



June 24, 2022

Town of Ellicottville
Zoning Board of Appeals

Re: Single-Family Residence Renovations
10 Easy Street

Dear ZBA,

In response to feedback provided by Greg Keyser following your regularly scheduled June 2, 2022 meeting, we are submitting the following revised application documents.

Zoning Permit Application

Remove application dated 5/11/2022 and replace with application dated 6/14/2022

- Revised proposed setbacks, measured to the retaining walls rather than house and wooden stairs.

Zoning Board of Appeals Application

Remove application dated 5/11/2022 and replace with application dated 6/14/2022

- Revised proposed setbacks, measured to the retaining walls rather than house and wooden stairs.

Site Plan, Sheet C1.01

Remove site plan sheets 1&2, dated 5/12/2022 (MDA Engineers title block) and replace with civil sheets C1.01 & C5.01 (Peninsula Architects title block) dated 06/24/22

- Additional dimensions showing setbacks to proposed retaining walls
- Vehicle outlines for existing parking area to clarify improvements in parking
- Stairs to grade near northwest corner of house

Architectural Prints

Remove and replace architect plan sheets G0.00, D1.01, A1.01, A1.02, A3.01, & A3.02 dated 05/11/22 and replace with sheets dated 06/24/22

- Combined architect and civil drawing sheets into single plan set for consistency
- Additional dimensions showing natural grade and proposed building height
- Stairs to grade near northwest corner of house

June 24, 2022
Wepler/10 Easy Street

Written Communication from Holihuts, Inc. (Homeowners Association)

Add the following emails to the application package

- Emails from Scott Savage of Holihuts dated March 15, 2022 and June 14, 2022 regarding proposed plan at 10 Easy St
- The HOA is primarily concerned with maintaining 14-ft-wide paved road
 - o The existing 14-ft road is not encroached by the proposed project
- The HOA recommends seeking adjacent neighbors' comments
 - o Comment will be sought during normal public hearing process

Please contact me if you have any questions.

Sincerely,



Caleb D Henning, MBA, PE
Partner/ Project Engineer
MDA Consulting Engineers, PLLC

WEPLER RESIDENCE



ABBREVIATIONS:

ADA	AMERICANS WITH DISABILITIES ACT
AFF	ABOVE FINISHED FLOOR
ALT.	ALTERNATE
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
APPROX.	APPROXIMATELY
BHMA	BUILDERS HARDWARE MANUFACTURERS ASSOCIATION
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
DS	DOWNSPOUT
ENG. HRWD	ENGINEERED HARDWOOD
EWC	ELECTRIC WATER COOLER
EXT.	EXISTING
FIN	FINISHED
FIN. FL.	FINISHED FLOOR
GA	GAGE
GYP. BD.	GYPSPUM BOARD
HDWR.	HARDWARE
HM	HOLLOW METAL
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING
MAX.	MAXIMUM
MIN.	MINIMUM
N.I.C.	NOT IN CONTRACT
NTS	NOT TO SCALE
O.	OVER
O.C.	ON CENTER
OPP.	OPPOSITE
PTD.	PAINTED
P. LAM	PLASTIC LAMINATE
REQD.	REQUIRED
S.C.	SOLID CORE
SIM.	SIMILAR
SS	STAINLESS STEEL
TYP	TYPICAL
VOC	VOLATILE ORGANIC COMPOUND
W.	WITH
WWF	WELDED WIRE FABRIC

ARCHITECT

PENINSULA ARCHITECTS
1775 MAIN STREET, PENINSULA, OH 44264
T: 330.657.2800

GENERAL NOTES

1. NOTIFY ARCHITECT IMMEDIATELY WHERE CONFLICTS MAY ARISE BETWEEN ARCHITECTS DOCUMENTS AND OWNER'S CONSULTANTS DOCUMENTS
2. ALL EQUIPMENT AND APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION REQUIREMENTS.
3. ENGINEERED LUMBER SHALL NOT BE CUT, DRILLED, OR NOTCHED UNLESS SPECIFIED.
4. ALL EXTERIOR FRAME WALLS TO BE 2x6 STUDS AT 16" O.C. WALLS. DRAWN AT 6". ASSUMED 2x6 WALL WITH 1/2" GYP BD OR SHEATHING BOTH SIDES. ASSUMED INTERIOR PARTITIONS ARE 2x4 STUD WALLS WITH 1/2" GYP BD OR SHEATHING BOTH SIDES. UNLESS NOTED OTHERWISE, IF GYP BD OR SHEATHING SPECIFIED DIFFERS FROM SELECTION, CONTRACTOR TO MAKE NECESSARY ADJUSTMENTS AT CRITICAL DIMENSIONS.
5. PORCHES, BALCONIES, OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT.
6. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH FOUR OR MORE RISERS FROM A POINT DIRECTLY ABOVE THE TOP RISER OF A FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT.
7. WATER RESISTANT GYPSPUM BOARD/ GREEN BOARD SHALL BE USED AROUND TUBS AND SHOWERS IN BATHROOMS AND IN HIGH MOISTURE AREAS.
8. INSULATION: INSTALL SOUND ATTENUATION BATT INSULATION (FORMALDEHYDE FREE) IN ALL INTERIOR WALLS OF BATHROOMS AND BEDROOMS.

CIVIL ENGINEER

MDA CONSULTING ENGINEERS
3 BRISTOL LANE, ELLICOTTVILLE, NY 14731
T: 716.699.4650

SYMBOLS

	DETAIL		WALL TYPE
	ELEVATION		WINDOW TYPE
	SECTION		KEY NOTE

SHEET INDEX

G0.00	TITLE SHEET	2022-06-24
C1.01	SITE PLAN	2022-06-24
C5.01	SITE PLAN DETAILS & SECTIONS	2022-06-24
D1.01	DEMOLITION PLANS	2022-06-24
A1.01	PROPOSED FIRST FLOOR PLAN	2022-06-24
A1.02	PROPOSED BASEMENT PLAN	2022-06-24
A3.01	EXTERIOR ELEVATIONS	2022-06-24
A3.02	EXTERIOR ELEVATIONS & SECTIONS	2022-06-24

PENINSULA ARCHITECTS

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www.peninsulaarch.com

PROGRESS
NOT FOR
CONSTRUCTION
2022

WEPLER HOLMONT RESIDENCE
10 EASY STREET,
ELLICOTTVILLE, NY 14731

PROJECT #	2021
DATE	ISSUE

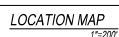
06/24/22 ZONING APPLICATION

SCALE AS NOTED

TITLE SHEET

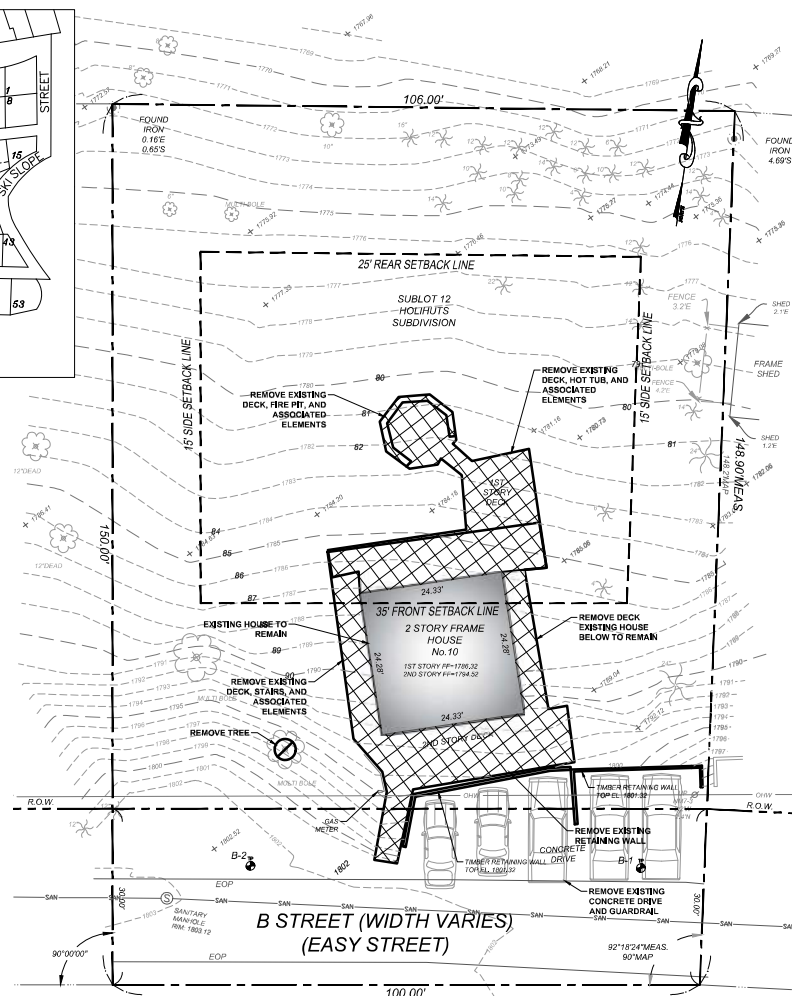
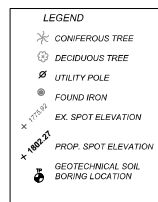
G0.00

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NOTE: BEFORE DIGGING NOTIFY -
DIG SAFELY NEW YORK 1-800-962-7962

NOTE:
THIS MAP IS NOT A LEGAL SURVEY AND IS NOT
INTENDED AS SUCH. BUILDING STAKE OUT
SHOULD BE BASED ON THE LABELED DIMENSIONS
AND AN ACCURATE INSTRUMENT SURVEY.



SITE PLAN - EXISTING CONDITIONS AND DEMOLITION

SCALE: 1"=10'



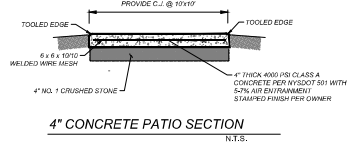
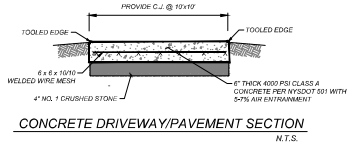
SITE PLAN - PROPOSED CONDITIONS

SCALE: 1" = 10'

CONSTRUCTION NOTES:

1. THE EXISTING UTILITY INFORMATION PROVIDED IS BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIGN. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE EXISTING UTILITIES LOCATED PRIOR TO BEGINNING ANY UNDERGROUND EXCAVATION.

TOWN MEDIUM DENSITY-RESIDENTIAL ZONING - (MD)	
LOT SIZE	12,500 SF
SIDE YARD	15'
FRONT YARD	35'
REAR YARD	25'
ACCESSORY BUILDING	10'
OPEN SPACE	50%
BUILDING HEIGHT	35', 2.5 STORIES



GEOTECHNICAL NOTES

- RETAINING WALL FOUNDATION DESIGN IS BASED ON THE "GEOTECHNICAL EVALUATION REPORT FOR PROPOSED RETAINING WALL - WEPLER HOLMONT RESIDENCE, 10 EASY STREET" PREPARED BY EMPIRE GEOTECHNICAL ENGINEERING SERVICES, MAY 2022, PROJECT NO. WBS-22-042 (SLS PROJECT NO. BS-22-042).
- GEOTECHNICAL EXPLORATIONS REVEALED FILL TYPE SOILS TO DEPTHS VARYING FROM 6 FEET TO 12 FEET BELOW EXISTING GROUND, WITH SUITABLE INDIGENOUS SOILS BENEATH. SUBSURFACE CONDITIONS CAN BE EXPECTED TO VARY BETWEEN AND AWAY FROM THE EXPLORATION LOCATIONS. A QUALIFIED GEOTECHNICAL REPRESENTATIVE SHALL MONITOR FOUNDATION EXCAVATION TO ENSURE THAT FOUNDATIONS ARE PLACED ON SUITABLE BEARING SOILS.
- ALL EXISTING FILL SOILS / MATERIALS SHALL BE COMPLETELY REMOVED FROM BENEATH THE PROPOSED RETAINING WALL, AND BE REPLACED WITH STRUCTURAL FILL, AS NECESSARY.
- EXCAVATION TO THE PROPOSED BEARING GRADES FOR THE RETAINING WALL LEVELING PAD SHOULD BE PERFORMED USING A METHOD WHICH REDUCES DISTURBANCE TO THE INDIGENOUS SOIL AND/OR WEATHERED BEDROCK BEARING GRADES, SUCH AS A BACKHOE EQUIPPED WITH A SMOOTH BLADE BUCKET.
- ALL EXISTING FILL SOILS AND ANY OTHER DELETERIOUS SOIL MATERIAL BENEATH THE PROPOSED LEVELING PAD SHOULD BE REMOVED, ANY RESULTING OVER-EXCAVATIONS SHOULD BE BACKFILLED WITH STRUCTURAL FILL.
- THE INDIGENOUS SOIL OR WEATHERED BEDROCK BEARING GRADES SHOULD BE OBSERVED AND EVALUATED BY QUALIFIED GEOTECHNICAL PERSONNEL PRIOR TO PLACEMENT OF THE STRUCTURAL FILL LEVELING PAD. PLACEMENT AND COMPACTION OF STRUCTURAL FILL SHOULD ALSO BE OBSERVED AND TESTED.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT THE EXISTING HOUSE FOUNDATIONS AND UTILITIES DURING EXCAVATION AGAINST UNDERMINING AND LATERAL INSTABILITY. CONTRACTOR SHALL PROVIDE ALL NECESSARY UNDERPINNING, SHEETING, BRACING, ETC. AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM DEWATERING OPERATIONS AND TO PROTECT EXPOSED SOILS SUBGRADES FROM ACCUMULATING WATER.

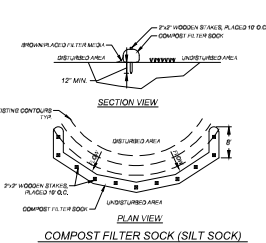
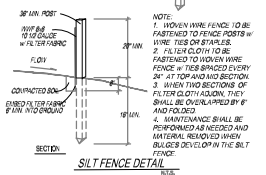
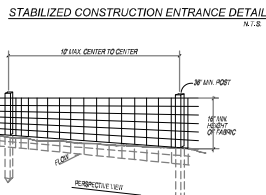
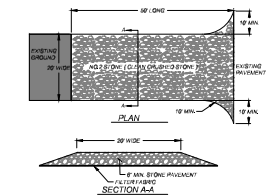
STRUCTURAL FILL

- STRUCTURAL FILL MATERIAL SHALL COMPLY WITH NYSDOT STANDARD SPECIFICATIONS, ITEM NO. 304.12 - TYPE 2 SUBBASE, AND SHALL CONSIST OF A CRUSHER RUN STONE OR A CRUSHED GRAVEL PRODUCT, WHICH IS FREE OF CLAY, ORGANICS AND FRAGILE OR DELETERIOUS PARTICLES.

- THE STRUCTURAL FILL SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

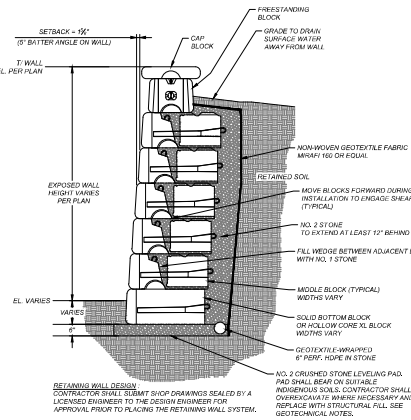
SIZE	PERCENT FINER BY WEIGHT
2 INCH	100
1/2 INCH	25 TO 40
NO. 40	5 TO 40
NO. 200	0 TO 10

- THE STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS MEASURED BY THE MODIFIED PROCTOR TEST (ASTM D1557). PLACEMENT OF FILL SHOULD NOT EXCEED A MAXIMUM LOOSE LIFT THICKNESS OF 6 TO 9 INCHES. THE LOOSE LIFT THICKNESS SHOULD BE REDUCED IN CONJUNCTION WITH THE COMPACTION EQUIPMENT USED SO THAT THE REQUIRED DENSITY IS ATTAINED. THE STRUCTURAL FILL SHOULD HAVE A MOISTURE CONTENT WITHIN TWO PERCENT OF THE OPTIMUM MOISTURE CONTENT AT THE TIME OF COMPACTION.



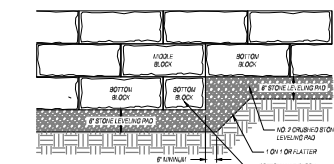
SECTION A-A

SCALE: 1"=5'



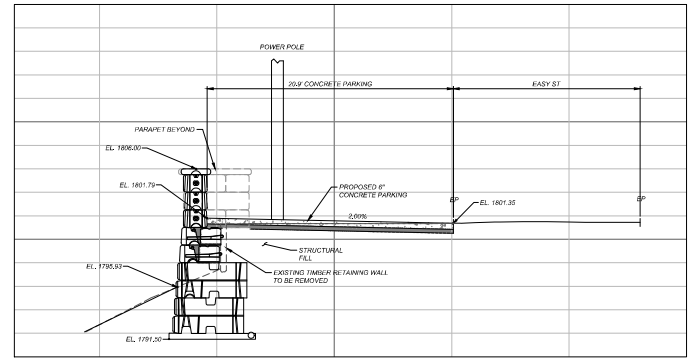
REDI-ROCK® STEPPED FOOTING TYPICAL DETAIL

N.T.S.



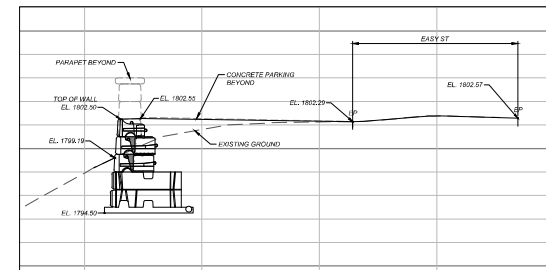
REDI-ROCK® STEPPED FOOTING TYPICAL DETAIL

N.T.S.



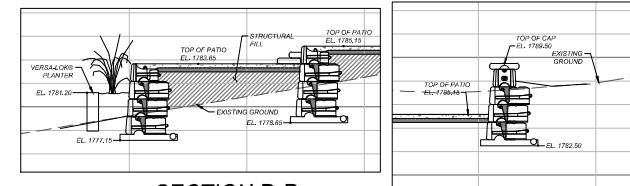
SECTION B-B

SCALE: 1"=5'



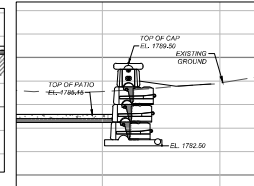
SECTION C-C

SCALE: 1"=5'



SECTION D-D

SCALE: 1"=5'



SECTION E-E

SCALE: 1"=5'

RETAINING WALL DESIGN NOTES

- REDI-ROCK® RETAINING WALLS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- WALL SECTIONS AND DETAILS ARE INTENDED TO COMMUNICATE ELEVATIONS, GRADES, AND TYPE OF RETAINING WALL CONSTRUCTION AT VARIOUS LOCATIONS.
- FINAL BLOCK SIZE AND LAYOUT SHALL BE AS DETERMINED BY RETAINING WALL DESIGN ENGINEER.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SEALED BY A LICENSED ENGINEER TO THE SITE/CIVIL DESIGN ENGINEER FOR APPROVAL PRIOR TO PLACING THE RETAINING WALL SYSTEM.

PENINSULA ARCHITECTS

751 BAY ST. | 1ST FL. | 1ST FL. | 1ST FL.
PORT JEFFERSON, NY 11777
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WWW.PENINSULA-ARCHITECTS.COM



PROGRESS
NOT FOR
CONSTRUCTION

WEPLER HOLMONT RESIDENCE
10 EASY STREET,
ELLICOTTVILLE, NY 14731

PROJECT # 107

DATE ISSUE

10/24/22 ZONING APPLICATION

DEMOLITION GENERAL NOTES

1) REMOVE EXISTING RETAINING WALL COMPLETELY. SHORE UP EXISTING GRADE AND EXCAVATE AS NECESSARY TO RECEIVE NEW RETAINING WALL. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION AND DETAILS.

2) REMOVE EXISTING STAIRS, FRAMING, AND HANDRAILS.

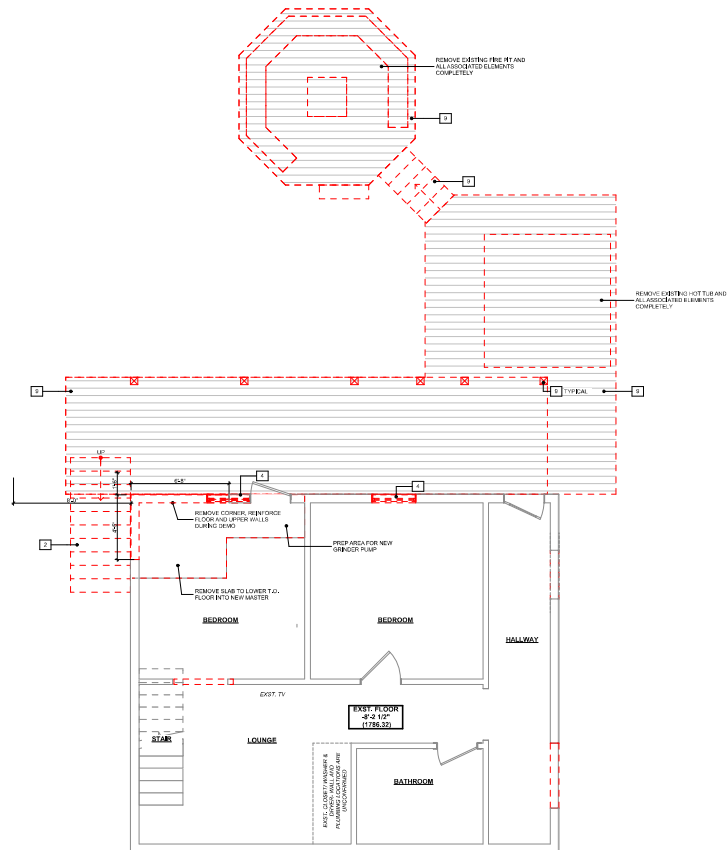
4) REMOVE EXISTING WINDOWS, PREP SURFACE FOR NEW, REFER TO EXTERIOR ELEVATIONS TO CONFIRM WINDOW SIZES.

1) STRIP PAINT OFF EXISTING SHORE CEDAR SIDING AND PREP WOOD TO RECEIVE NEW SEMI-TRANSPARENT STAIN. TYPICAL FOR ALL EXISTING SHORE SIDING.

7) REMOVE EXISTING METAL STANDING SEAM ROOF COMPLETELY. INSTALL NEW ICE & WATER SHIELD AND PREPARE SURFACE FOR NEW METAL STANDING SEAM ROOF.

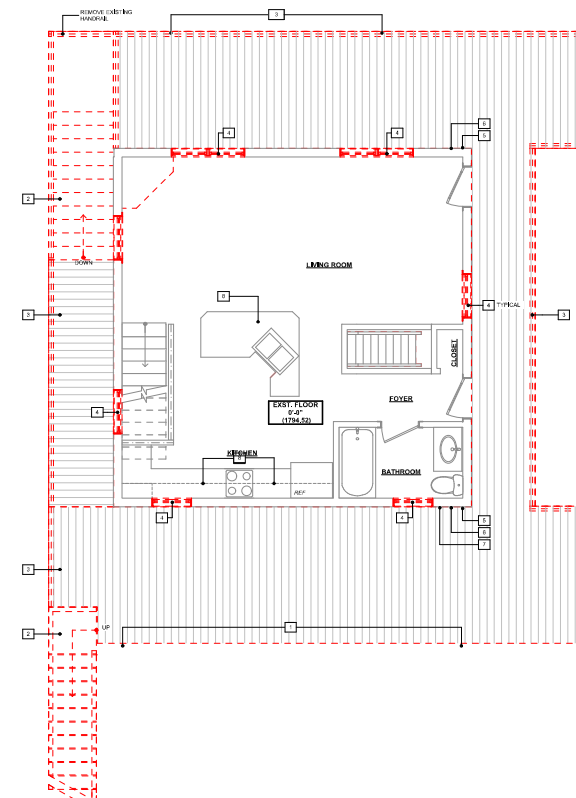
8) REMOVE EXISTING COUNTERTOPS AND APPLIANCES COMPLETELY FOR NEW. CABINETS TO REMAIN.

1. REMOVE EXISTING WOOD DECKING, FRAMING, HANDRAILS, STAIRS, ETC.



2 BASEMENT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"
0 2' 4'

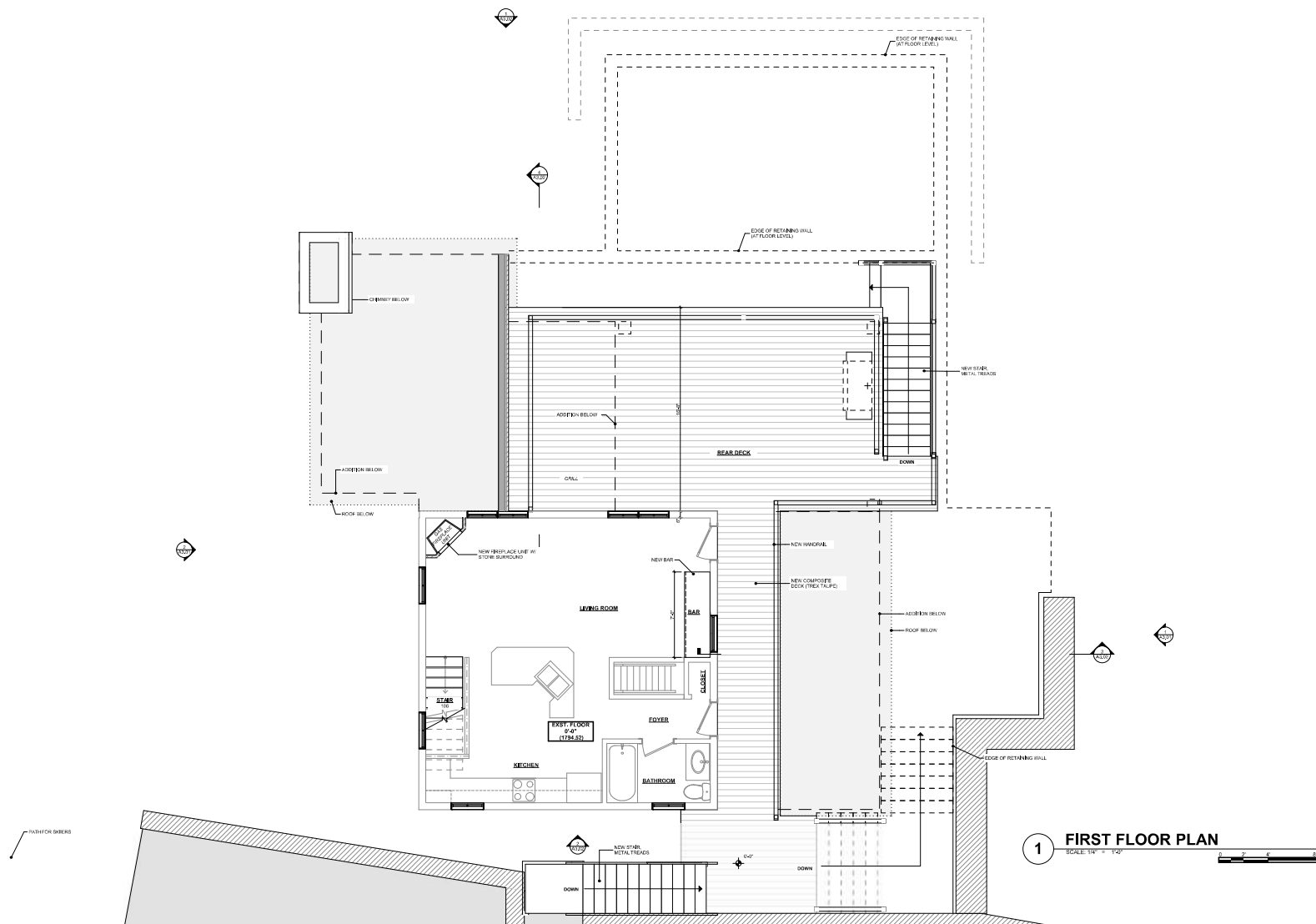
SCALE: 1/4" = 1'-0"

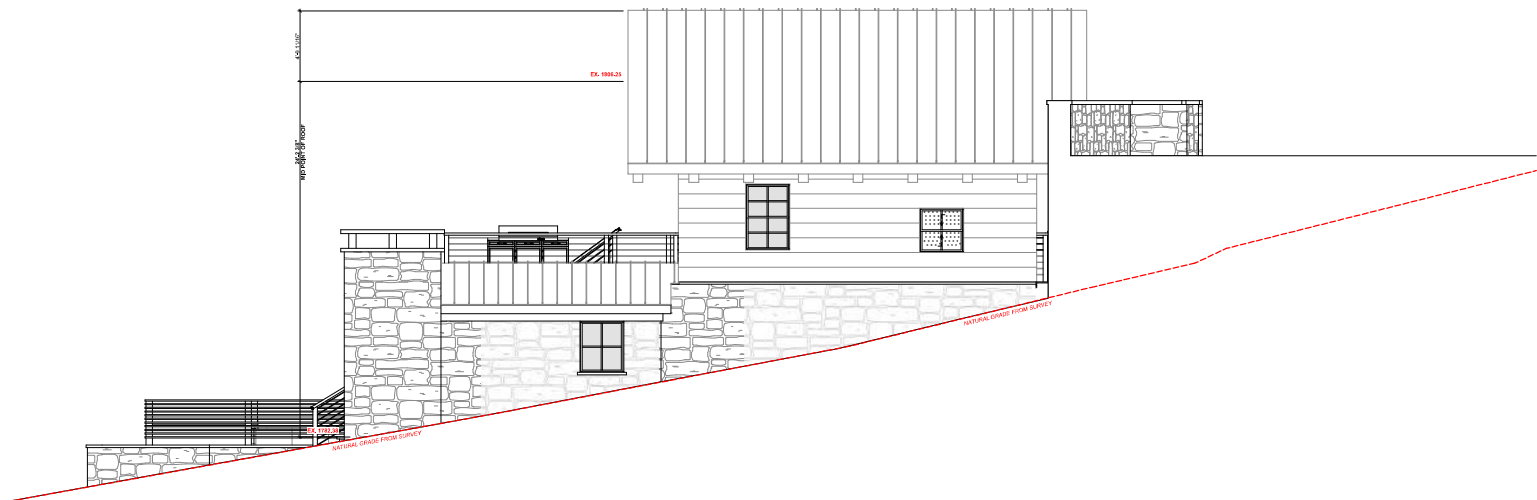


1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0" 0 2' 4' 6'

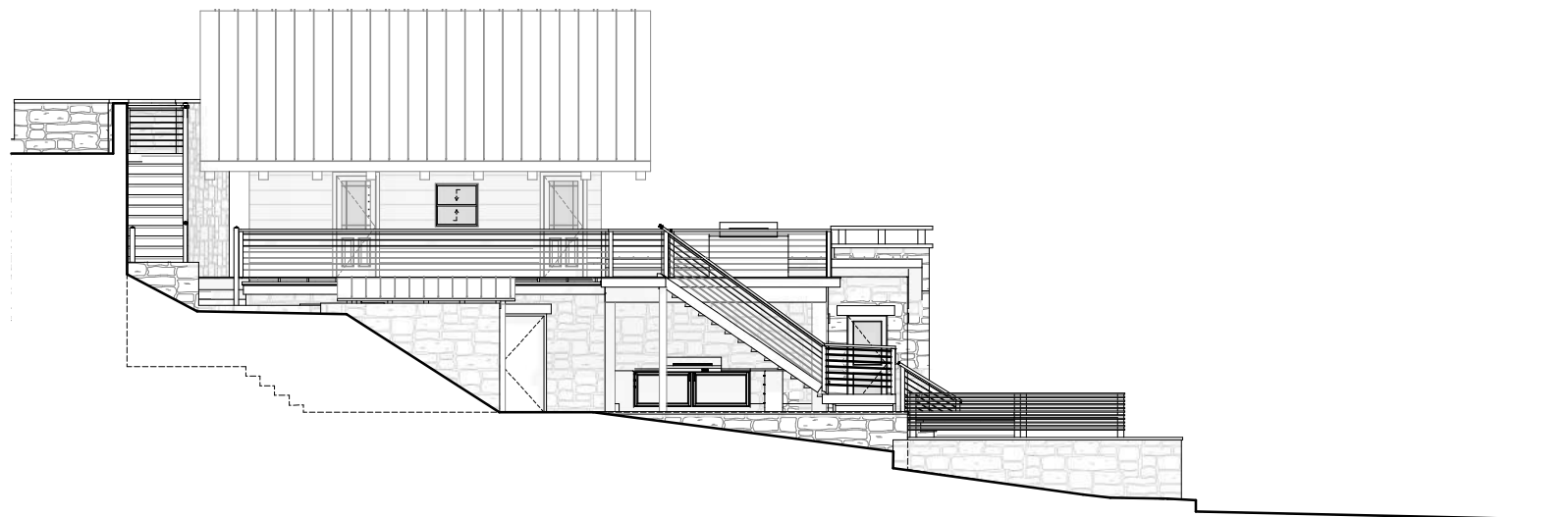
SCALE 1/4" = 1'-0"



[illegible]



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"





Micah N. Mast

From: Robert Deuberry <bdeuberry@gmail.com>
Sent: Wednesday, June 15, 2022 9:43 AM
To: Micah N. Mast
Subject: Fwd: Holihut HOA schedule for plan review

Micah. FYI

----- Forwarded message -----

From: Robert Deuberry <bdeuberry@gmail.com>
Date: Tue, Mar 15, 2022 at 4:04 PM
Subject: Re: Holihut HOA schedule
To: Scott Savage <soakville@sympatico.ca>

Ok thanks Scott

On Tue, Mar 15, 2022 at 3:07 PM Scott Savage <soakville@sympatico.ca> wrote:

Nope as the letter attached I sent indicated, we haven't engaged in that bylaw process for decades.

We had a member at the last annual meeting wanting to have minimum standards for home-owners but no details were provided. Frankly, the board nor any other members seemed to be interested in that.

The HOA board directors all volunteers and we defer to Town of Ellicottville bylaws and processes for simplicity.

We did have a member wanting to encroach on the road allowance with a permanent garage seeking board approval last year before the Town would look at their variance request.

The road allowance is for public use, the HOA board and Town agree it should not be encroached. This was a strange and rare incident that the HOA board got pulled into because of the prior HOA president.

I'm going into my fifth 3yr term on the board and never have we had anything like this happen before.

From: Robert Deuberry <bdeuberry@gmail.com>
Sent: March 15, 2022 11:40 AM

To: Scott Savage <soakville@sympatico.ca>

Subject: Re: Holihut HOA schedule

Scott

Thanks Scott, I was thinking once we had plans there might be a holihut review process outside of town approvals.

On Tue, Mar 15, 2022 at 11:17 AM Scott Savage <soakville@sympatico.ca> wrote:

Hi,

Not sure what you mean by schedule? But the annual association dues get sent out in the fall and the annual meeting is usually mid January. Board meets just prior to annual meeting to approve financials. Our meeting had a slight delay this year by a few weeks as our accountant Robert Lanza in the village had some delays putting the financial statements together.

Regards,

Scott

From: Robert Deuberry <bdeuberry@gmail.com>

Sent: March 15, 2022 10:39 AM

To: Scott Savage <soakville@sympatico.ca>

Subject: Holihut HOA schedule

Scott

We are putting plans together for the project on Easy Street so I wanted to reach out and find out what is the Holihut HOA schedule so I can plan accordingly.

Thanks

Micah N. Mast

From: Robert Deuberry <bdeuberry@gmail.com>
Sent: Wednesday, June 15, 2022 9:32 AM
To: Micah N. Mast
Subject: Fwd: Comments on project at 10 Easy St
Attachments: 2022-06-14 - Wepler Residence - Drawings.pdf; 2022-06-14 - Wepler Residence - Renderings.pdf

FYI

----- Forwarded message -----

From: **Scott Savage** <soakville@sympatico.ca>
Date: Tue, Jun 14, 2022 at 5:00 PM
Subject: Comments on project at 10 Easy St
To: Robert Deuberry <bdeuberry@gmail.com>
Cc: Brad Smith <wbradley.smith@raymondjames.com>, <brentpeters123@gmail.com>, Ollie Hazard <olliehazard1343@gmail.com>, Jeffrey Wayland <jeffrey.wayland@infor.com>, paul turgeon <pwturgeon@gmail.com>, Jim Pooler <jimmy.pooler@gmail.com>, Bill Stanton <bills@commanderindustries.com>, Michael H Peck <michaelpeck2@me.com>

Hi Robert,

As per my earlier email, the HOA recommends you seek your adjacent neighbors' comments.

Looks like the ROW is not being encroached at all, and the HOA is striving to ensure 14 feet wide paved roads.

I've copied the board members for their thoughts.

Regards,

Scott

Secretary/VP Holi Huts Inc.