR PLAN

1/4" = 1'-0"

23 PARKSIDE DRIVE, ELLICOTTVILLE, NEW YORK