



**TOWN AND VILLAGE OF ELLICOTTVILLE
BUILDING / CODE ENFORCEMENT
DIVISION**

PO Box 600, ELLICOTTVILLE, NY 14731

Code Enforcement Officer: Kelly Fredrickson, (716) 699-4773

E-MAIL: kelly.fredrickson@evlengineering.com

Planner: Greg Keyser, (716) 801-3016, E-MAIL: greg.keyser@evlengineering.com

ZONING BOARD OF APPEALS APPLICATION

Property is in: TOWN VILLAGE App. # _____

APPLICANT INFORMATION:

Applicant's name: JEFF & MINOY HAYES Date: 12-6-22

Mailing address: 174 ANDERSON PL. BUFFALO NY 14222

Cell Phone Number: 716-455-9273 E-Mail: JEFF@HAYESBUILD.COM

Applicant must be (check all that apply): Owner Operator Lessee

Applicant's Engineer or representative: JEFF HAYES

Address: SAME AS ABOVE

Phone #: _____ E-Mail: _____

PROPERTY OWNER INFORMATION (if different than Applicant)

Name: SAME AS ABOVE

Mailing Address: _____

Cell Phone Number: _____ E-Mail: _____

TYPE OF APPEAL:

Area Variance Use Variance Interpretation of Zoning Law text or map

Section of Zoning Law from which variance is requested: _____

Describe the requested variance: SEE ATTACHED LETTER #1

Is this appeal from a decision of the Town/Village of Ellicottville Building Official? YES NO

If yes, what as the type of decision or permit? ZONING PERMIT - NON-CONFORMING BUILDING

Date of decision: 11/16/22

A previous appeal has has not been made with respect to this decision or with respect to the property. If a previous appeal was made, provide the Appeal # _____ and Date of Appeal _____

Reasons Supporting Your Appeal

Please reply to the questions below for the type of appeal that you are making. These are the criteria that the Zoning Board of Appeals will use to evaluate your appeal. Provide as much detail as possible. Feel free to attach an additional statement. **- SEE ATTACHED LETTER DATED 12-6-22**

AREA VARIANCE

In making its determination on an area variance, the Zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance were granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making that determination, the ZBA will consider these five questions.

1. Will an undesirable change be produced in the character of the neighborhood or will a detriment to nearby properties be created by the granting of the area variance?
NO - SEE ATTACHED FOR MORE INFORMATION
2. Can the benefit sought by the applicant be achieved by some method, feasible for the applicant to pursue, other than an area variance?
NO - SEE ATTACHED -
3. Is the requested area variance substantial?
NO - SEE ATTACHED
4. Will the proposed variance have a adverse effect or impact on the physical or environmental conditions in the neighborhood or district?
NO - SEE ATTACHED -
5. Is the alleged difficulty self-created, which consideration shall be relevant to the decision of the board, but shall not necessarily preclude the granting of the area variance.
NO - SEE ATTACHED

USE VARIANCE

In order for the Zoning Board of Appeals to grant a use variance, the applicant shall show that the applicable zoning regulations and restrictions have caused unnecessary hardship. In order to prove unnecessary hardship, the applicant shall demonstrate to the Zoning Board of Appeals that for each and every permitted use under the zoning regulations for the particular district where the property is located:

1. The applicant cannot realize a reasonable return, provided that lack of return is substantial, as demonstrated by competent financial evidence; and

2. The alleged hardship relating to the property in question is unique and does not apply to a substantial portion of the district or neighborhood; and

3. That the requested use variance, if granted, will not alter the essential character of the neighborhood; and

December 6, 2022

Town of Ellicottville
Zoning Board of Appeals
PO Box 600

RE Zoning Variance for existing structure at 29 Elizabeth

Dear Board

I have completed the Zoning board of appeals application best as I can and have the following information to add

It is our understanding that our existing house does not meet the new side yard zoning requirement of 10' setback, the existing house is 5.27' off the east property line making it 4.73' short on the set back

Addition information on AREA Variance

- 1) Question: Will an undesirable change be produced in the character of the neighborhood
Answer: NO Keeping the existing house will not change the character of the neighborhood,
- 2) Question: can the benefit sought by Applicant be achieved by some other method
Answer: NO If we are required to demo the existing house to move it 4.73' feet to the west this will make the project impossible from a financial standpoint. Some of the reasoning for keeping the existing house are as follows
 - i. We feel keeping the existing house and putting the addition on the back section of the house limit the change to the property
 - ii. Our intention is to make the new addition and existing house look like that are one
 - iii. We will be able to keep
 1. Electrical service
 2. Water service
 3. Gas service
 4. Sanitary service
 - 5.
- 3) Question: is the requested area variance substantial
Answer: NO. this is only for the existing house, the new addition meets all requirement and setback
- 4) Question will the variance have an adverse effect on the neighborhood
Answer: NO – we designed the addition so that it was set back and when complete it is our hope that the entire house will look like it was built at the same time. New siding, roofing and window on the old house will match the new house and we will have the same roof lines and pitch
- 5) Question: is the alleged deficiency self-created
Answer is NO, the variance request is because the existing house that we purchased in 2004 does not meet the new zoning requirements

Thank you for your consideration, should you have any questions please contact me at 716-955-9273 or jeff@hayesbuild.com

Jeff Hayes

4. That the alleged hardship has not been self-created

Provide a statement that discusses each of these points, demonstrating that the zoning regulations have caused unnecessary hardship.

INTERPRETATION OF ZONING LAW

Provide a statement that describes what the Building Official determined, what you believe should be the interpretation, and why.

THE EXISTING house DOES NOT MEET NEW REQUIREMENTS

Attach additional statement.

PROPERTY / FACILITY NAME

Address: 29 Elizabeth Street

Property tax map #: 55.027-2-20

Current use of property: Single-family residential

Description of Proposed Project/Use (attach additional pages, survey and plans):
Two-story addition onto rear of existing residence.

Zoning Requirements from Town/Village Zoning Law.

Front yard setback: 25, Rear yard setback: 35, Side yard setback: 10,

Combined side: 30, Minimum lot size: N/A, Width: N/A,

Height: 27 feet, Floor area ratio: 0.2 (Village)

Usable Open space: 30%

Site Information

Size of site: 14,402 Sq. Ft. Size of area to be developed: 2,975 Sq. Ft.

Main Structure: - Existing house

Construction type: 5B Front yard setback: 61.73 feet

Height: 2 stories, 27 feet Side yard setback: 5.27 feet

of family units: 1 Total of both side yard setbacks: 44.87 feet

Size of lot: 14,402 Sq. Ft. Rear yard setback: 92.5 feet

Usable Open space: 70 % Floor area ratio: 0.21 (Village)

Corner or interior lot? Interior Other: _____

ADDITION (NEW)

Accessory Building:

Description: NEW ADDITION

Percentage of yard: _____ Height: 27.4 feet.

Setback from rear lot line: 92.5 feet. Setback from side lot line: 12 feet.

Floodplain:

FIRM Zone AE BFE 1539

Flood Plain Development Permit Required? YES NO

ATTACHMENTS

Attach all relevant items listed in the Town/Village of Ellicottville Zoning Law for type of application(s) being submitted. Additional copies of all plans, documents and other application materials may be required. See attached list of required forms and information needed for type of application being submitted. Deadline for submittal is three (3) weeks prior to regularly scheduled meeting date. Meeting dates are subject to change by the Board Chair.

SIGNATURES

Applicant and Owner (if different) must sign the application.

I hereby certify that I have examined this application and know the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The acceptance or approval of this application does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction, land use or the performance of construction. I have read and am familiar with the Town/Village of Ellicottville zoning law that is relevant to this application(s).

Additional Fees may be charged for: pre-application meetings, SEQR review, and additional legal/consulting/engineering labor. Permit Fees are NON-REFUNDABLE

Permission to inspect – I hereby consent to Town/Village of Ellicottville Staff inspection of the project site and adjacent property areas. Town/Village staff may enter the property without notice. Inspection may occur without the owner, applicant or agent present, If the property is posted with “keep out” signs or fenced with an unlocked gate, staff may still enter the property. Agency staff may take measurements, analyze site physical characteristics, take soil and vegetation samples, sketch and photograph the site

Applicant Signature: [Signature] Date: 12-6-22

Applicant must be (check all that apply) Owner Operator Lessee

Applicant Name: ^{Print} JEFF HAYES

Property Owner’s Signature (if different than applicant) _____ Date: _____

Property Owner’s Name: ^{Print} _____

<p><u>Office use only:</u></p> <p>Application Fee(s) _____</p> <p>Received by: _____ on _____ (Date)</p> <p>Project Number(s): _____</p>
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Current use of property:
Single family residential

Description of Proposed Project/Use (attach additional pages, survey and plans):
The proposed project is for a two-story addition onto the rear of the existing residential structure.

Zoning Requirements from Town/Village Zoning Local Law

Front yard setback: 25 Rear yard setback: 35
Side yard setback: 10 Combined side: 30
Minimum lot size: N/A Width: N/A
Height: 28 feet Floor area ratio: 0.2 (Village)
Usable Open space: 30%

Site Information for proposed/existing structures:

Size of lot: 14,402 Sq. Ft. Size of area to be developed: 2,975 Sq. Ft.

Number of proposed lots: 1

Proposed method of Sanitary Sewage disposal: Municipal

Proposed method of Water Supply: Municipal

Main Structure proposed or existing:

Construction type: VB Front yard setback: N/A feet
Height: 2 stories, 27' feet Side yard setback: 12 feet
of family units: 1 Total of both side yard setbacks: 38 feet
Size of lot: 14,402 Sq. Ft. Rear yard setback: 92.5 feet
Usable Open Space: 70 % Floor area ratio: 0.21 (village)
Corner or interior lot? Interior Other: _____

Accessory Building proposed or existing:

Description:

Percentage of yard: _____ Height: _____ feet
Setback from rear lot line: _____ feet Setback from side lot line: _____ feet

Floodplain:

FIRM Zone AE BFE 1539
Flood Plain Development Permit Required? YES NO

ATTACHMENTS

Attach all relevant items listed in the Town/Village of Ellicottville Zoning Local Law for a zoning permit. Additional copies of all plans, documents and other application materials may be required. Please include copy of survey if available. Plot Plan Survey Site Plan

SIGNATURES

Applicant and Owner (if different) must sign the application.

I hereby certify that I have examined this application and know the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The acceptance or approval of this application does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction, land use or the performance of construction. I have read and am familiar with the Town/Village of Ellicottville zoning law that is relevant to this application(s).

Permission to inspect – I hereby consent to Town/Village of Ellicottville Staff inspection of the project site and adjacent property areas. Town/Village staff may enter the property without notice. Inspection may occur without the owner, applicant or agent present, If the property is posted with “keep out” signs or fenced with an unlocked gate, staff may still enter the property. Agency staff may take measurements, analyze site physical characteristics, take soil and vegetation samples, sketch and photograph the site.

Applicant Signature: [Signature] Date: 10-27-2022

Applicant must be (check all that apply): Owner Operator Lessee/purchaser

Applicant Name: ^{Print} Jeff Hayes

Property Owner's Signature (if different than applicant) [Signature]

Date: 10-27-2022

Property Owner's Name: ^{Print} JEFF HAYES

Office use only:

Application Fee: \$46.00 _____

Received by: [Signature] on 11/16/22 (Date)

Project Number(s): _____

Zoning Permit Approved - May obtain building permit.

Denied – Not in conformance with following provision(s) of the Zoning Ordinance:

Non-CONVERTING BUILDING

ZEO Signature [Signature]

CEO Signature: _____

Date: 11/16/22

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part I based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

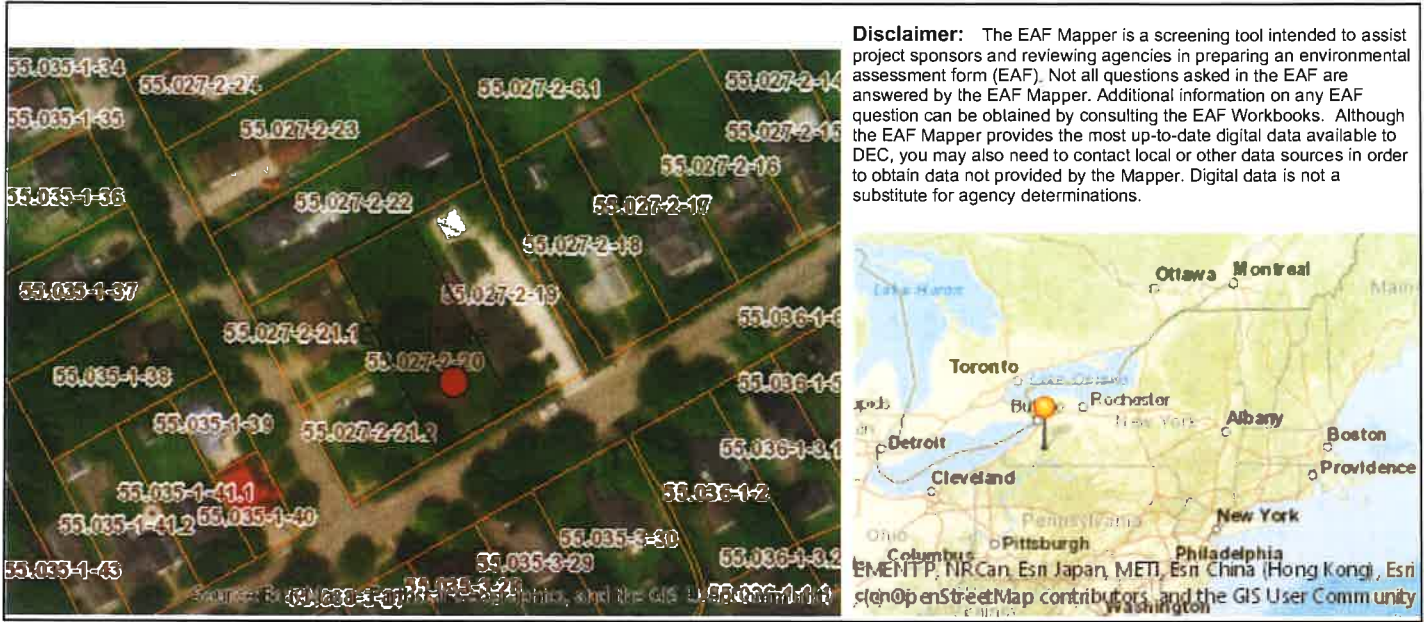
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map): 29 Elizabeth Street, Ellicottville, NY 14731			
Brief Description of Proposed Action: Projects consists of a two-story addition onto the rear of an existing, single-family, residential structure.			
Name of Applicant or Sponsor: JEFF HAYES		Telephone: 716-955-9273	
Address: 174 ANDERSON PL		E-Mail: JEFF@HAYESBUILD.COM	
City/PO: Buffalo		State: NY	Zip Code: 14222
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Local building/engineering department			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.33 acres			
b. Total acreage to be physically disturbed? _____ 0.05 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.33 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/> <input type="checkbox"/>	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NO YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	NO YES YES YES
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NO YES
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NO YES
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NO YES
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input checked="" type="checkbox"/>	NO YES YES
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	<input type="checkbox"/> <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> <input type="checkbox"/>	NO YES YES

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<hr/> Roof gutters to be connected to existing storm sewer <hr/>		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>JEFF HAYES</u> Date: <u>11-29-22</u> Signature: <u>[Signature]</u> Title: <u>OWNER</u>		

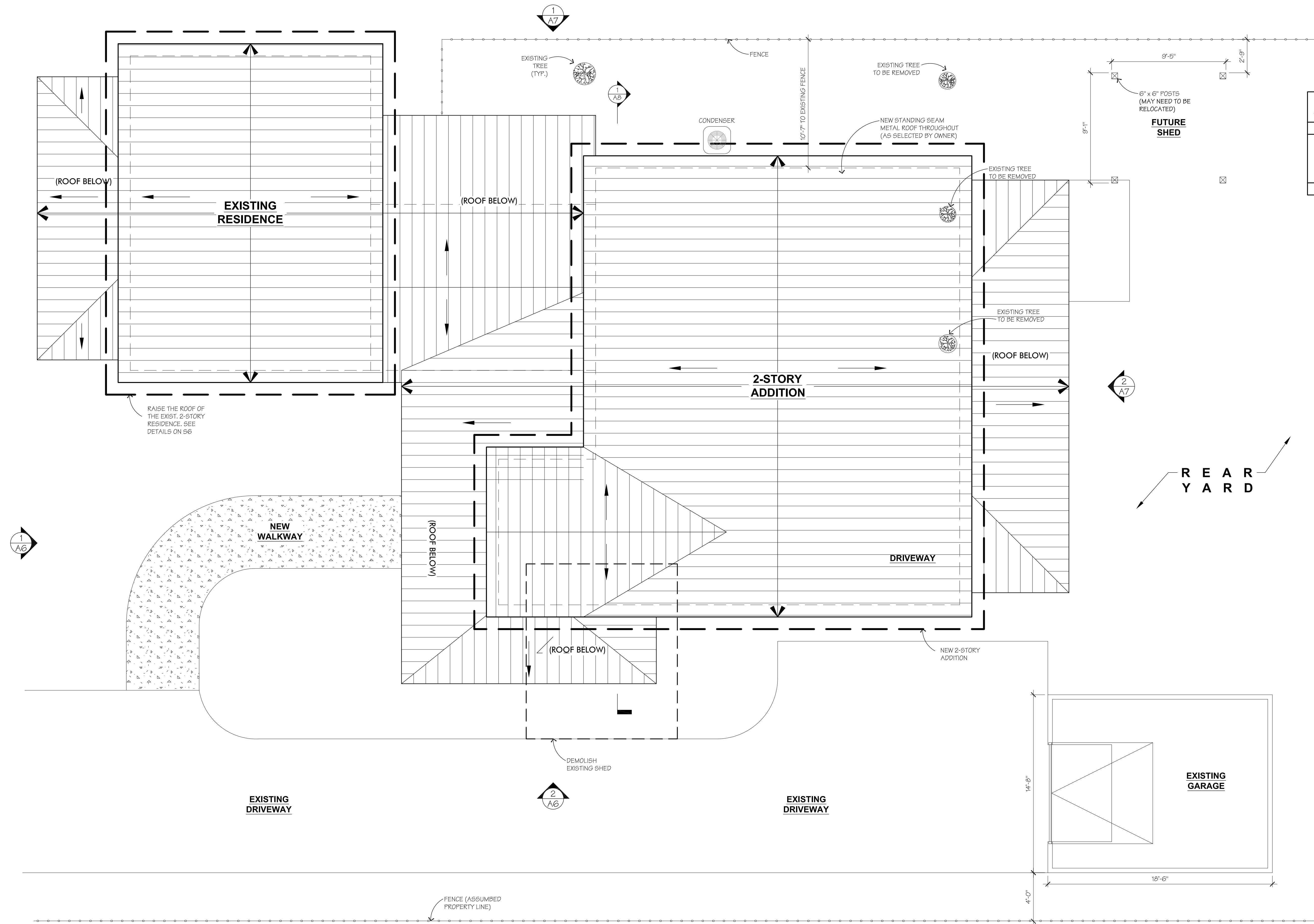
SEE ATTACHED.



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	No

ELIZABETH STREET



ZONING REQUIREMENTS

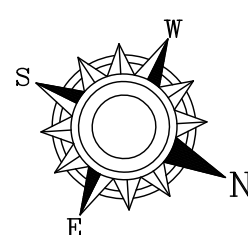
ORDINANCE	REQUIRED	PROVIDED
SIDE YARD	10 FEET	12 FEET
REAR YARD	35 FEET	92.5 FEET
OPEN SPACE	30%	75%
HEIGHT	28 FEET MAX.	27.4 FEET

*PROPERTY IS ZONED (VR) VILLAGE RESIDENTIAL

SITE PLAN

1

1/4"=1'-0"



NOTE:
ALL EXISTING DIMENSIONS ARE ± AND SHALL BE V.L.P.



LYDON ARCHITECTURAL SERVICES, P.C.

PERMIT SET 10/25/2022

SITE PLAN

ALTERATIONS LEVEL 2 & ADDITION

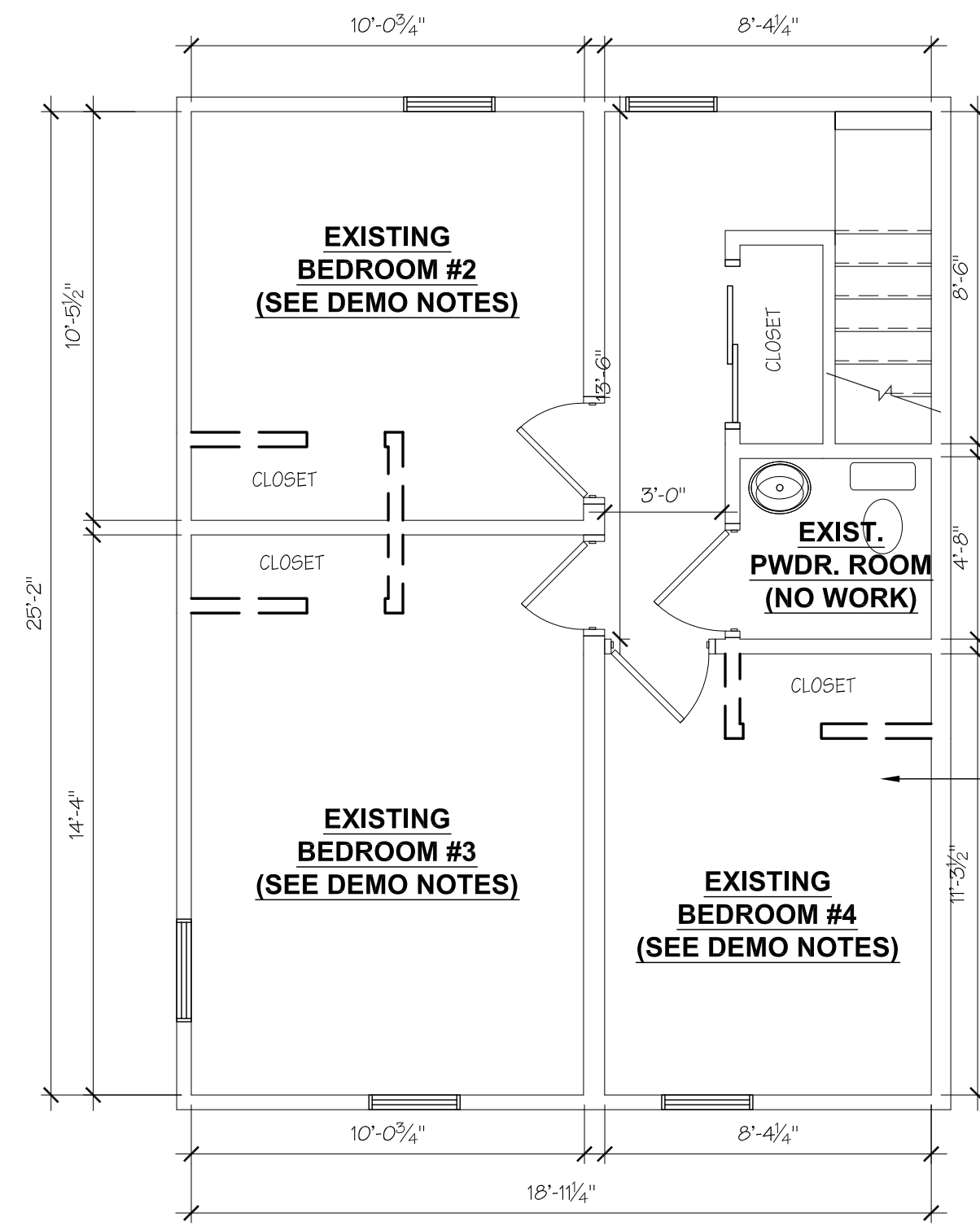
JEFF & MINDY HAYES, 29 ELIZABETH ST., ELLICOTTVILLE, NEW YORK 14731

A2

22JHS1

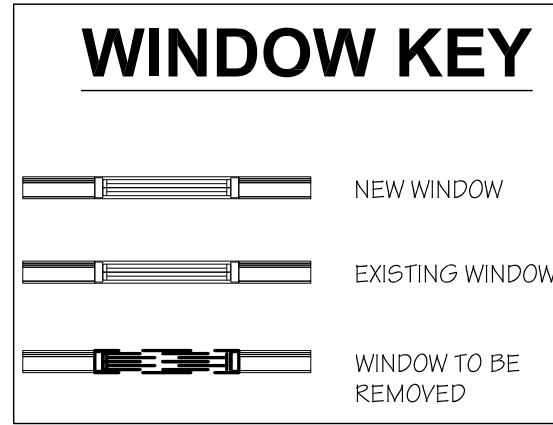
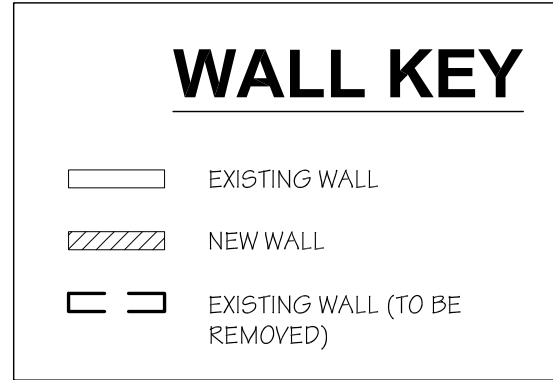
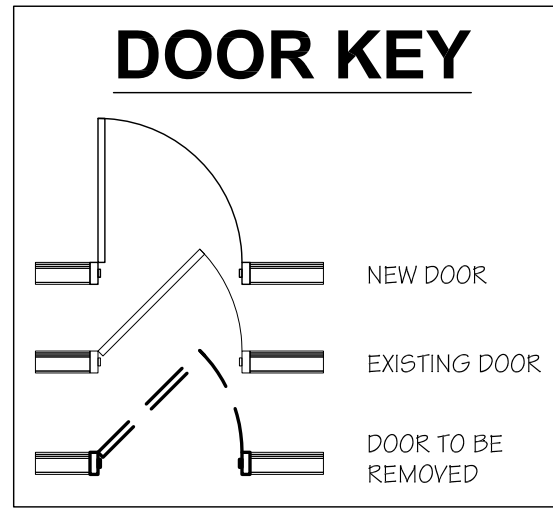
W W W . L Y D O N A R C H I T E C T U R E . C O M
255 GREAT ARROW AVE SUITE 202, BUFFALO, NEW YORK 14207 (716) 551-0146 (FAX 768-0396)

ELIZABETH STREET



- 2nd FLOOR DEMO NOTES:**
- NO DEMO WORK AT EXISTING POWDER ROOM
 - REMOVE ALL CARPETING AT EXISTING HALLWAY AND ALL EXISTING BEDROOMS
 - REMOVE ALL DRYWALL AND PANELING AT EXISTING BEDROOMS AND HALLWAY DOWN TO THE STUDS
 - REMOVE ALL EXISTING WINDOWS AT THE SECOND FLOOR TO ALLOW FOR ACCESS AND THE REMOVAL OF DEBRIS
 - REMOVE ALL EXISTING CLOSETS INCLUDING WOOD STUDS

EXISTING ROOF AT THIS AREA TO BE REMOVED & NEW ROOF TO BE CONSTRUCTED. SEE DEMO NOTES ON A1 & DETAILS FOR NEW ROOF FRAMING ON S4 & S6



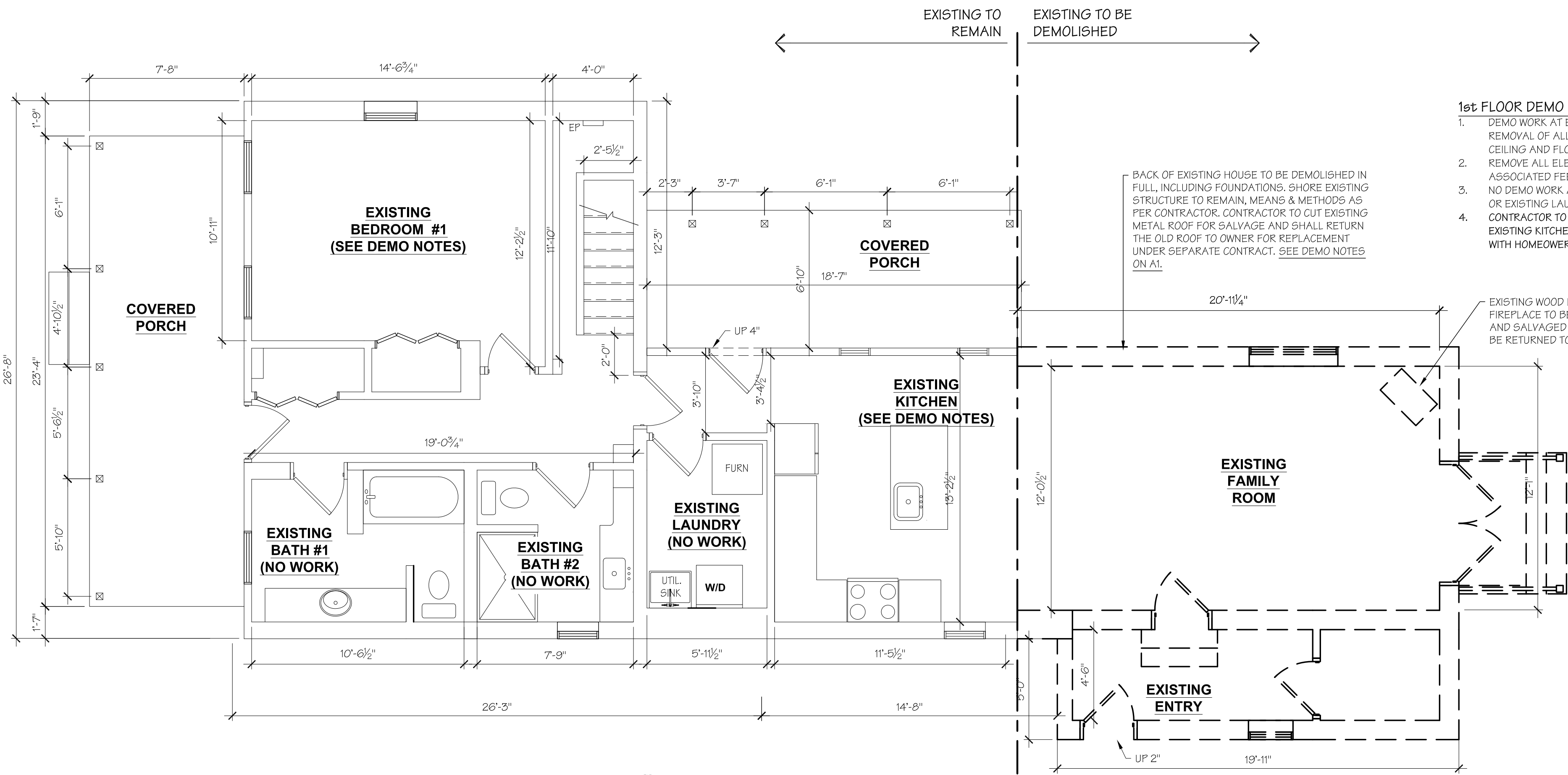
SYMBOL KEY

EXISTING UNLESS OTHERWISE NOTED ON DRAWINGS

⊕	LIGHT SWITCH
⊕ 3	3-WAY LIGHT SWITCH
⊕	STANDARD RECEPTACLE OUTLET W/ ARC FAULT INTERRUPTER AT BEDROOM AND ALL LIVING AREAS (RESIDENTIAL)
⊕	STANDARD RECEPTACLE OUTLET
⊕ QUAD	4 GANG STANDARD RECEPTACLE OUTLET
⊕ GFI	GROUND FAULT INTERRUPTER, WEATHER-PROOF OUTLET (ALL NEW OUTLETS IN EXISTING COMM. BLDGS)
⊕ 220	STANDARD 220V OUTLET
⊙	CEILING LIGHT
⊙	RECESSED LIGHT
⊙	WALL MOUNTED LIGHT
⊕ E.F.	EXHAUST FAN/ LIGHT
⊙	CEILING FAN/ LIGHT
---	WIRING CIRCUIT
EP	ELECTRICAL PANEL
(S.D)	SMOKE DETECTOR (INTERCONNECTING WIRELESS)
(C.O)	CARBON MONOXIDE DETECTOR

EXISTING 2ND FLOOR PLAN 1

1/4"=1'-0" EXISTING 2nd FLOOR OF FRONT BUILDING



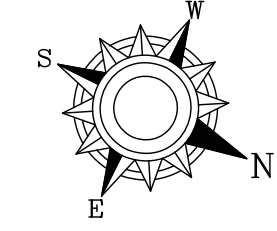
- 1st FLOOR DEMO NOTES:**
- DEMO WORK AT EXISTING BEDROOM #1 TO INCLUDE THE REMOVAL OF ALL DRYWALL AND PANELING ON WALLS. CEILING AND FLOORING TO REMAIN.
 - REMOVE ALL ELECTRIC BASEBOARD HEATERS AND ASSOCIATED FEEDERS (TOTAL OF 8)
 - NO DEMO WORK AT EXISTING BATH #1, EXISTING BATH #2 OR EXISTING LAUNDRY ROOM.
 - CONTRACTOR TO REMOVE ALL EXISTING CABINETS AT EXISTING KITCHEN. VERIFY SCOPE OF KITCHEN DEMO WITH HOMEOWNER PRIOR TO START OF WORK.

BACK OF EXISTING HOUSE TO BE DEMOLISHED IN FULL, INCLUDING FOUNDATIONS. SHORE EXISTING STRUCTURE TO REMAIN, MEANS & METHODS AS PER CONTRACTOR. CONTRACTOR TO CUT EXISTING METAL ROOF FOR SALVAGE AND SHALL RETURN THE OLD ROOF TO OWNER FOR REPLACEMENT UNDER SEPARATE CONTRACT. SEE DEMO NOTES ON A1.

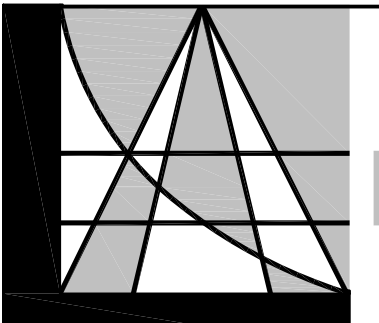
EXISTING WOOD BURNING FIREPLACE TO BE REMOVED AND SALVAGED AND SHALL BE RETURNED TO OWNER.

EXISTING 1st FLOOR PLAN 2

1/4"=1'-0" EXISTING 1st FLOOR



W W W . L Y D O N A R C H I T E C T U R E . C O M
 255 GREAT ARROW AVE SUITE 202, BUFFALO, NEW YORK 14207 (716) 551-0146 (FAX 768-0396)



LYDON ARCHITECTURAL SERVICES, P.C.

PERMIT SET 10/25/2022

DEMO PLANS-EXISTING 1ST & 2ND FLOOR PLANS
ALTERATIONS LEVEL 2 & ADDITION
 JEFF & MINDY HAYES, 29 ELIZABETH ST., ELLICOTTVILLE, NEW YORK 14731

A3
 22JHS1

GENERAL FLASHING NOTES:

- FLASHING SHALL BE LOCATED BENEATH THE FIRST COURSE OF MASONRY ABOVE FINISHED GROUND LEVEL ABOVE THE FOUNDATION WALL OR SLAB AND AT OTHER POINTS OF SUPPORT, INCLUDING STRUCTURAL FLOORS, SHELF ANGLES AND LINTELS AND UNDER SILLS.
- APPROVED KORROSIAN RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED KORROSIAN RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:
 - AT TOP OF ALL EXTERIOR WINDOWS AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAKPROOF.
 - AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME AND STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
 - UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 - CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
 - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.
 - AT WALL AND ROOF INTERSECTIONS.
- FLASHINGS SHALL BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS, AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.
- FLASHINGS SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS; WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION; ALL AROUND ROOF OPENINGS; WHERE FLASHING IS OF METAL, THE METAL SHALL BE KORROSIAN RESISTANT WITH A THICKNESS OF NOT LESS THAN 0.019 INCH (NO. 26 GALVANIZED SHEET METAL).

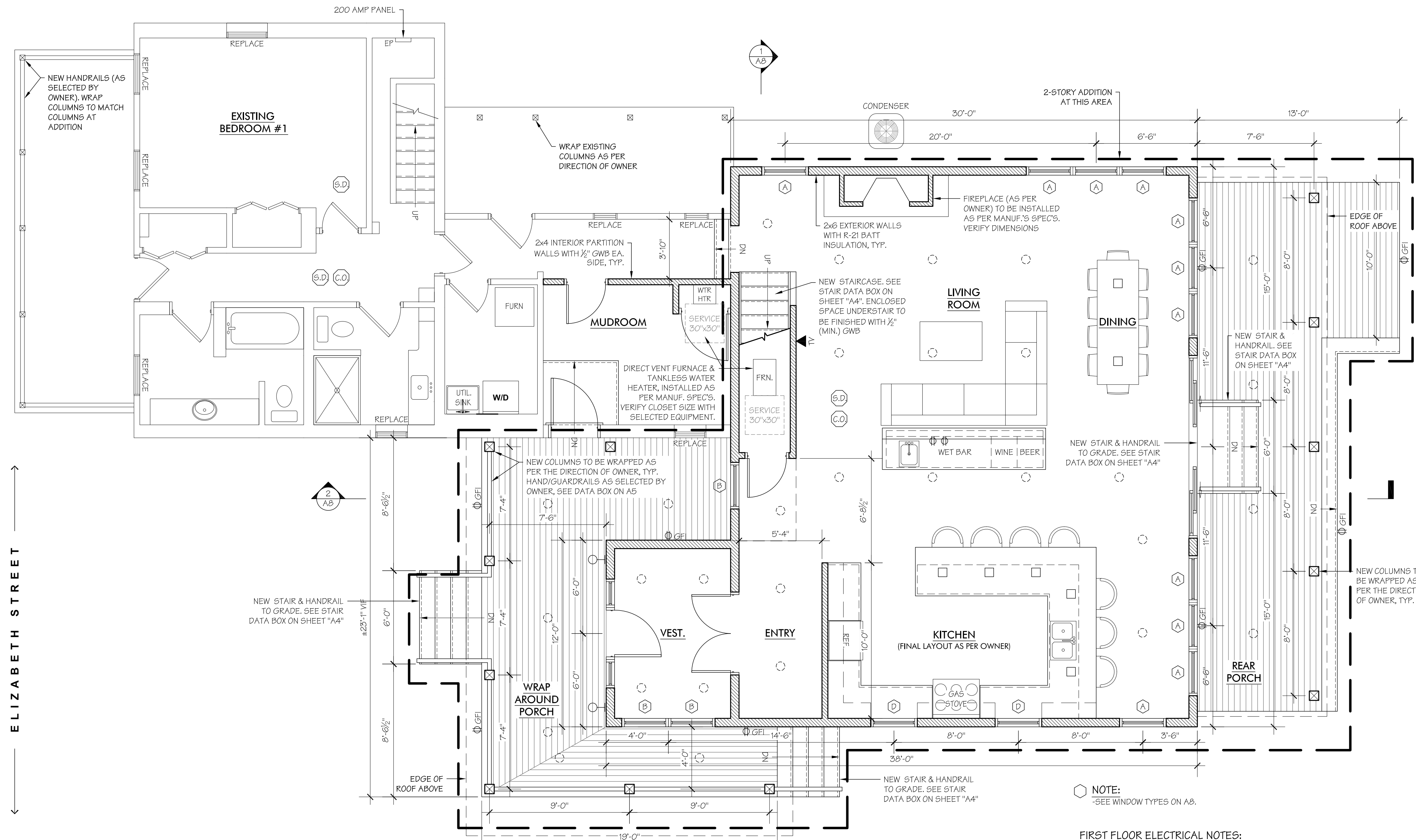
GENERAL ROOF NOTES:

- DOWNSPOUTS SHALL HAVE CROSS SECTION OF APPROX. 7 SQ. IN.
- ASPHALT SHINGLES ON 15# FELT PAPER ON 3/4" PLYWD. SHEATHING.
- 6"-0" ICE SHIELDING AT ALL EAVES.
- "SRV" STANDS FOR STATIC ROOF VENTS, EACH ONE SHALL HAVE A NET FREE AREA OF 61 SQ. IN. THE MIN. NUMBER OF ROOF VENTS ARE SHOWN. CONSULT ARCHITECT PRIOR TO ALTERING NUMBER OF "SRV".
- CONTINUOUS RIDGE VENTS, WHERE INDICATED, SHALL PROVIDE NET FREE VENTILATING AREA OF 18" PER LINEAR FOOT.
- VALLEY LININGS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS BEFORE APPLYING SHINGLES. VALLEY LINING OF ONE PLY OF SMOOTH ROLL ROOFING COMPLYING WITH ASTM D 224 TYPE I, OR TYPE III AND AT LEAST 36" WIDE. SPECIALTY UNDERLAYMENT COMPLYING WITH ASTM D 1970 MAY BE USED IN LIEU OF THE LINING MATERIAL.

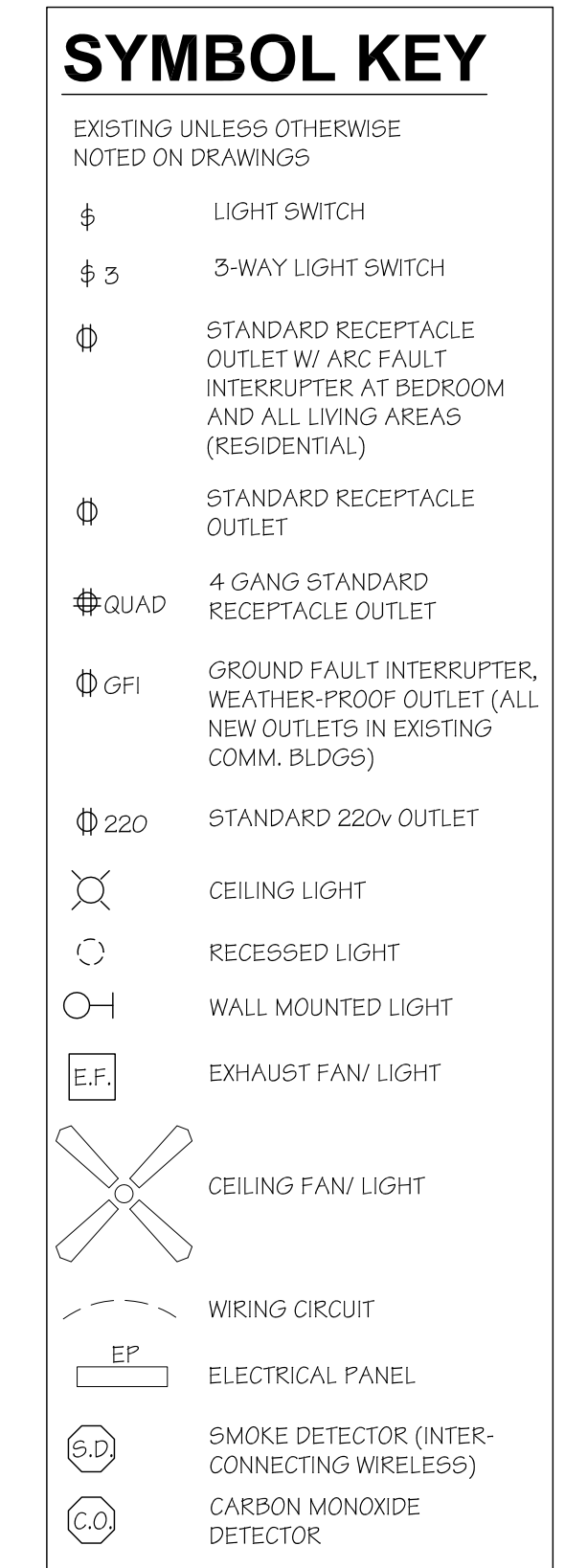
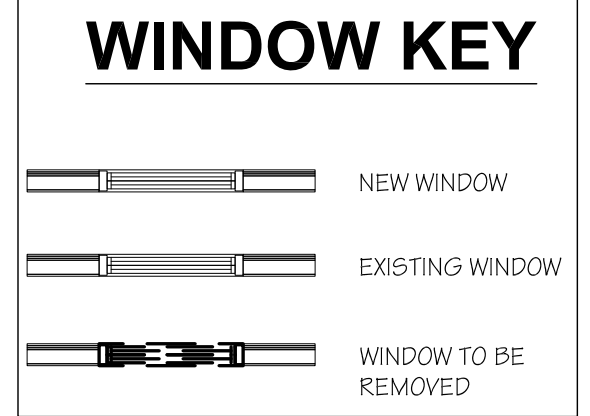
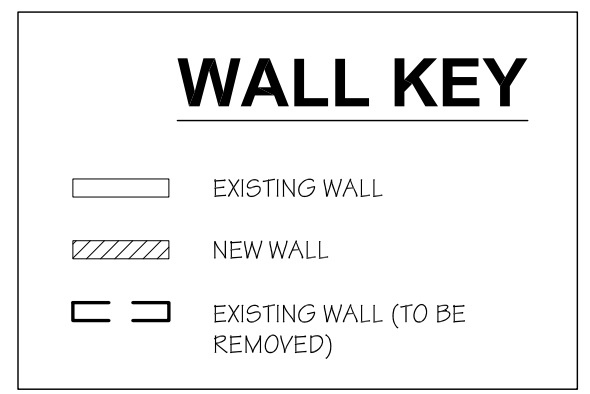
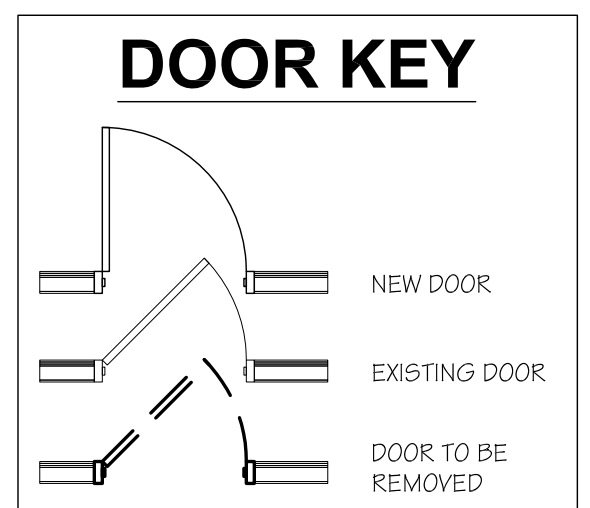
RESIDENTIAL STAIR DATA:

- #### STAIR RISERS & TREADS
- ALL RISERS TO BE 6 1/4" MAX AND TREADS TO BE 9" MIN
 - AT SPIRAL STAIRS, TREADS TO BE A MINIMUM OF 6 3/4" WIDE AT WALKLINE, AND THE RISERS SHALL BE NOT MORE THAN 9/16"
 - WIDTH NOT TO BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 31 1/2" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.
 - A FLIGHT OF STAIRS NOT TO EXCEED 12'-3" OF VERTICAL RISE TO FLOOR OR LANDING.
 - THE RADIUS OF THE CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 9/16"
 - A NOSING NOT LESS THAN 3/4", BUT NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS.
 - HEAD ROOM: THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM.
 - THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" AND THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

- #### HANDRAILS & GUARDRAILS
- A HANDRAIL SHALL BE PROVIDED ON AT LEAST ONE SIDE OF ANY STAIR WITH FOUR OR MORE RISERS.
 - HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2" ON EITHER SIDE OF THE STAIRWAY
 - HANDRAILS: HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHT OF 34" AND 39" RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREAD, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAY WITH FOUR OR MORE RISERS.
 - ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIR/EXCEPT AT NEWEL POSTS AT A TURN.
 - ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
 - HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
 - HANDRAIL GRIP SIZE:
 - TYPE I- HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 5 1/4" WITH A MAX CROSS SECTION DIMENSION OF 2 1/4".
 - TYPE II- HANDRAILS WITH A PERIMETER GREATER THAN 6 1/4" SHALL PROVIDE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 3/4" MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16" WITHIN 7/8" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8" TO A LEVEL THAT IS NOT LESS THAN 1 3/4" BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 1/4" TO A MAX OF 2 3/4".
 - PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT.
 - GUARDRAIL OPENING LIMITATIONS: ORNAMENTAL CLOSURES OR RAILS SHALL NOT ALLOW A PASSAGE OF AN OBJECT 4 INCHES OR MORE IN DIAMETER.
 - HORIZONTAL SPACING BETWEEN THE VERTICAL MEMBERS IN REQUIRED GUARDRAILS SHALL BE A MAXIMUM OF 4 INCHES AT THE NEAREST POINT BETWEEN THE MEMBERS.



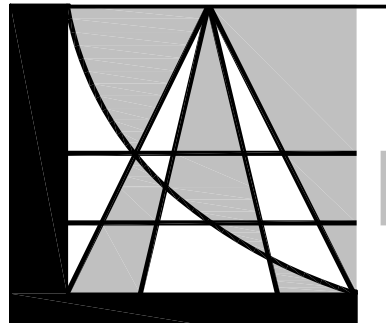
1st FLOOR PLAN 1
1/4"=1'-0"



- #### FIRST FLOOR ELECTRICAL NOTES:
- POWER:**
 - RECEPTACLES TO BE PLACED PER NEC STANDARDS. ENSURE POWER FOR:
 - GARBAGE DISPOSAL AT SINK
 - BEVERAGE REFRIGERATORS AT WET BAR/ISLAND
 - CONVENIENCE RECEPTACLES AT WET BAR/ISLAND
 - POWER TO FRONT AND REAR PORCH
 - 2 RECEPTACLES AT THE HOUSE
 - 2 RECEPTACLES AT THE OUTSIDE OF THE PORCH FOR GARDEN LIGHTING
 - 20 AMP POWER FEED TO BACK PORCH (OUTSIDE) FOR FUTURE TIE IN TV LOCATION TO BE REVIEWED WITH OWNER
 - INSTALL HARDWIRED SMOKE DETECTOR AT 1st FLOOR BEDROOM AND HARDWIRED COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR AT HALLWAY OUTSIDE OF BEDROOM
 - LIGHTING:**
 - 20 RECESSED LIGHT FIXTURES TO BE EVENLY SPACED (REVIEW WITH OWNER FOR INSTALLATION PLACEMENT)
 - ALLOW FOR 5 LIGHT BOXES AT ISLAND, (OWNER TO PURCHASE FIXTURES) THESE TO BE ON SEPARATE SWITCH
 - ALLOW FOR 2 LIGHT BOXES AT DINING ROOM TABLE (OWNER TO PURCHASE FIXTURES) THESE TO BE ON SEPARATE SWITCH
 - ALLOW FOR UNDERCOUNTER LIGHTING AT KITCHEN
 - ALLOW FOR TOE KICK LIGHTING AT WET BAR/ISLAND
 - NO RECESSED FIXTURES REQUIRED AT 1st FLOOR BEDROOM



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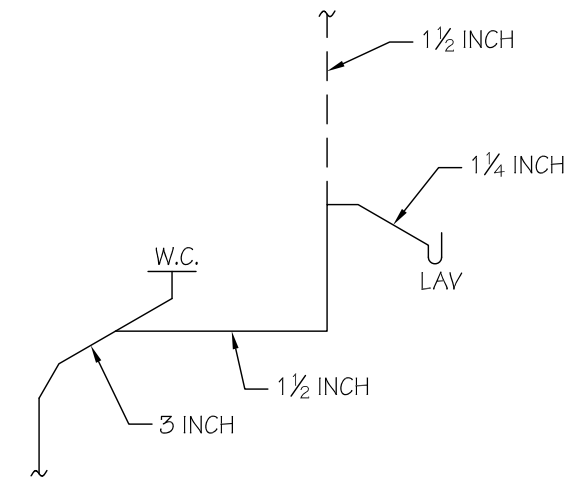
FIRST FLOOR PLAN
 ALTERATIONS LEVEL 2 & ADDITION
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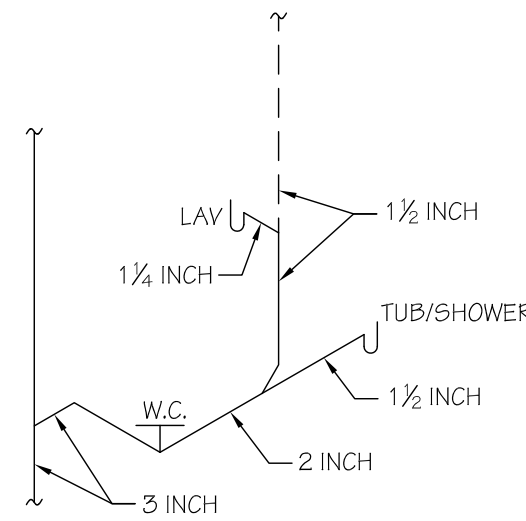
PLUMBING SYMBOL KEY



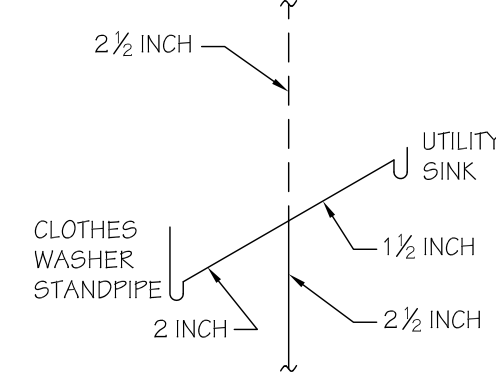
NOTE:
SEE PLUMBING DATA BOXES
THIS SHEET FOR PIPE SIZING



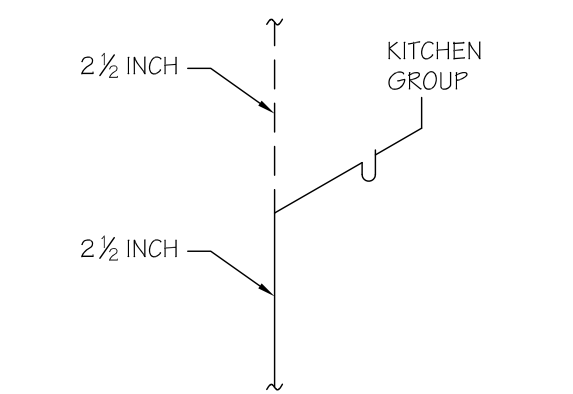
TYPICAL POWDER ROOM



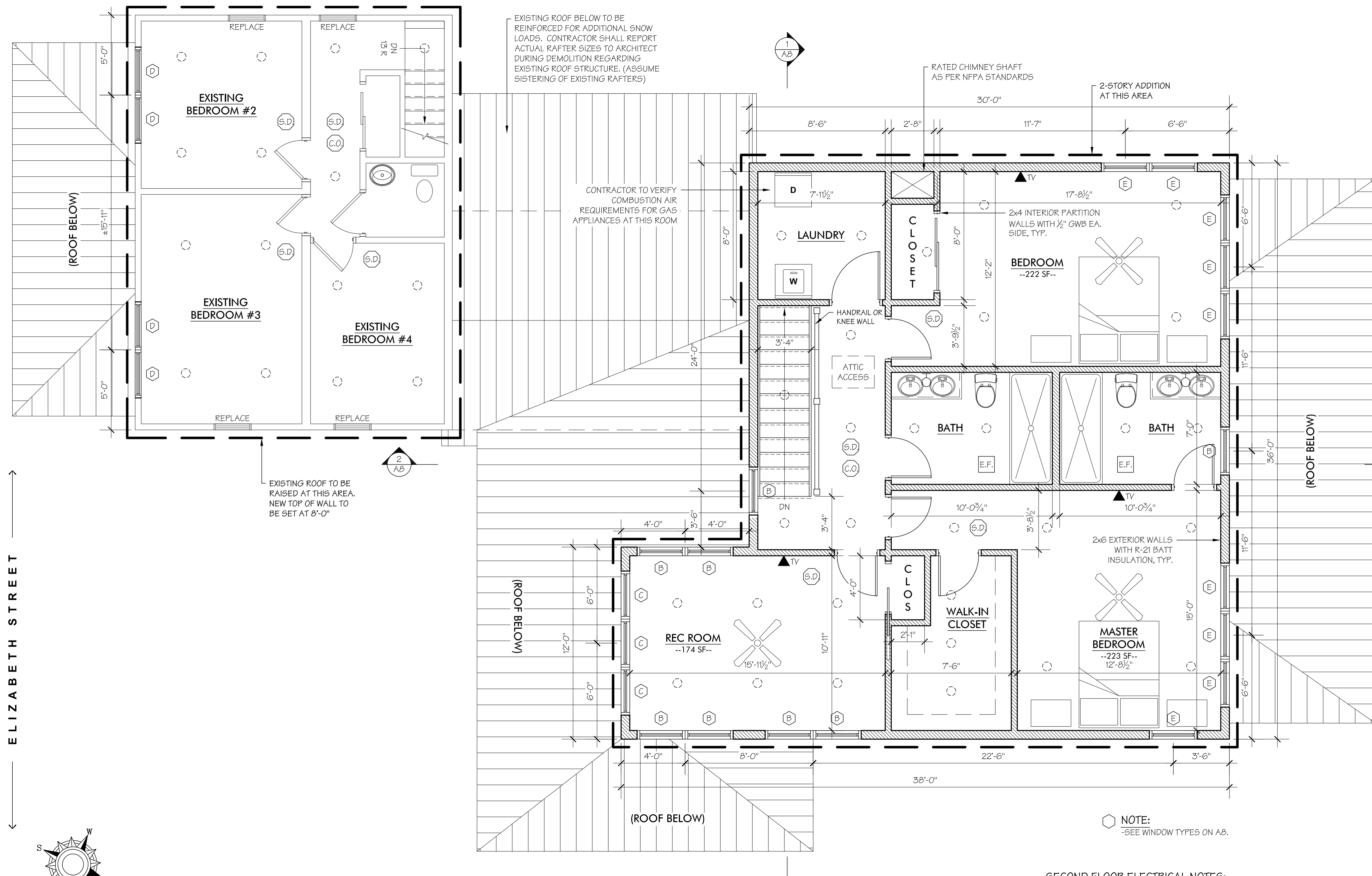
TYPICAL SINGLE-BATH



TYPICAL LAUNDRY RM.



TYPICAL KITCHEN



2nd FLOOR PLAN

1/4" = 1'-0"

EXHAUST DATA:

1504.3 OF THE 2020 RESIDENTIAL CODE OF NYS
AIR EXHAUST OPENINGS SHALL TERMINATE AS FOLLOWS:

- NOT LESS THAN 3 FEET FROM PROPERTY LINES.
- NOT LESS THAN 3 FEET FROM GRAVITY AIR INTAKE OPENINGS, OPERABLE WINDOWS AND DOORS.
- NOT LESS THAN 10 FEET FROM MECHANICAL AIR INTAKE OPENINGS EXCEPT WHERE THE EXHAUST OPENING IS LOCATED NOT LESS THAN 3 FEET ABOVE THE AIR INTAKE OPENING. OPENINGS SHALL COMPLY WITH SECTIONS R309.5.2 AND R309.6.

MINIMUM REQUIRED LOCAL EXHAUST RATE, PER TABLE M1505.4.4
BATHROOM-TOILET ROOMS - MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FIXTURE CLEARANCES

TOILET
MIN. 21" AT FRONT
6'-8" HEIGHT

SHOWER
30" X 30" X 6'-8"
MIN. 30" X 24" DEEP AT FRONT

SINK
MIN. 21" AT FRONT

CONTRACTOR TO VERIFY
REQUIRED CLEARANCES IN
THE FIELD

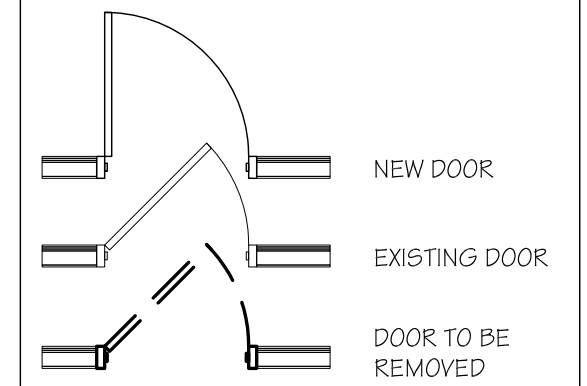
PLUMBING SUPPLY KEY

- 3/4" COLD WATER TO TOILET
- 1/2" COLD WATER TO BATHROOM SINK
- 1/2" HOT WATER TO BATHROOM SINK
- 1/2" COLD WATER TO KITCHEN SINK
- 1/2" HOT WATER TO KITCHEN SINK
- 1/2" COLD WATER TO REFRIGERATOR

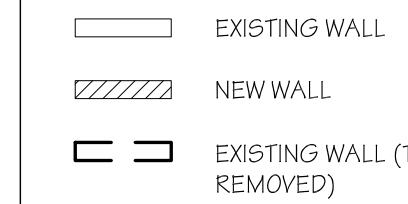
PLUMBING SANITARY/ VENT KEY

- 3" WASTE FROM H.C. TOILET
- 3" VENT FROM H.C. TOILET
- 1 1/2" WASTE FROM BATHROOM SINK
- 1 1/2" VENT FROM BATHROOM SINK
- 2" WASTE FROM KITCHEN SINK
- 2" VENT FROM KITCHEN SINK

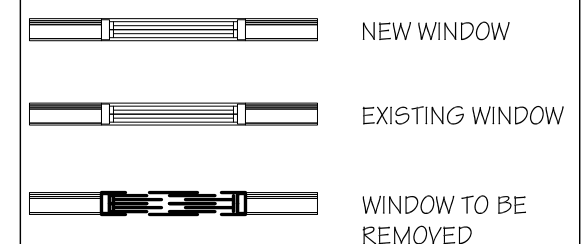
DOOR KEY



WALL KEY



WINDOW KEY



SYMBOL KEY

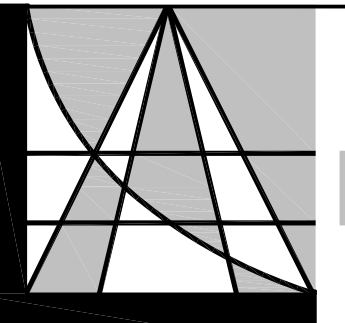
- EXISTING UNLESS OTHERWISE NOTED ON DRAWINGS
- ⊕ LIGHT SWITCH
 - ⊕ 3 3-WAY LIGHT SWITCH
 - ⊕ STANDARD RECEPTACLE OUTLET W/ ARC FAULT INTERRUPTER AT BEDROOM AND ALL LIVING AREAS (RESIDENTIAL)
 - ⊕ STANDARD RECEPTACLE OUTLET
 - ⊕ QUAD 4 GANG STANDARD RECEPTACLE OUTLET
 - ⊕ GFI GROUND FAULT INTERRUPTER, WEATHER-PROOF OUTLET (ALL NEW OUTLETS IN EXISTING COMM. BLDGS)
 - ⊕ 220 STANDARD 220V OUTLET
 - ⊕ CEILING LIGHT
 - ⊕ RECESSED LIGHT
 - ⊕ WALL MOUNTED LIGHT
 - ⊕ E.F. EXHAUST FAN/ LIGHT
 - ⊕ CEILING FAN/ LIGHT
 - ⊕ WIRING CIRCUIT
 - ⊕ EP ELECTRICAL PANEL
 - ⊕ S.D. SMOKE DETECTOR (INTER-CONNECTING WIRELESS)
 - ⊕ C.O. CARBON MONOXIDE DETECTOR

SECOND FLOOR ELECTRICAL NOTES:

- POWER
 - 3 TV LOCATIONS TO BE REVIEWED WITH OWNER
- LIGHTING:
 - 30 RECESSED LIGHT FIXTURES TO BE EVENLY SPACED (REVIEW WITH OWNER FOR INSTALLATION PLACEMENT)
 - 3 FAN CEILING BOXES (CEILING FAN WILL BE PURCHASED BY OWNER AND INSTALLED BY ELECTRICIAN)
 - 2 EXHAUST FANS WITH SEPARATE SWITCHES AT BATHROOMS
 - ALLOW FOR 1 WALL SCONCE AT EACH BATHROOM
 - ALLOW FOR 4 RECESSED LIGHT FIXTURES (EACH) AT EXISTING BEDROOMS #2, #3 AND #4
 - ALLOW FOR 3 RECESSED LIGHT FIXTURES AT SECOND FLOOR HALLWAY
 - INSTALL HARDWIRED SMOKE DETECTORS AT ALL SECOND FLOOR BEDROOMS AND PROVIDE HARWIRED COMBINATION SMOKE AND CARBON MONOXIDE DETECTORS AT HALLWAYS OUTSIDE OF BEDROOMS.



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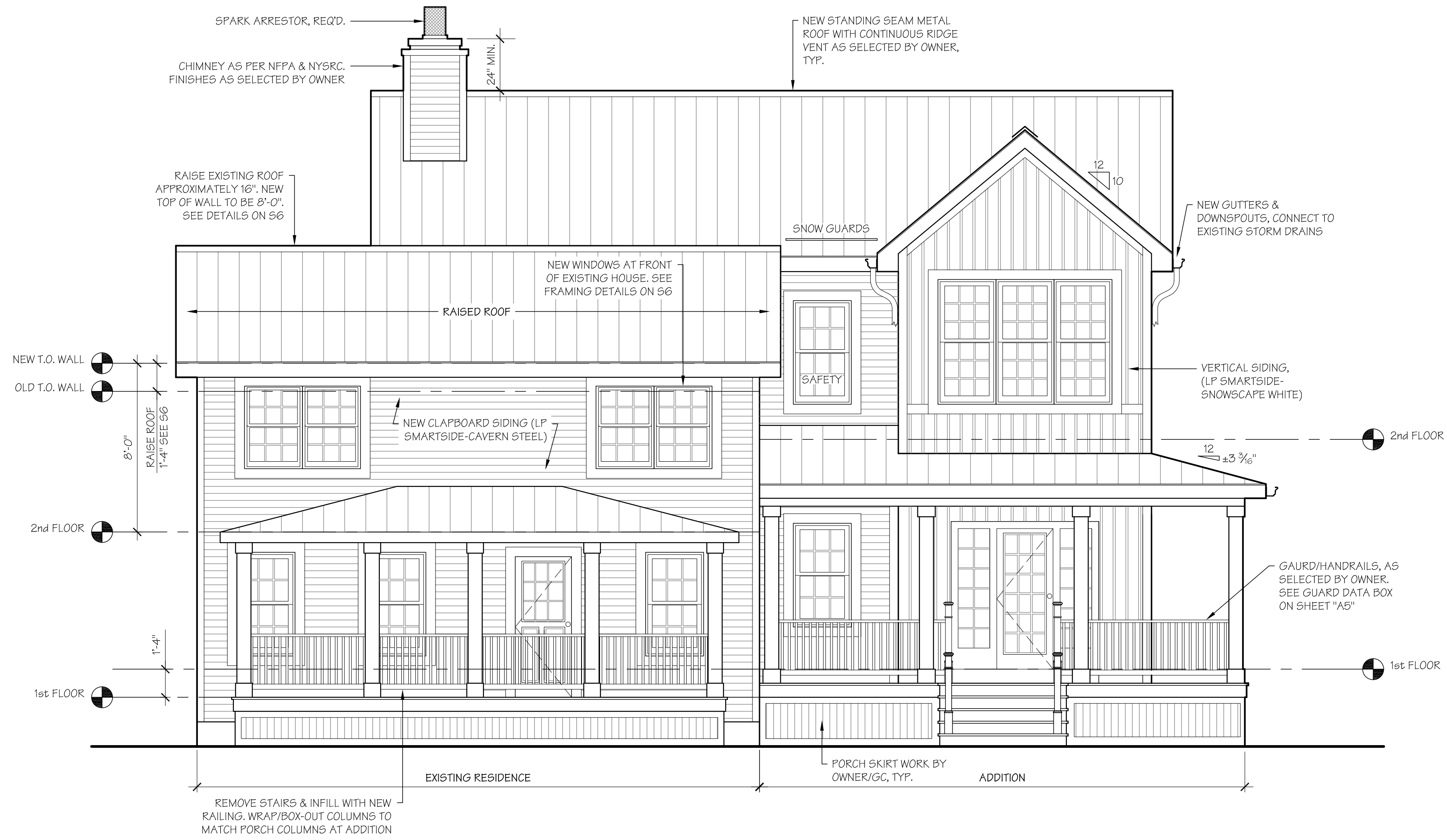


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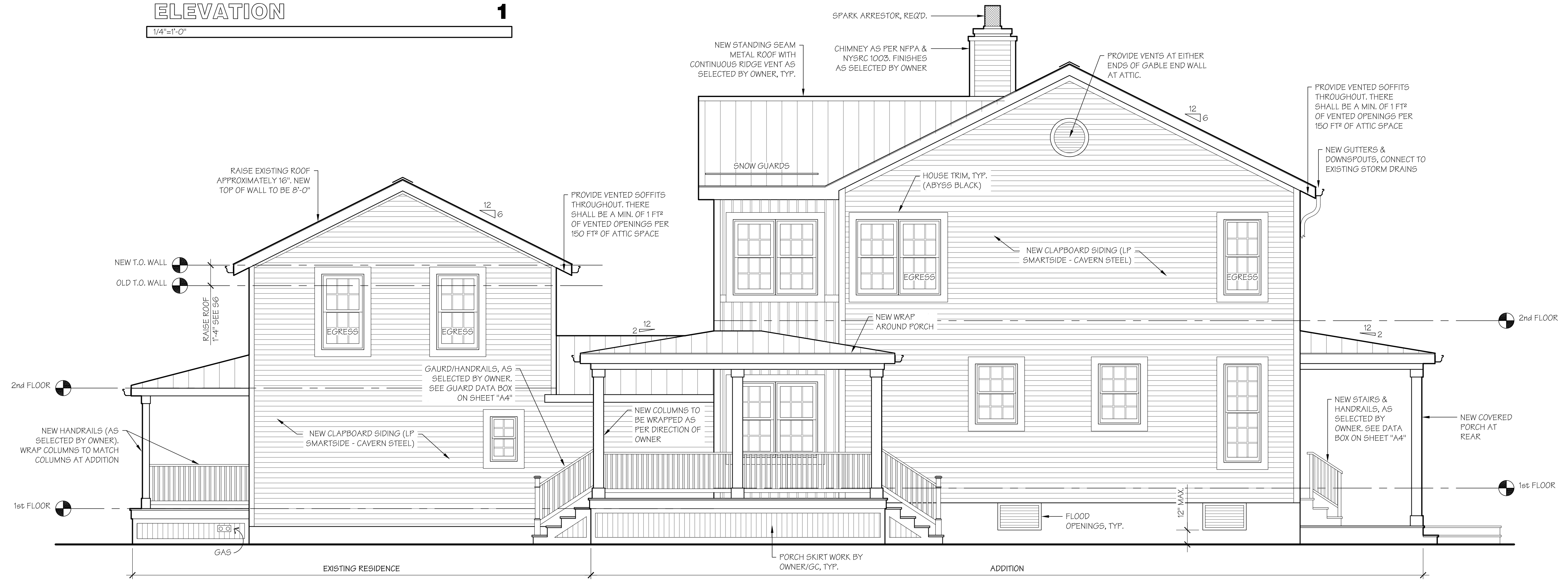
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SECOND FLOOR PLAN
ALTERATIONS LEVEL 2 & ADDITION
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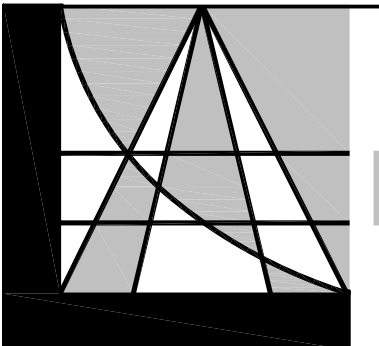


ELEVATION 1
1/4"=1'-0"



ELEVATION 2
1/4"=1'-0"

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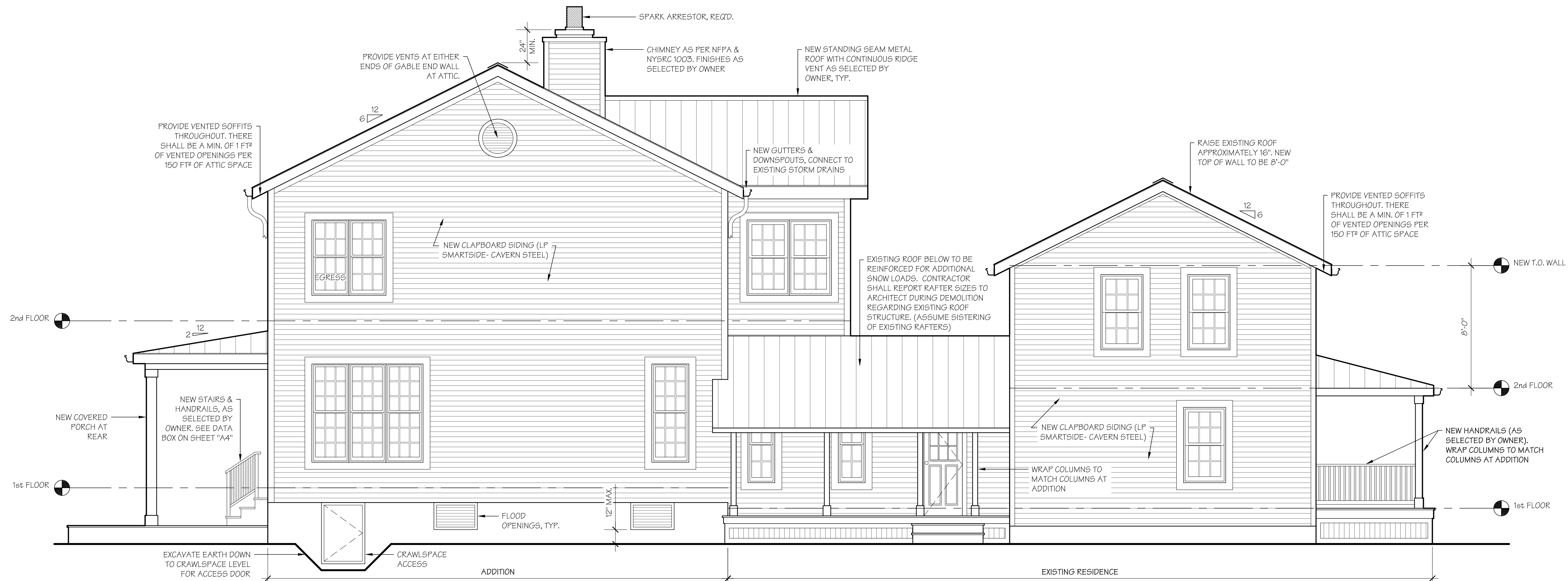


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ELEVATIONS-1
ALTERATIONS LEVEL 2 & ADDITION
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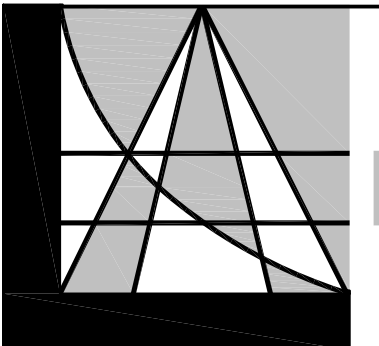
ELEVATION 1
 1/4"=1'-0"



ELEVATION 2
 1/4"=1'-0"



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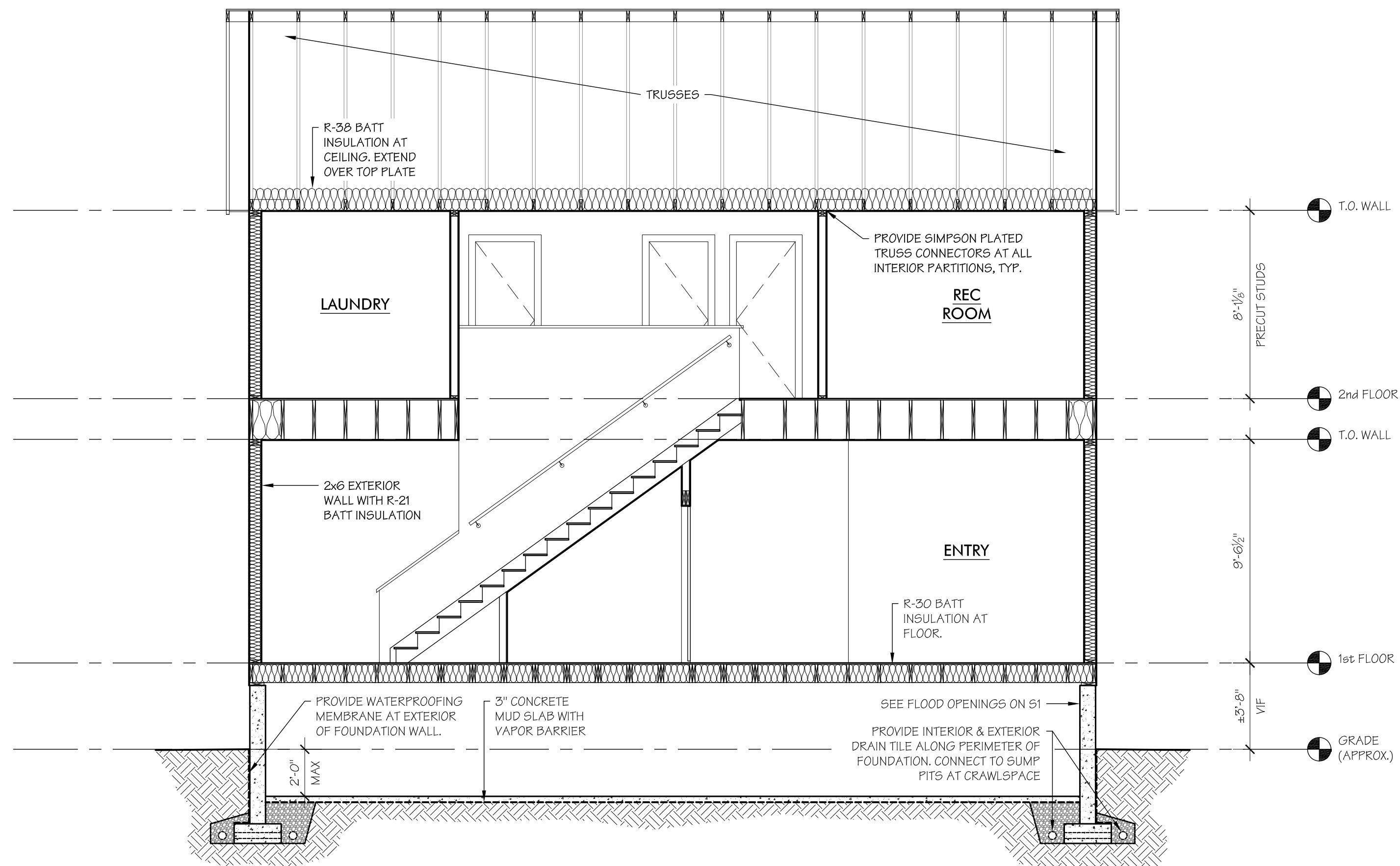


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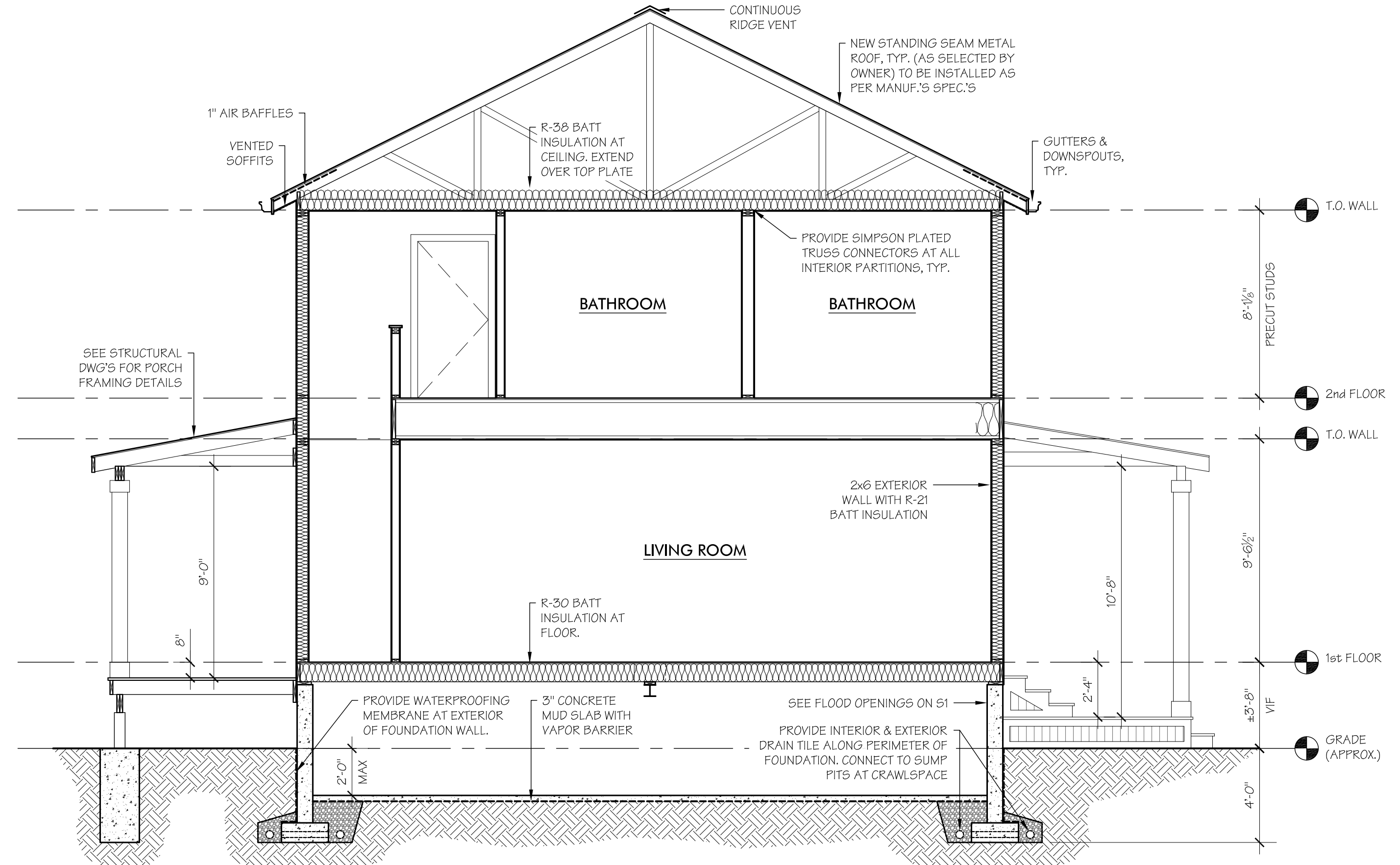
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ELEVATIONS-2
ALTERATIONS LEVEL 2 & ADDITION
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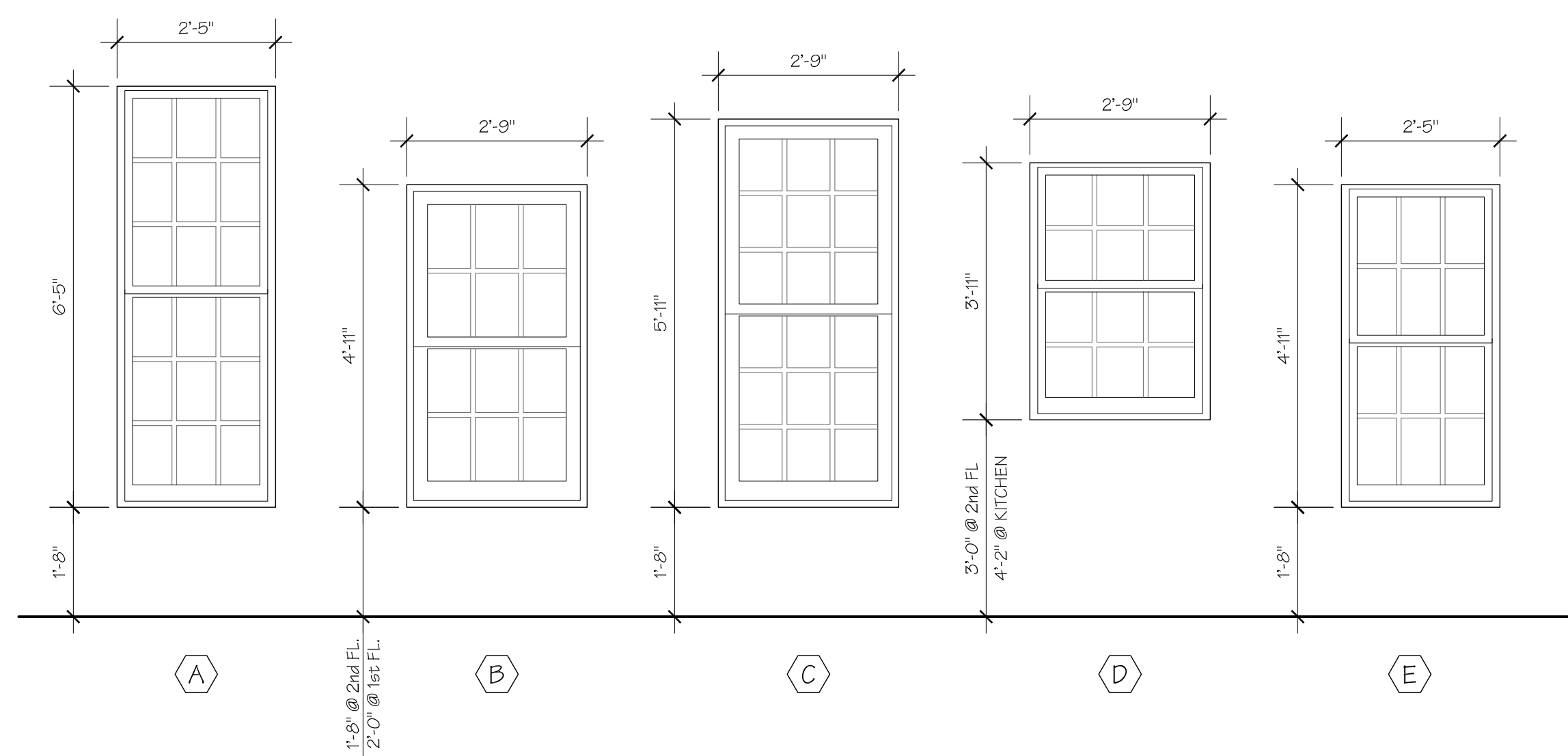
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SECTION 1
1/4"=1'-0"



SECTION 2
1/4"=1'-0"



WINDOW TYPES 3
1/2"=1'-0"

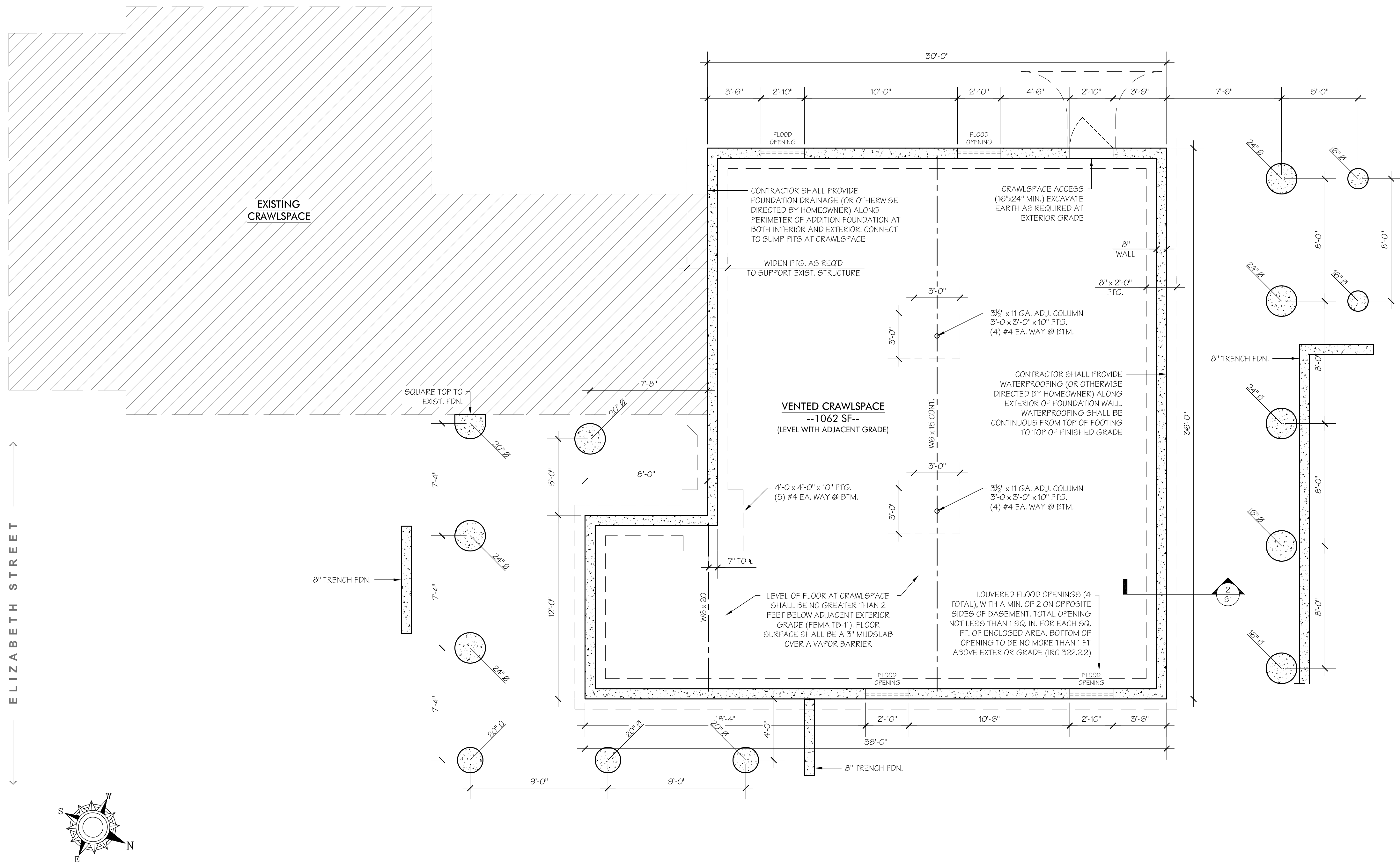
- NOTES:
1. THE BASIS OF DESIGN FOR THESE WINDOWS AS PROVIDED BY "PELLA"
 2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING MEASUREMENTS FOR THE WINDOWS WHICH ARE TO BE REPLACED.

LIGHT & VENT REQUIREMENTS					
ROOM	FLOOR AREA (SQUARE FEET)	LIGHT (8% REQUIRED)	LIGHT (ACTUAL)	VENT (4% REQUIRED)	VENT (ACTUAL)
1st FLOOR	952 SF	76.16 SF	157.6 SF	38.08 SF	83.7 SF
MASTER BED.	223 SF	17.84 SF	38.4 SF	8.92 SF	20.4 SF
REC ROOM	174 SF	13.92 SF	117.8 SF	6.96 SF	49.5 SF
BEDROOM	222 SF	17.76 SF	48 SF	8.88 SF	25.5 SF

RESIDENTIAL HEADER SCHEDULE:	
1. WOOD HEADERS FOR INTERIOR BEARING WALLS SHALL BE SIZED PER THE FOLLOWING CHART, UNLESS NOTED OTHERWISE ON PLANS (USE #2 DOUG FIR-LARCH):	
SPAN	HEADER
0'-0" TO 5'-0"	2-2X6 WITH 1/2" PLYWOOD WEB
5'-1" TO 7'-0"	2-2X8 WITH 1/2" PLYWOOD WEB
7'-1" TO 9'-0"	2-2X10 WITH 1/2" PLYWOOD WEB
9'-1" TO 10'-8"	2-2X12 WITH 1/2" PLYWOOD WEB
2. WOOD HEADERS FOR EXTERIOR BEARING WALLS SHALL BE SIZED PER THE FOLLOWING CHART, UNLESS NOTED OTHERWISE ON PLANS (USE #2 DOUG FIR-LARCH):	
SPAN	HEADER
0' TO 3'-10"	2-2X6 WITH 1/2" PLYWOOD WEB
3'-10" TO 4'-10"	2-2X8 WITH 1/2" PLYWOOD WEB
4'-10" TO 6'-0"	2-2X10 WITH 1/2" PLYWOOD WEB
6'-0" TO 7'-0"	2-2X12 WITH 1/2" PLYWOOD WEB
INTERIOR NON-LOAD BEARING HEADERS SHALL BE 2-2X6.	



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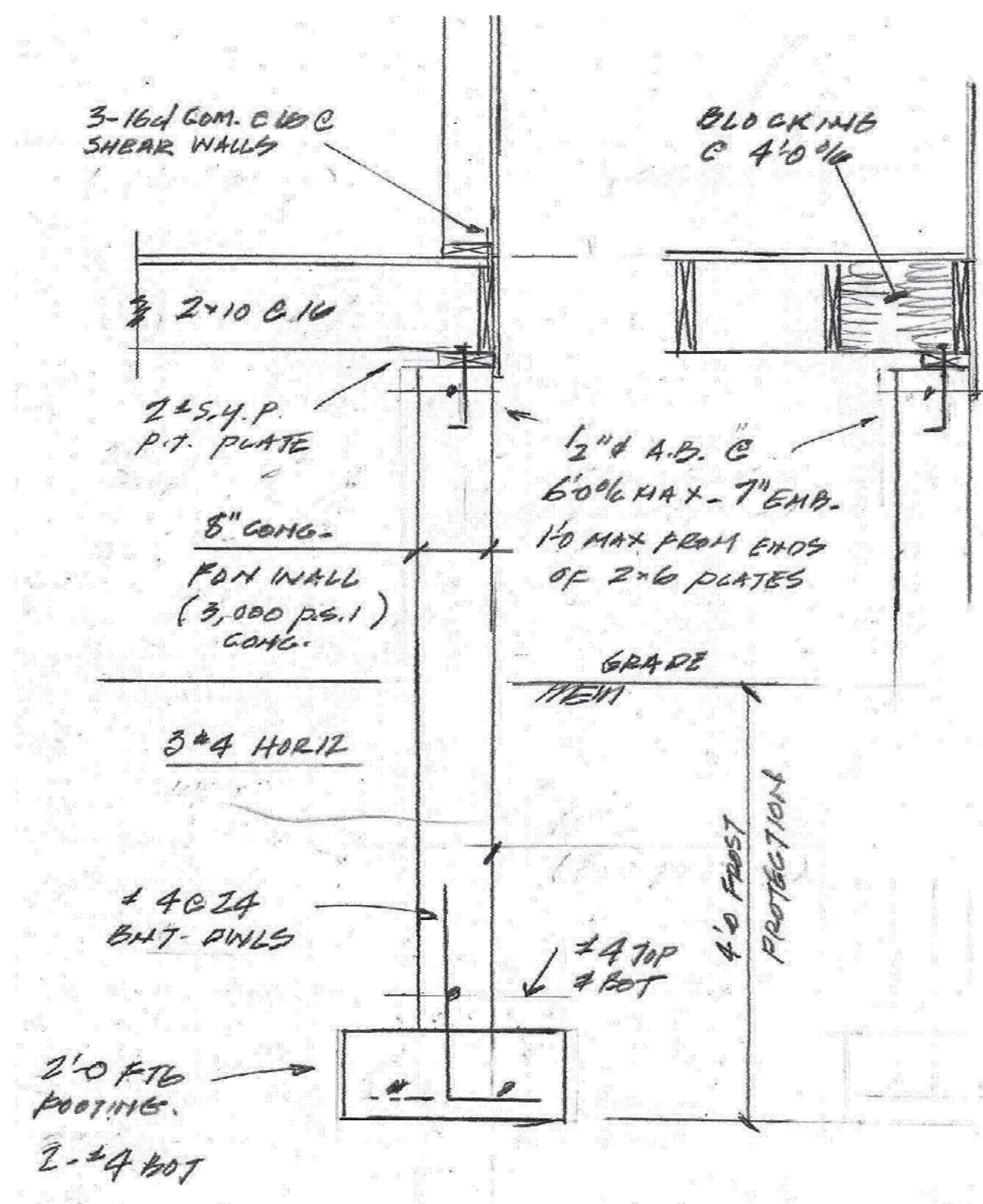
GENERAL FOUNDATION NOTES:

- GENERAL CONTRACTOR SHALL REPORT TO ARCHITECT TYPE OF SOIL ENCOUNTERED IN THE FIELD. NOTIFY ARCHITECT OF UNSUITABLE CONDITIONS BEFORE STARTING CONSTRUCTION.
- CONTR. SHALL VERIFY ALL DIMENSIONS PRIOR TO BUILDING.
- IF AFTER EXCAVATION, IF THE SOIL CONDITIONS ARE NOT COMPATIBLE WITH A 1500 PSF CAPACITY, THE ARCHITECT SHALL BE NOTIFIED AND A REVISED FOOTING DESIGN WILL BE ISSUED TO THE CONTRACTOR. A LICENSED ENGINEER PROVIDED BY THE GC, SHALL DETERMINE THE SOIL CONDITIONS CANNOT BEAR A MIN. OF 1500 PSF. THE ARCHITECT SHALL BE NOTIFIED AND A REVISED FOOTING DESIGN WILL BE ISSUED TO THE CONTRACTOR. ALL FOOTINGS SHALL BEAR ON ORIGINAL UNDISTURBED SOIL. COORDINATE ALL TOP OF FOOTING ELEVATIONS WITH ALL UTILITY ENTRANCES. ALL FILL WITHIN 10'-0" OF THE BUILDING LIMITS SHALL BE COMPACTED WITH CLEAN SOIL MATERIAL.
- ALL FOOTINGS TO BE A MIN. OF 4'-0" BELOW GRADE
- CONFIRM THAT ALL FOUNDATION EXCAVATIONS ARE SEATED IN STABLE, NATURALLY DEPOSITED SOIL OR CLEAN, THOROUGHLY COMPACTED GRANULAR FILL MATERIAL, SUCH AS NUMBER 2 CRUSHER RUN STONE, THAT EXTENDS TO VIRGIN SOIL.
- ALL CONCRETE SHALL BE A MIN. STANDARD WEIGHT OF 3500 PSI COMPRESSIVE STRENGTH AT 28 DAYS UNLESS NOTED OTHERWISE
- ALL REINFORCING STEEL SHALL BE OF AMERICAN MANUF. CONFORMING TO LOCAL BUILDING ORDINANCES & ASTM STANDARDS. WHERE SPICED REBAR SHALL LAP 40 BAR DIA. W/ A MIN. OF 24"
- IF REQ. IN FOOTINGS, ALL REINFORCING STEEL SHALL BE LOCATED 3" CLEAR FROM THE BOT. AND SIDES OF FTG. & 2" CLEAR FROM TOP.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, ALL BAR SIZES #3 AND SMALLER SHALL BE GRADE 40, BAR SIZES #4 AND LARGER SHALL BE GRADE 60.
- AT POURED CONCRETE WALLS, PROVIDE CORNER BARS AT ALL CORNERS & INTERSECTIONS OF FOOTINGS, BEAMS, AND WALLS.
- 1/2" ANCHOR BOLTS, MIN. 7" EMBEDMENT, SHALL BE INSTALLED AT DISTANCE SPECIFIED ON PLAN. MIN. 2 BOLTS PER PLATE WITH 1 BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 3 1/2" FROM EACH END OF PLATE SECTION.

- SLAB ON GRADE**
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A62 & A185, LAP FABRIC A MIN. OF 6" AT EACH SIDE.
 - EXISTING TOPSOIL, VEGETATION, LOOSE, SOFT, UNSTABLE, AND ANY OTHER DELETERIOUS MATERIALS WITHIN THE PROPOSED SLAB ON GRADE AREA SHOULD BE REMOVED. RESULTING EXCAVATIONS SHOULD BE BACKFILLED WITH GRANULAR FILL. THE EXPOSED SUBGRADES SHOULD BE COMPACTED AND PROOF ROLLED.
 - CONTROL JOINTS 10' x 10' MAX. AT BASEMENT & GARAGE FLOORS
 - CONSTRUCTION OR CONTROL JOINTS SHALL BE PROVIDED IN SLABS ON GRADE SO THAT THE MAXIMUM AREA BETWEEN JOINTS SHALL BE 300 SF. THE LENGTH NOT MORE THAN TWICE THE WIDTH.

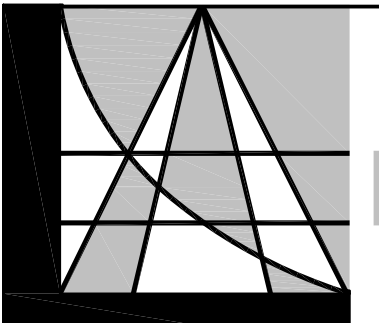
- SOIL EVALUATION**
- A MINIMUM LOAD-BEARING VALUE OF 1500 PSF IS USED FOR FOUNDATION DESIGN. BEDROCK, SANDY GRAVEL, GRAVEL, SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL MAY BE ASSUMED TO HAVE THIS MINIMUM BEARING CAPACITY OF 2,000 PSF.
 - IF CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT OR SANDY SILT IS ENCOUNTERED, A GEOTECHNICAL EVALUATION SHOULD BE CONDUCTED AND THE FOOTING AND/OR FOUNDATION MAY NEED TO BE REDESIGNED PRIOR TO INSTALLATION OF FOOTINGS AND/OR FOUNDATION.
 - GROUT BEAM POCKETS & SECURELY FASTEN BEAMS TO COLUMNS.
 - PROVIDE EXPANSION JOINTS IN CONCRETE SLABS, INCLUDING BASEMENTS, DRIVEWAYS AND PATIOS, AT NO GREATER THAN 16' IN ONE DIRECTION AND 40' IN THE OTHER DIRECTION.

- DESIGN LOADS**
- ROOF (SLOPE GREATER THAN 6:12) = 55 PSF
 - FLOOR, RESIDENTIAL LIVING AREAS = 50 PSF
 - FLOOR, RESIDENTIAL SLEEPING AREAS = 40 PSF
 - ACTUAL WEIGHT TRANSFERRED THROUGH FOUNDATION WALL & FOOTING DOES NOT EXCEED 2,200 PLF, ASSUMING ONE LOAD-BEARING INTERIOR WALL AND UNBRACED FLOOR JOIST SPANS NOT EXCEEDING 15 FT
- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS**
- BASEMENT WALLS, FOOTINGS & PIERS = 3,500 PSI
 - BASEMENT SLAB = 3,500 PSI
 - GARAGE FLOOR SLAB & EXTERIOR CONC. TO BE AIR ENTRAINED CONC. = 3,500 PSI.



DETAIL 2
1"=1'-0"

FOUNDATION PLAN 1
1/4"=1'-0"



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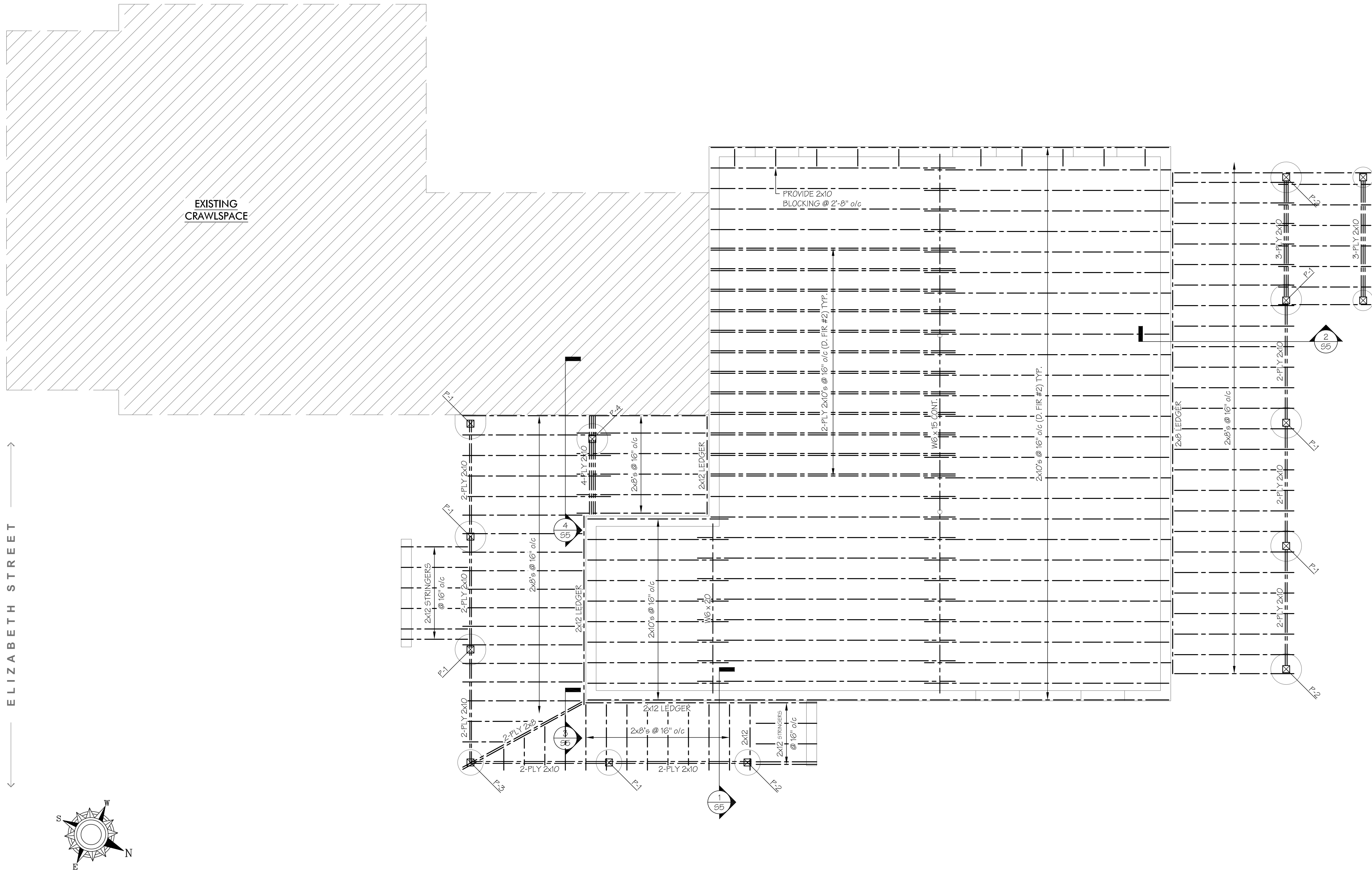
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FOUNDATION PLAN
ALTERATIONS LEVEL 2 & ADDITION
JEFF & MINDY HAYES, 29 ELIZABETH ST., ELLICOTTVILLE, NEW YORK 14731

S1
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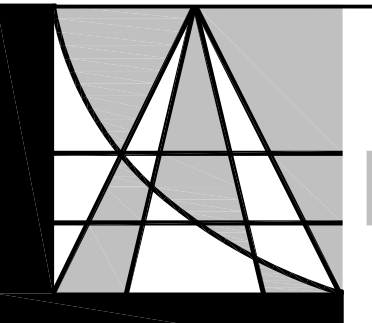


POST SCHEDULE		
MARK	SIZE	REMARKS
P-1	6x6 SYP #2	ABW66Z BASE PC6Z CAP
P-2	6x6 SYP #2	ABW66Z BASE EF6Z CAP
P-3	6x6 SYP #2	ABW66Z BASE LCE4Z CAP
P-4	6x6 SYP #2	FNDN TO 1st FL. ABW66Z BASE CCT6Z CAP
P-5	4x6 SYP #2	1st FL. TO ROOF BC460Z BASE EF6Z CAP
P-6	3-PLY 2x6 JACK 2-PLY 2x6 KING	SQUASH BLOCK @ 1st FL.
P-7	4x4 SYP #1	ABW44Z BASE BC4Z CAP
P-8	3-PLY 2x6 JACK 2-PLY 2x6 KING	-
P-9	4-PLY 2x6 KING 3-PLY 2x6 JACK W/ 2 1/2\"/>	
P-10	(1) 2x6 JACK (1) 2x6 KING	SQUASH BLOCKS @ P-10A
P-11	(1) 2x6 JACK 2-PLY 2x6 KING	-
P-12	(1) 2x6 JACK 3-PLY 2x6 KING	-
P-13	2-PLY 2x6 JACK 2-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-14	2-PLY 2x6 JACK 3-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-15	3-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-16	3-PLY 2x6 JACK 2-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-17	6x6 D. FIR OR S.P. #2 OR BETTER	PC6Z POST CAP

NOTE: ALL POSTS TO BE SPF #1/#2 OR HEM. FIR #2 (UNLESS NOTED OTHERWISE)
NAIL PLYS WITH 16d BOX NAILS @ 12\"/>

1ST FLOOR FRAMING **1**
1/4"=1'-0"

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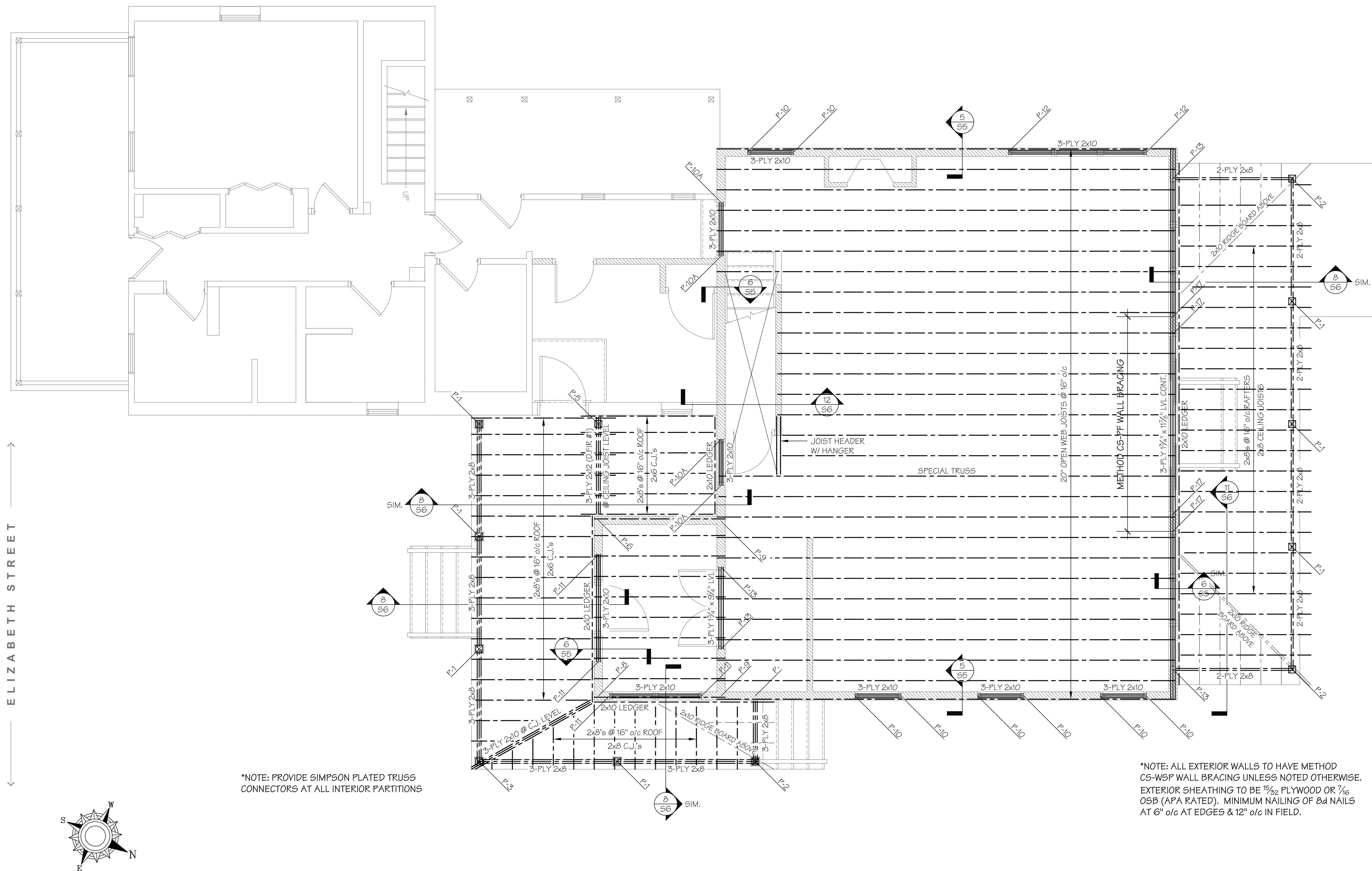


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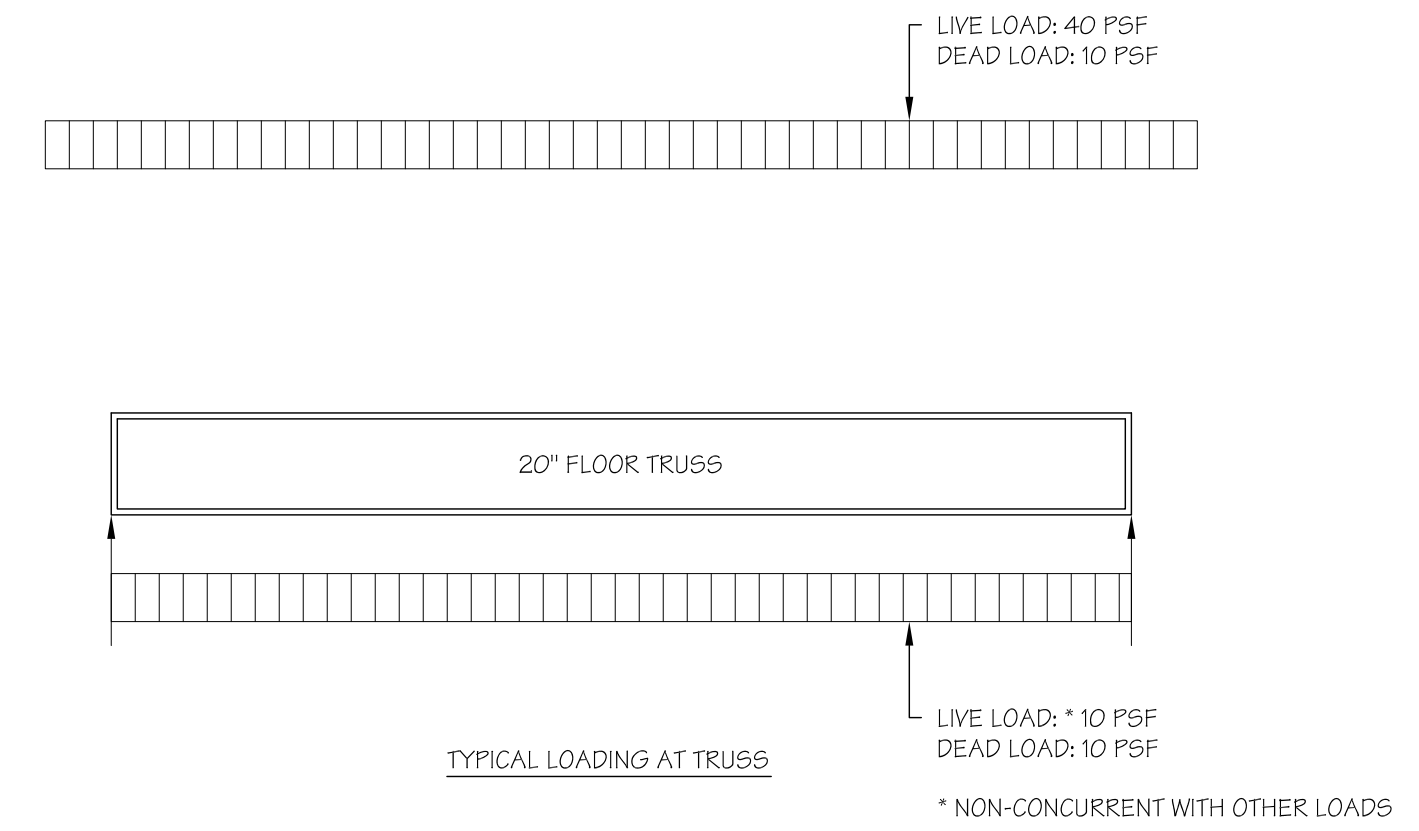
1ST FLOOR FRAMING
ALTERATIONS LEVEL 2 & ADDITION
 JEFF & MINDY HAYES, 29 ELIZABETH ST., ELLICOTTVILLE, NEW YORK 14731

S2
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*NOTE: PROVIDE SIMPSON PLATED TRUSS CONNECTORS AT ALL INTERIOR PARTITIONS

*NOTE: ALL EXTERIOR WALLS TO HAVE METHOD CS-WSP WALL BRACING UNLESS NOTED OTHERWISE. EXTERIOR SHEATHING TO BE 3/8" PLYWOOD OR 7/8" OSB (APA RATED). MINIMUM NAILING OF 8d NAILS AT 0' o/c AT EDGES & 12" o/c IN FIELD.



- ### WOOD FLOOR TRUSS NOTES:
- TRUSSES MUST BE DESIGNED AND BUILT BY A REPUTABLE TRUSS MANUFACTURER. ALL TRUSS DESIGN AND DETAILS MUST BE STAMPED AND SIGNED BY A NEW YORK STATE PROFESSIONAL ENGINEER.
 - TRUSS COMPONENTS TO BE A MINIMUM OF 2x4 FOR TOP CHORDS, BOTTOM CHORDS AND FOR WEB MEMBERS, ORIENTED IN A FLAT POSITION.
 - STRUCTURAL CALCULATIONS:
 - SUBMIT STRUCTURAL CALCULATIONS PREPARED BY THE MANUFACTURER FOR APPROVAL BY THE PROJECT ENGINEER. CALCULATIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO:
 - DESCRIPTION OF DESIGN CRITERIA
 - ENGINEERING ANALYSIS DEPICTING STRESS AND DEFLECTION (STIFFNESS) REQUIREMENTS FOR EACH FRAMING APPLICATION
 - SELECTION OF FRAMING COMPONENTS AND ACCESSORIES
 - VERIFICATION OF ATTACHMENTS TO STRUCTURE AND FOR ADJACENT FRAMING COMPONENTS
 - FASTENERS: PROVIDE NUTS, BOLTS, WASHERS, SCREWS AND OTHER FASTENERS WITH CORROSION-RESISTANT PLATED FINISH.
 - TRUSS MANUFACTURER TO SUPPLY BRACING REQUIREMENTS FOR TRUSSES, MATERIAL AND ATTACHMENT BY GENERAL CONTRACTOR.
 - TRUSS DESIGN SHALL CONFORM TO THE REQUIREMENTS OF THE A.I.T.C.
 - DEFLECTION REQUIREMENTS:
 - L/360 LL
 - L/240 TL

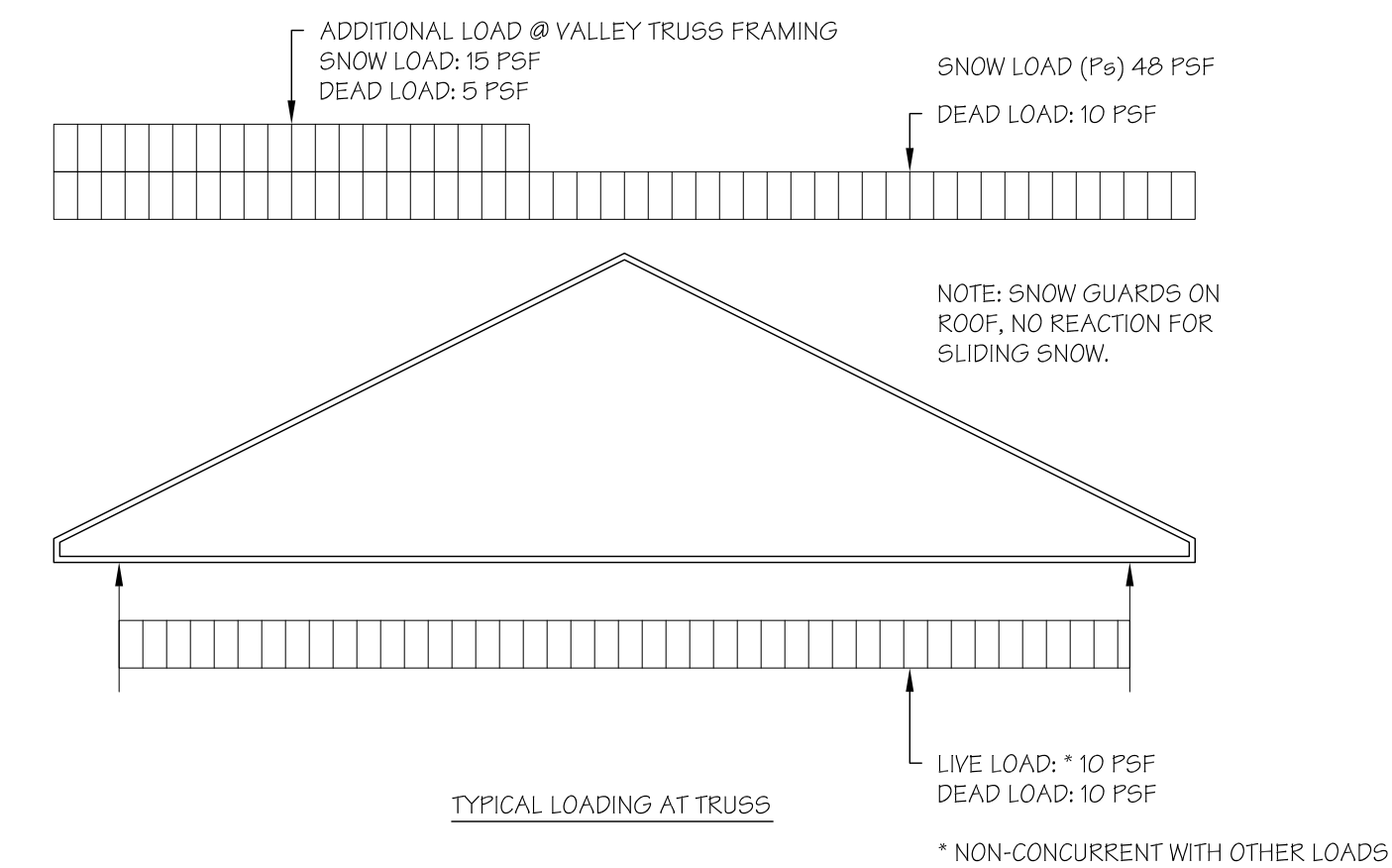
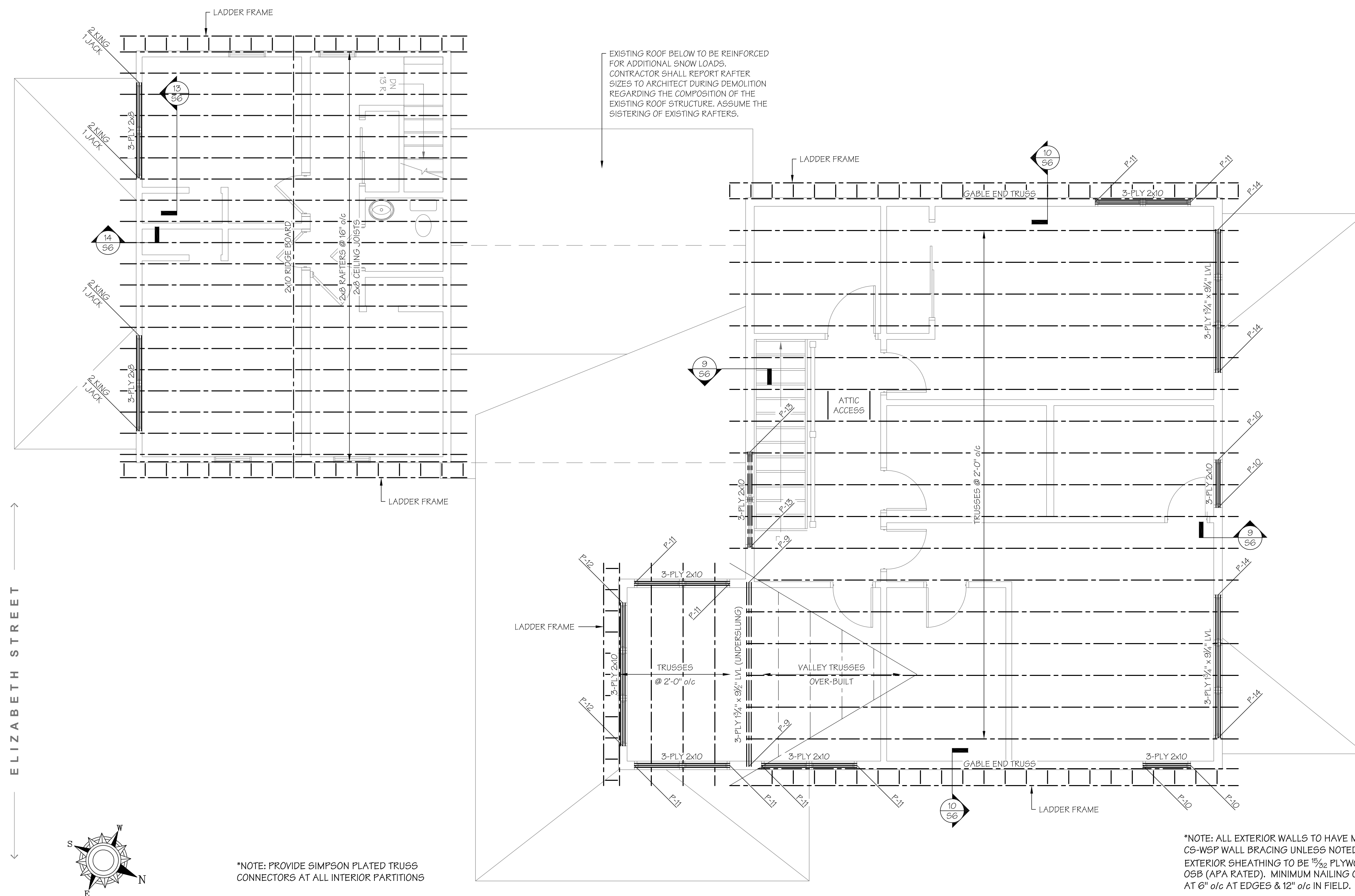
POST SCHEDULE		
MARK	SIZE	REMARKS
P-1	6x6 SYP #2	ABW62Z BASE PC6Z CAP
P-2	6x6 SYP #2	ABW62Z BASE EPC6Z CAP
P-3	6x6 SYP #2	ABW62Z BASE LCE4Z CAP
P-4	6x6 SYP #2	FNDN TO 1st FL. ABW62Z BASE CCT6Z CAP
P-5	4x6 SYP #2	1st FL TO ROOF BCA62Z BASE EPCZ CAP
P-6	3-PLY 2x6 JACK 2-PLY 2x6 KING	SQUASH BLOCK @ 1st FL.
P-7	4x4 SYP #1	ABW44Z BASE BC4Z CAP
P-8	3-PLY 2x6 JACK 2-PLY 2x6 KING	-
P-9	4-PLY 2x6 KING 3-PLY 2x6 JACK W/ 2Z SIFACERS (2) 2x6 KING	1st TO 2nd - SQUASH BLOCK @ 1st FLOOR 2nd TO ROOF - NAIL KING TO EA. SIDE OF LVL
P-10	(1) 2x6 JACK (1) 2x6 KING	SQUASH BLOCKS @ P-10A
P-11	(1) 2x6 JACK 2-PLY 2x6 KING	-
P-12	(1) 2x6 JACK 3-PLY 2x6 KING	-
P-13	2-PLY 2x6 JACK 2-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-14	2-PLY 2x6 JACK 3-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-15	3-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-16	3-PLY 2x6 JACK 2-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-17	6x6 D. FIR OR S.P. #2 OR BETTER	PC6Z POST CAP

NOTE: ALL POSTS TO BE SYP #1/#2 OR HEM. FIR #2 (UNLESS NOTED OTHERWISE)
NAIL PLYS WITH 16d BOX NAILS @ 12" o/c

2ND FLOOR FRAMING 1
1/4"=1'-0"

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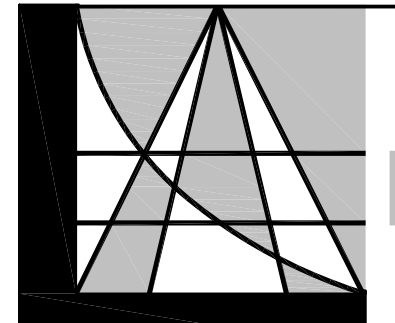
WOOD TRUSS GENERAL NOTES:

- TRUSSES TO BE DESIGNED FOR 62#/SQ FT GROUND SNOW LOAD IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
- UNBALANCED SNOW LOADS MUST BE ACCOUNTED FOR. DRIFTING SNOW, THERMAL FACTORS, AND ADDITIONAL DEAD AND SNOW LOADING IN OVERBUILD AREAS HAVE BEEN ACCOUNTED FOR. SEE TRUSS DIAGRAMS FOR MINIMUM TRUSS LOADING REQUIREMENTS.
- TRUSSES TO BE DESIGNED FOR WIND LOADS IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE. 115 MPH, EXPOSURE C
- TOP CHORD OF TRUSS PROFILE TO FOLLOW THE ROOF SLOPES AS SHOWN ON THE ROOF PLAN.
- TRUSSES MUST BE DESIGNED AND BUILT BY A REPUTABLE TRUSS MANUFACTURER. ALL TRUSS DESIGN AND DETAILS MUST BE STAMPED AND SIGNED BY A NEW YORK STATE PROFESSIONAL ENGINEER.
- STRUCTURAL CALCULATIONS:
SUBMIT STRUCTURAL CALCULATIONS PREPARED BY THE MANUFACTURER FOR APPROVAL BY THE PROJECT ENGINEER. CALCULATIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO:
A. DESCRIPTION OF DESIGN CRITERIA.
B. ENGINEERING ANALYSIS DEPICTING STRESS AND DEFLECTION (STIFFNESS) REQUIREMENTS FOR EACH FRAMING APPLICATION.
C. SELECTION OF FRAMING COMPONENTS AND ACCESSORIES.
D. VERIFICATION OF ATTACHMENTS TO STRUCTURE AND FOR ADJACENT FRAMING COMPONENTS.
E. FASTENERS: PROVIDE NUTS, BOLTS, WASHERS, SCREWS AND OTHER FASTENERS WITH CORROSION-RESISTANT PLATED FINISH.
F. SHALL SHOW REQUIRED DOWNWARD & UPLIFT REACTIONS AT ALL SUPPORT LOCATIONS, INCLUDING CONNECTIONS AT SUPPORTING TRUSSES.
- TRUSS MANUFACTURER TO SUPPLY BRACING REQUIREMENTS FOR TRUSSES, MATERIAL AND ATTACHMENT BY GENERAL CONTRACTOR.
- TRUSS DESIGN SHALL CONFORM TO THE REQUIREMENTS OF THE A.I.T.C.
- DEFLECTION SHALL NOT EXCEED 1/240TH SPAN FOR TOTAL LOAD NOR 1/360TH SPAN FOR LIVE LOAD.
- CONTRACTOR SHALL PROVIDE MUNICIPALITY WITH TRUSS DRAWINGS, AS REQUIRED.
- INSTALL ALL TRUSSES AS PER MANUFACTURER'S INSTRUCTIONS.
- DO NOT INSTALL ROOF TRUSSES UNTIL AFTER STUD WALLS ARE FULLY BRACED AND STABILIZED.
- DESIGN FOR JOINT CONNECTORS SHALL CONFORM TO THE REQUIREMENTS OF THE TRUSS PLATE INSTITUTE.
- TRUSSES TO ALIGN WITH STUD SPACING. WHERE TRUSSES ARE 2'-0" O.C. AND STUDS ARE 1'-4" O.C., TRUSS SPACES AT 4'-0" MUST ALIGN WITH STUDS.
- PROVIDE TEMPORARY AND PERMANENT TRUSS BRACING AS PER BC51-B3.
- PROVIDE TRUSS IDENTIFICATION PLACARD AS PER APPENDIX H OF FIRE CODE.

POST SCHEDULE		
MARK	SIZE	REMARKS
P-1	6x6 SYP #2	ABW66Z BASE PC6Z CAP
P-2	6x6 SYP #2	ABW66Z BASE EPC6Z CAP
P-3	6x6 SYP #2	ABW66Z BASE LCE4Z CAP
P-4	6x6 SYP #2	FNDN TO 1st FL. ABW66Z BASE CC76Z CAP
P-5	4x6 SYP #2	1st FL. TO ROOF BC46OZ BASE EPC6Z CAP
P-6	3-PLY 2x6 JACK 2-PLY 2x6 KING	SQUASH BLOCK @ 1st FL.
P-7	4x4 SYP #1	ABW44Z BASE BC4Z CAP
P-8	3-PLY 2x6 JACK 2-PLY 2x6 KING	-
P-9	4-PLY 2x6 KING 3-PLY 2x6 JACK W/ 2 1/2" SPACERS (2) 2x6 KING	1st TO 2nd - SQUASH BLOCK @ 1st FLOOR 2nd TO ROOF - NAIL KING TO EA. SIDE OF LVL.
P-10	(1) 2x6 JACK	SQUASH BLOCKS @ P-10A
P-10A	(1) 2x6 KING	-
P-11	(1) 2x6 JACK 2-PLY 2x6 KING	-
P-12	(1) 2x6 JACK 3-PLY 2x6 KING	-
P-13	2-PLY 2x6 JACK 2-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-14	2-PLY 2x6 JACK 3-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-15	3-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-16	3-PLY 2x6 JACK 2-PLY 2x6 KING	SQUASH BLOCK @ FLOOR
P-17	6x6 D. FIR OR 5.P #2 OR BETTER	PC6Z POST CAP

NOTE: ALL POSTS TO BE 5PF #1#2 OR HEM. FIR #2 (UNLESS NOTED OTHERWISE)
NAIL PLYS WITH 16d BOX NAILS @ 12" o/c

ROOF FRAMING PLAN 1
1/4"=1'-0"



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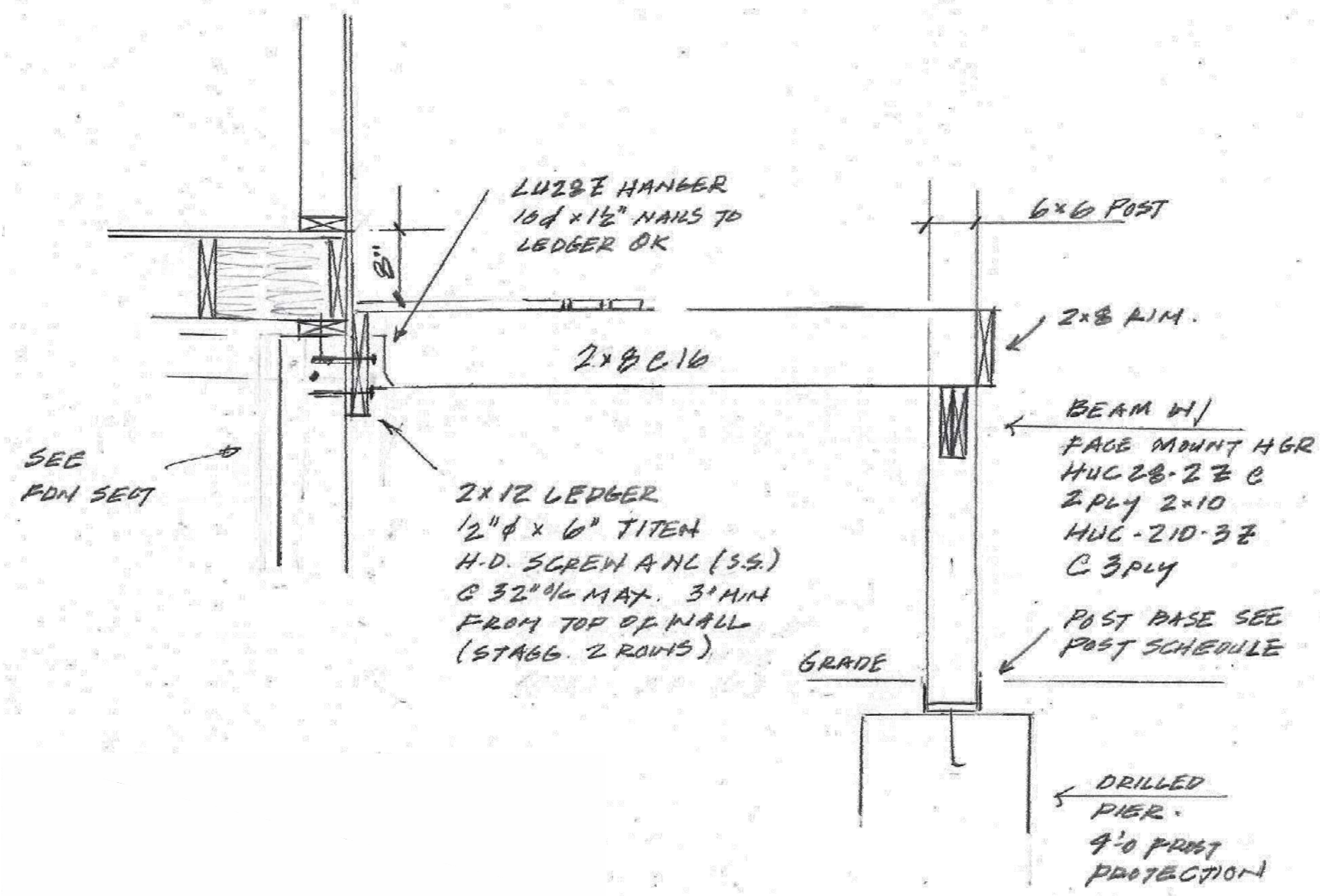
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ROOF FRAMING
ALTERATIONS LEVEL 2 & ADDITION
JEFF & MINDY HAYES, 29 ELIZABETH ST., ELLICOTTVILLE, NEW YORK 14731

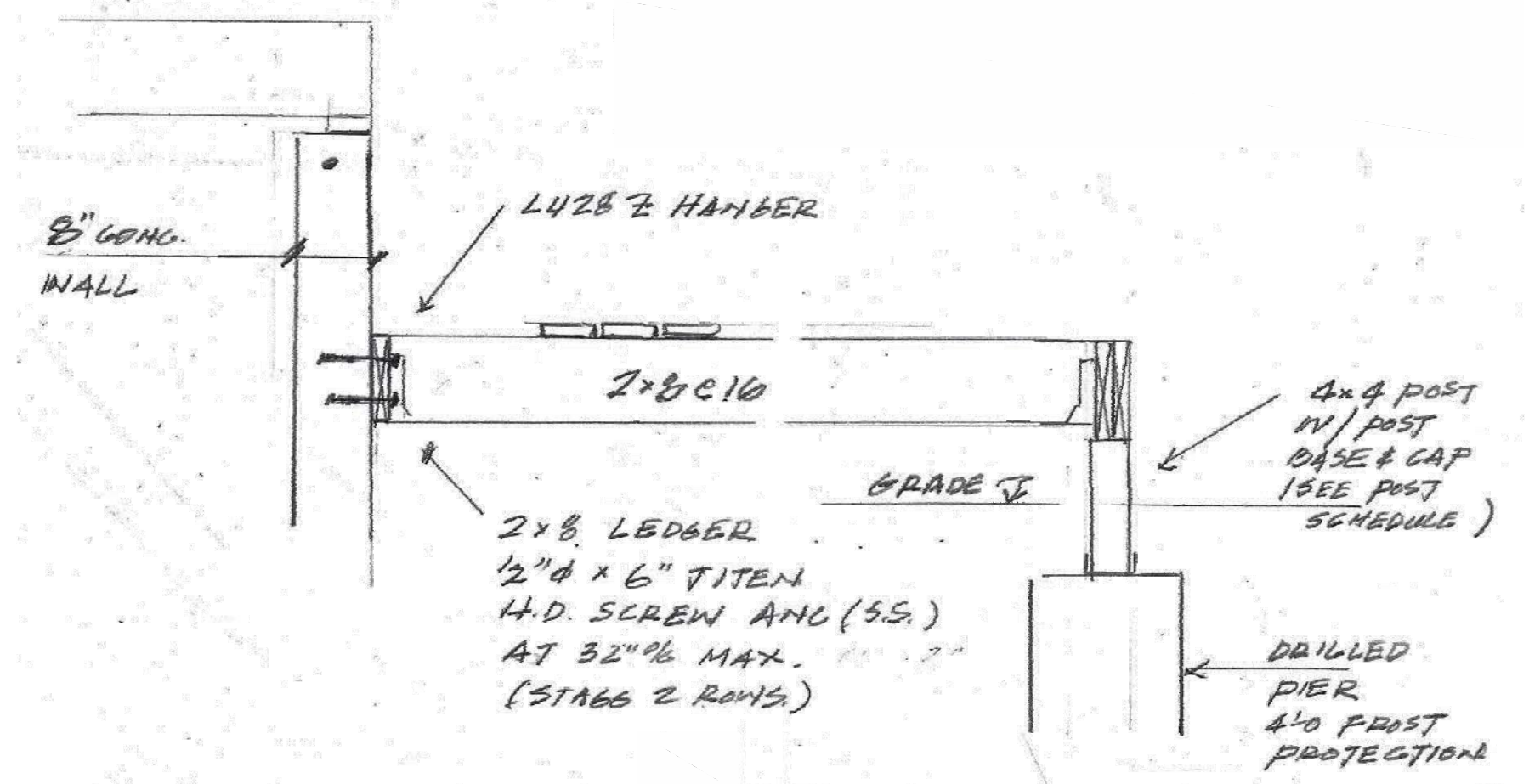


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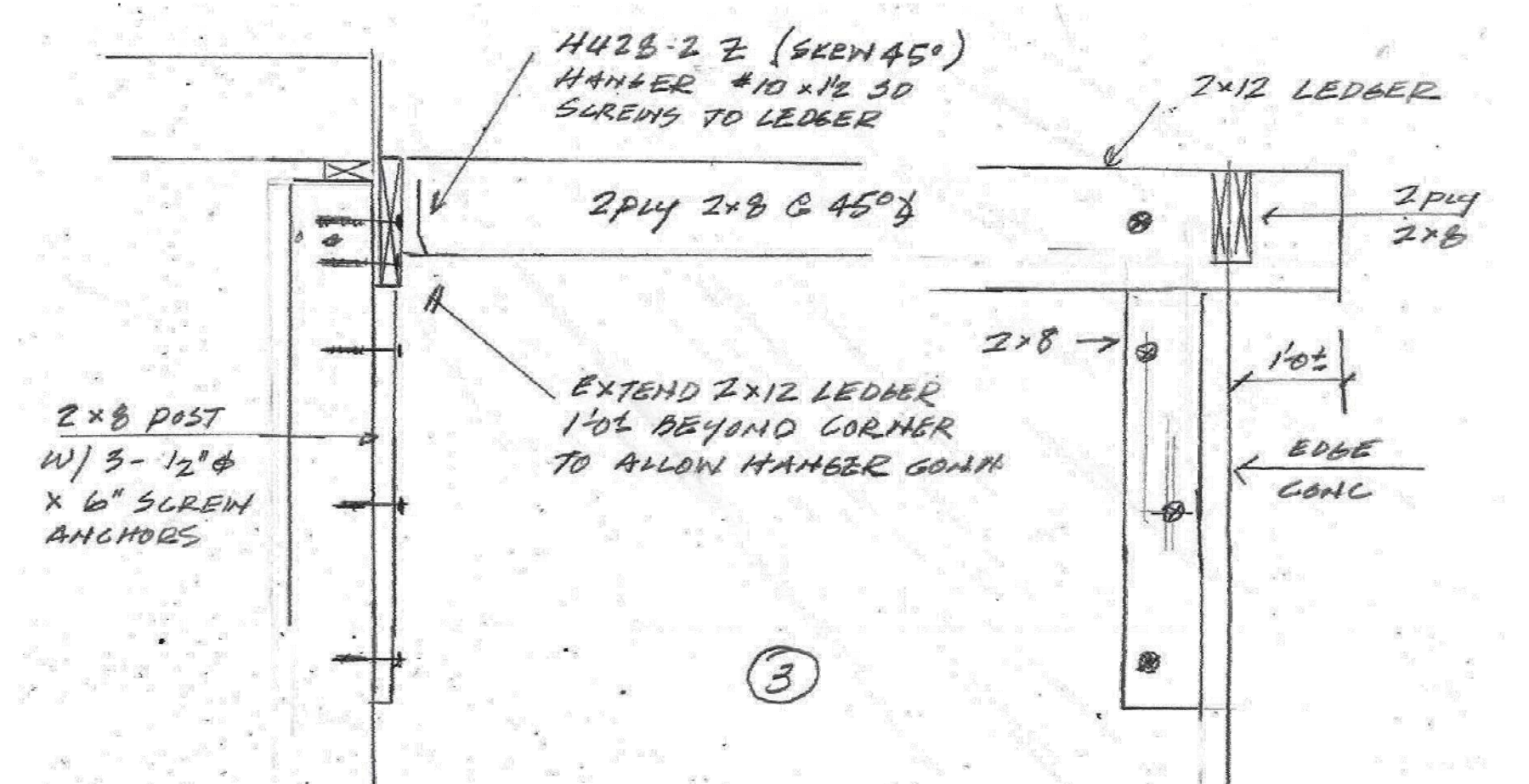
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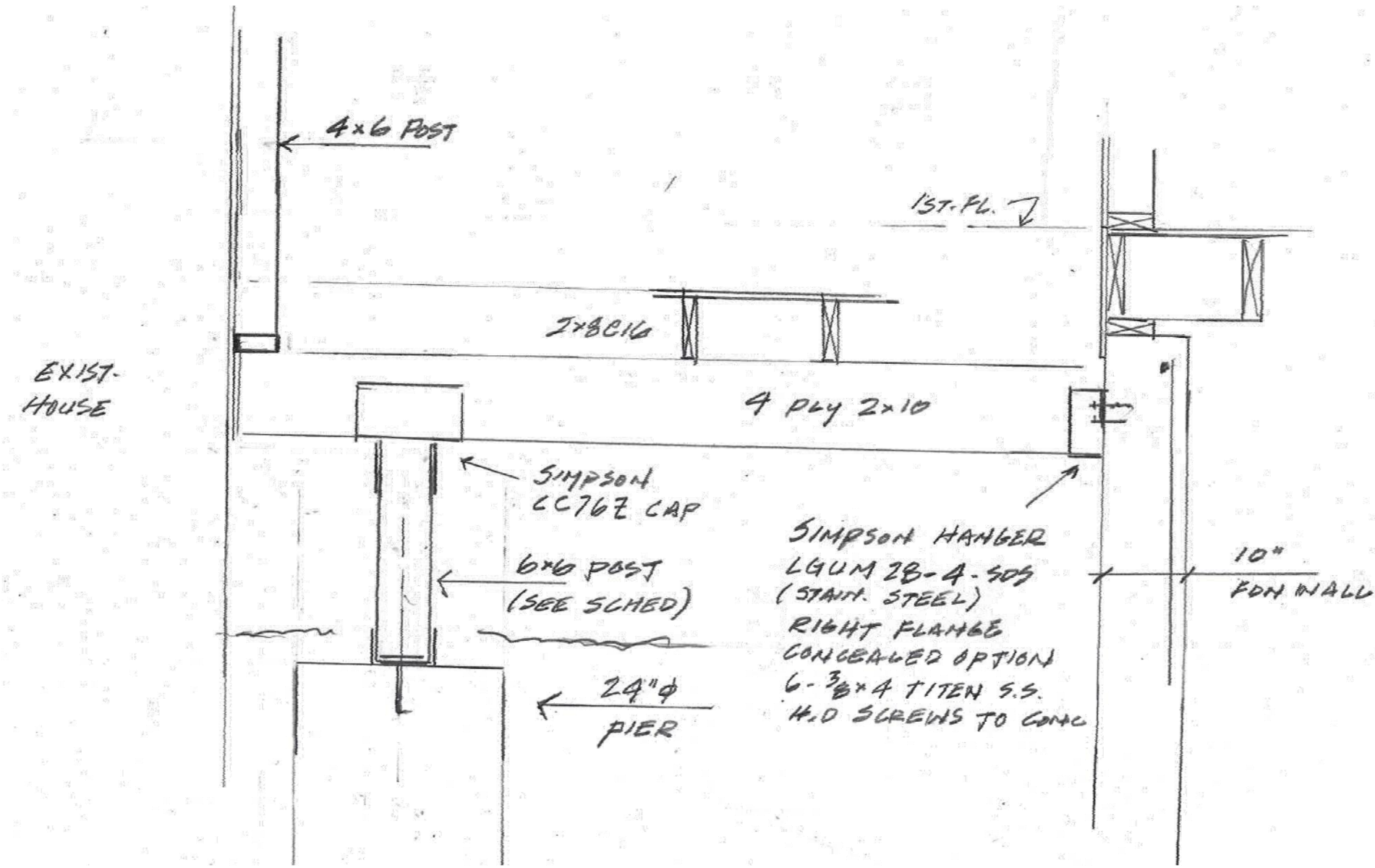
DETAIL 1
1"=1'-0"



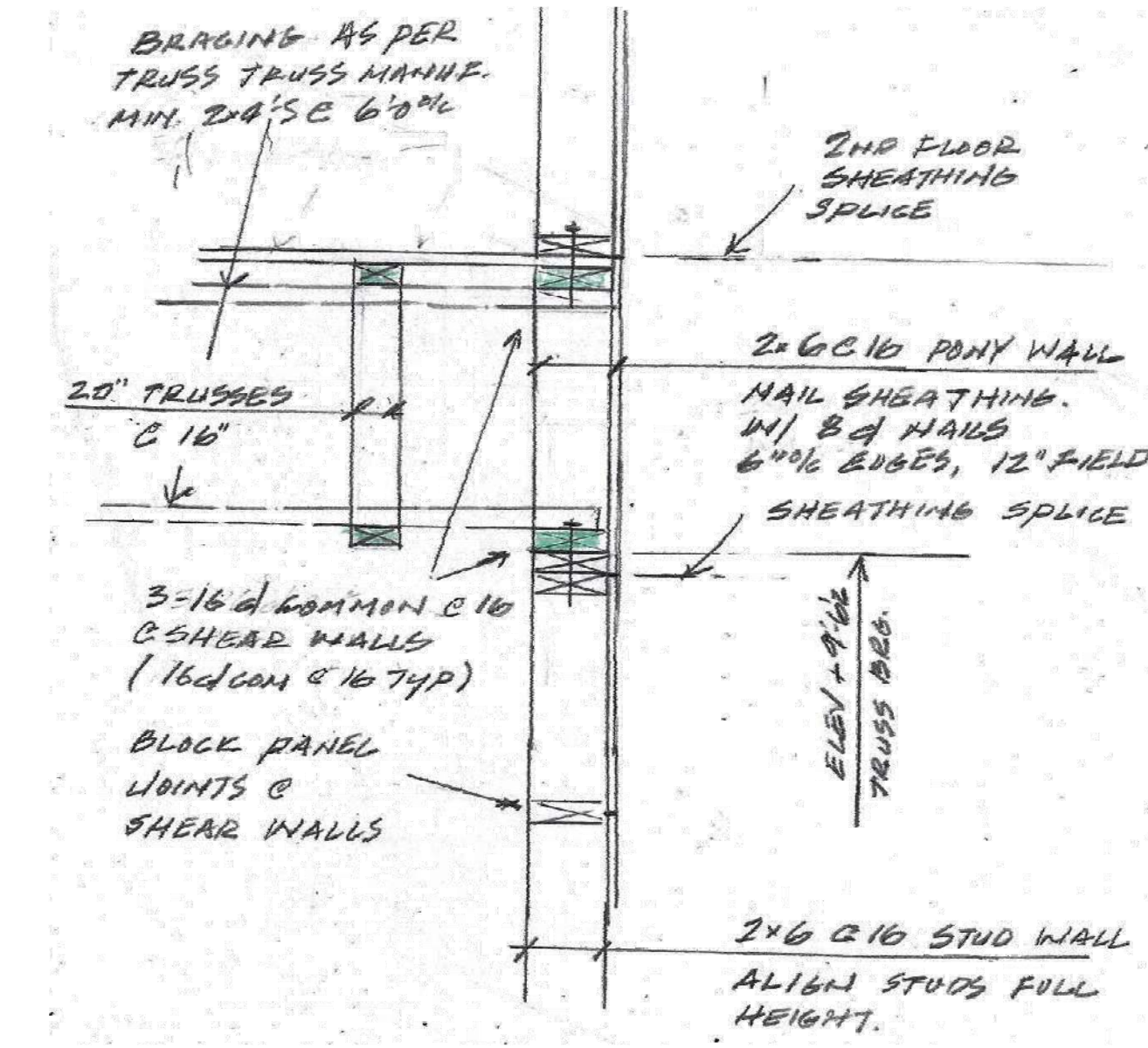
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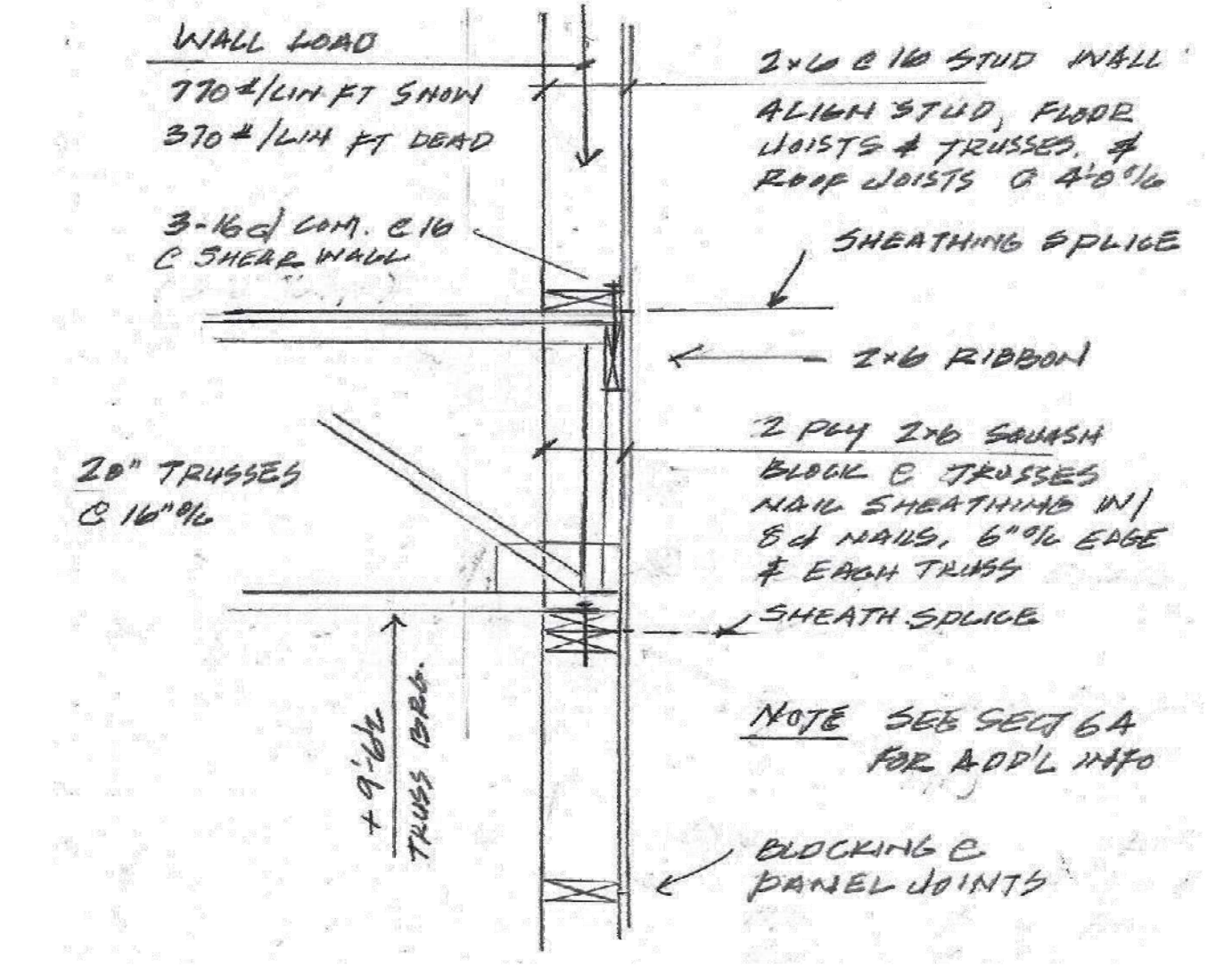
DETAIL 3
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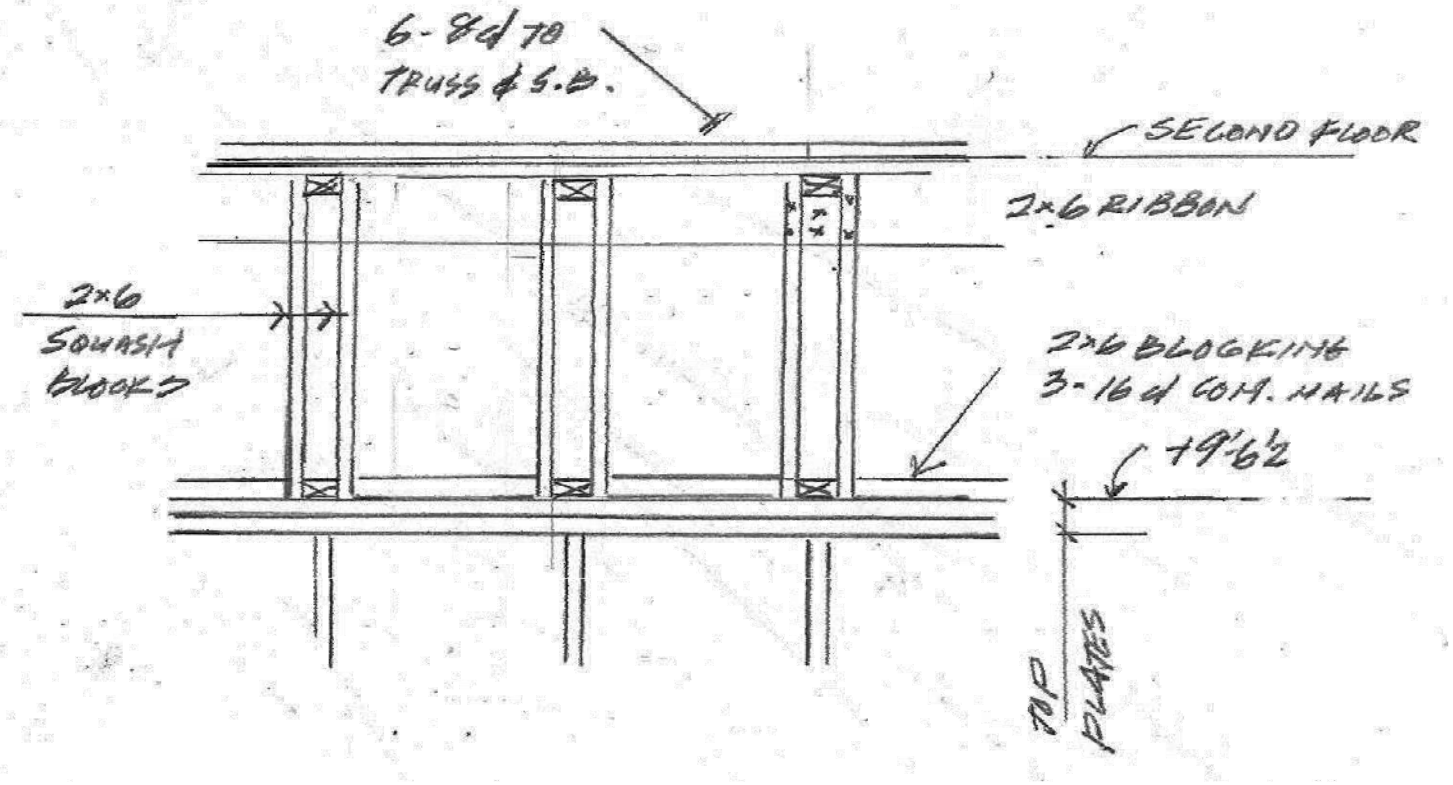
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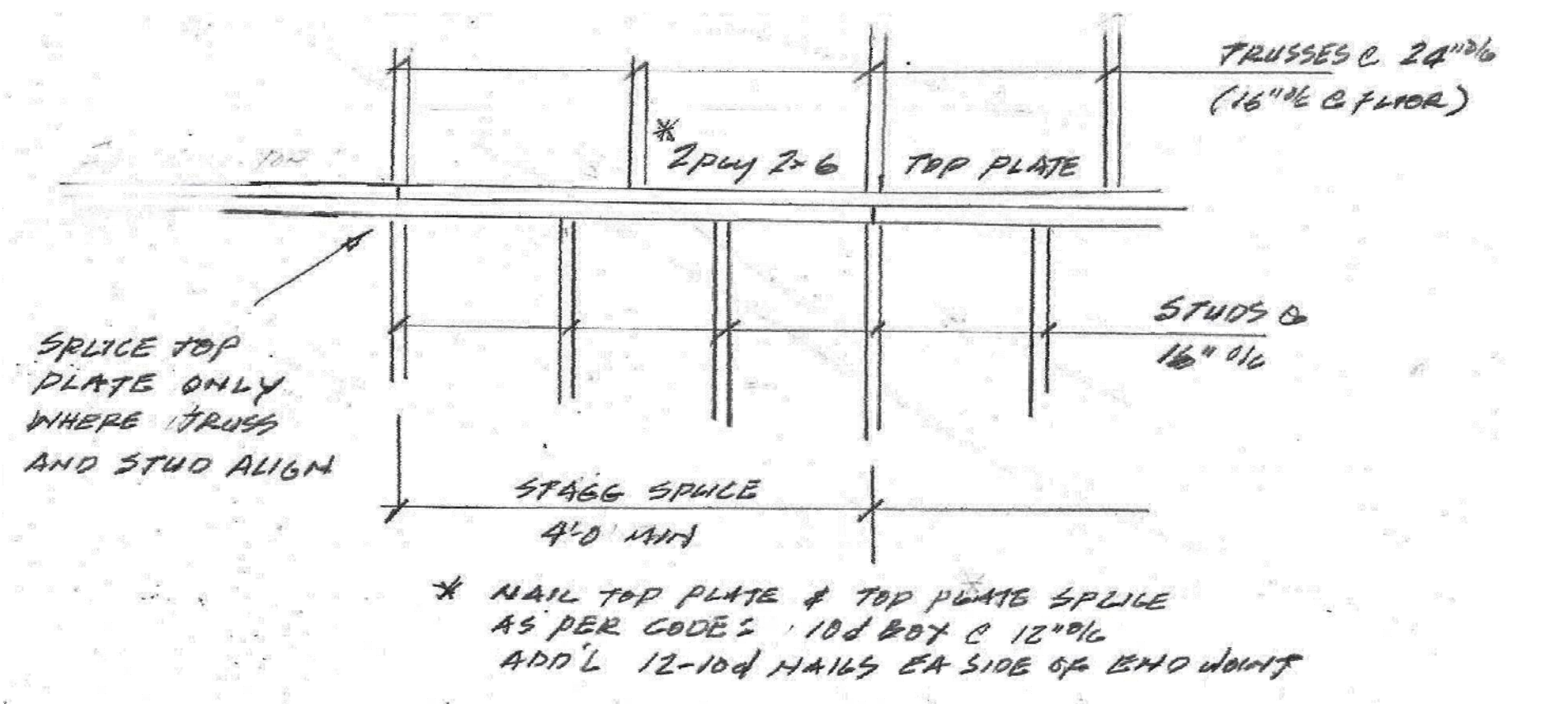
DETAIL 5
1"=1'-0"



DETAIL 6
1"=1'-0"

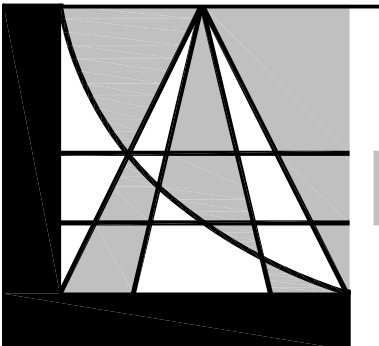


DETAIL 6A
1"=1'-0"



DETAIL 7
1"=1'-0"

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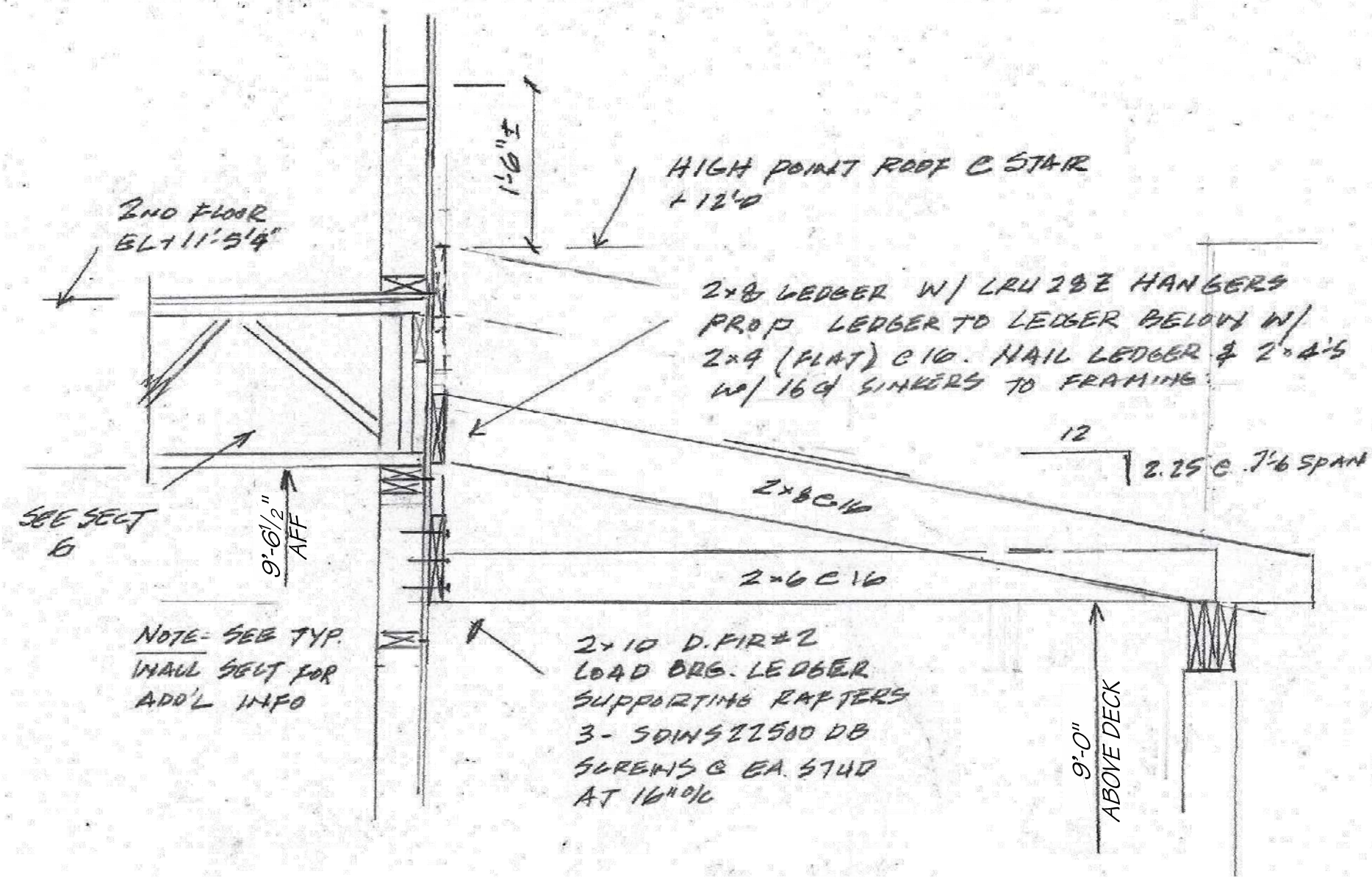
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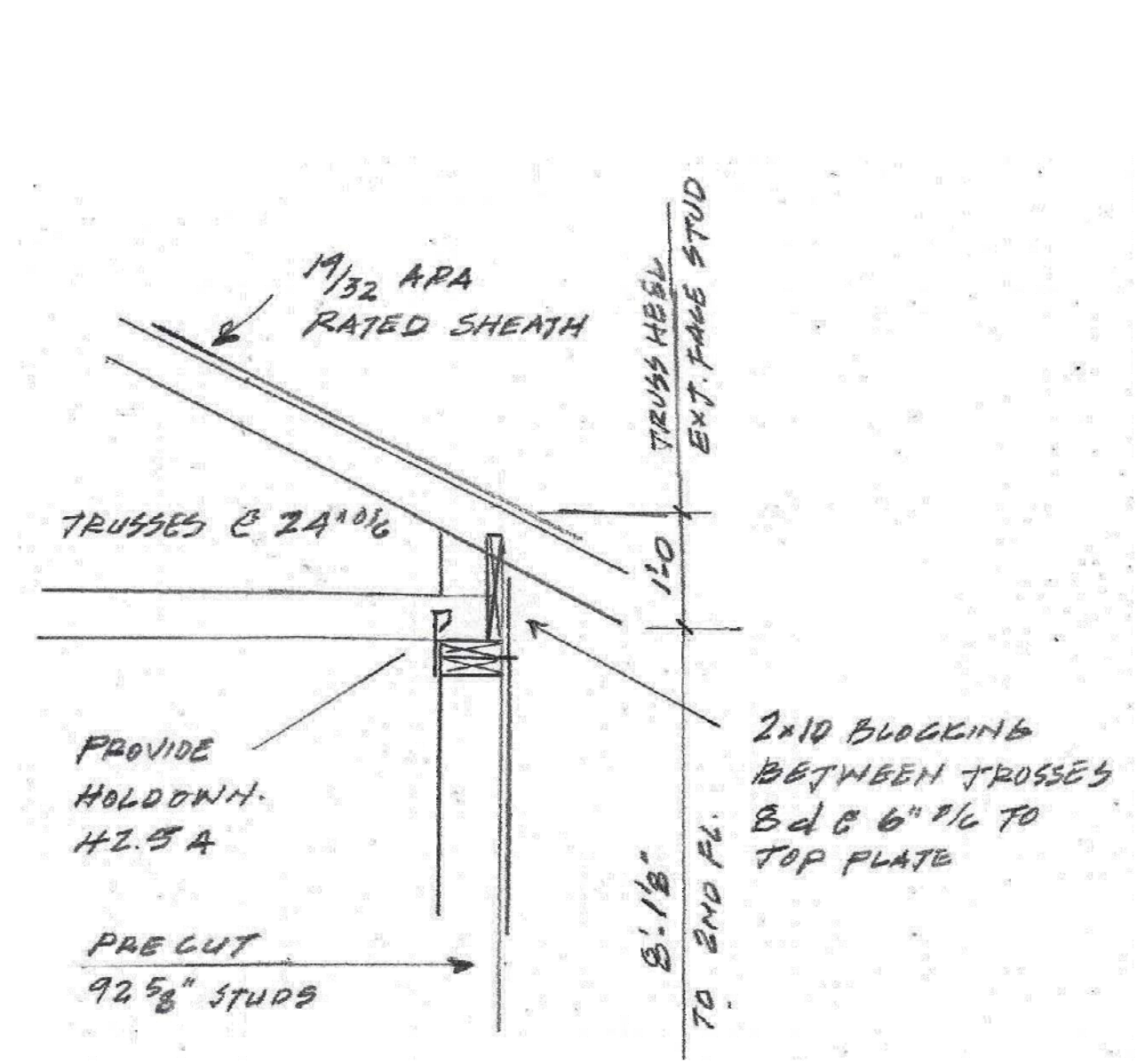
STRUCTURAL DETAILS-1
 ALTERATIONS LEVEL 2 & ADDITION
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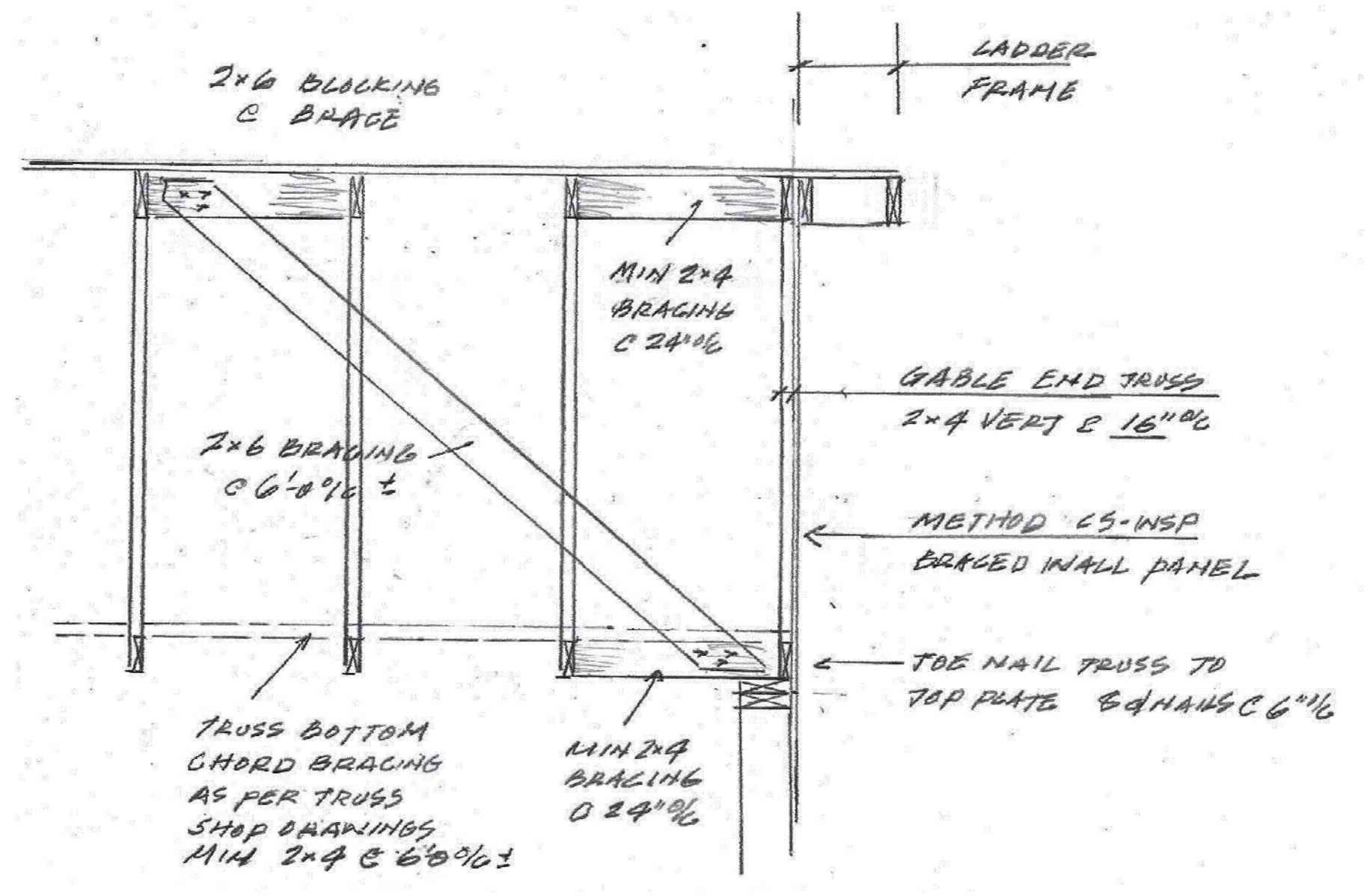
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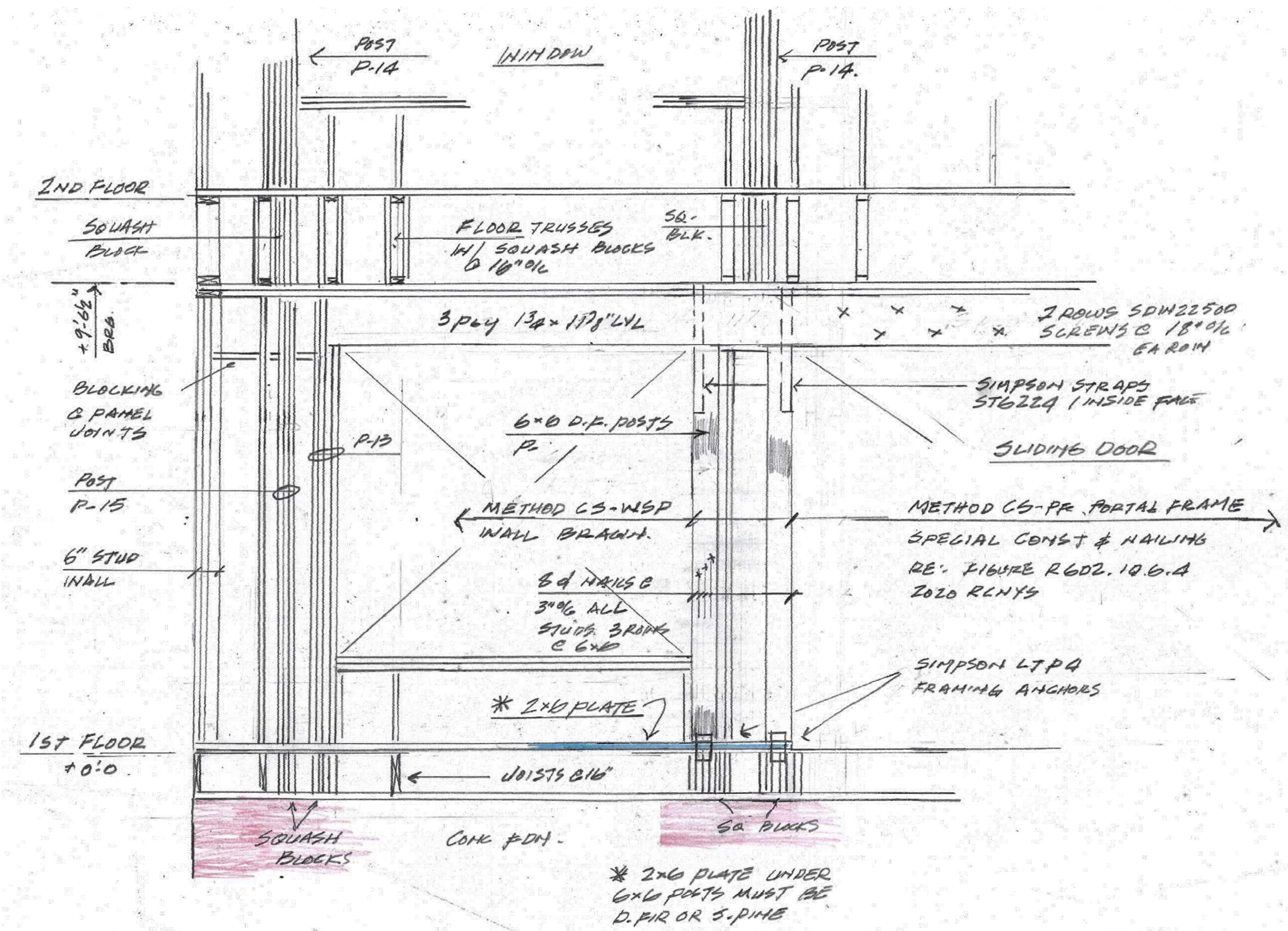
DETAIL 8
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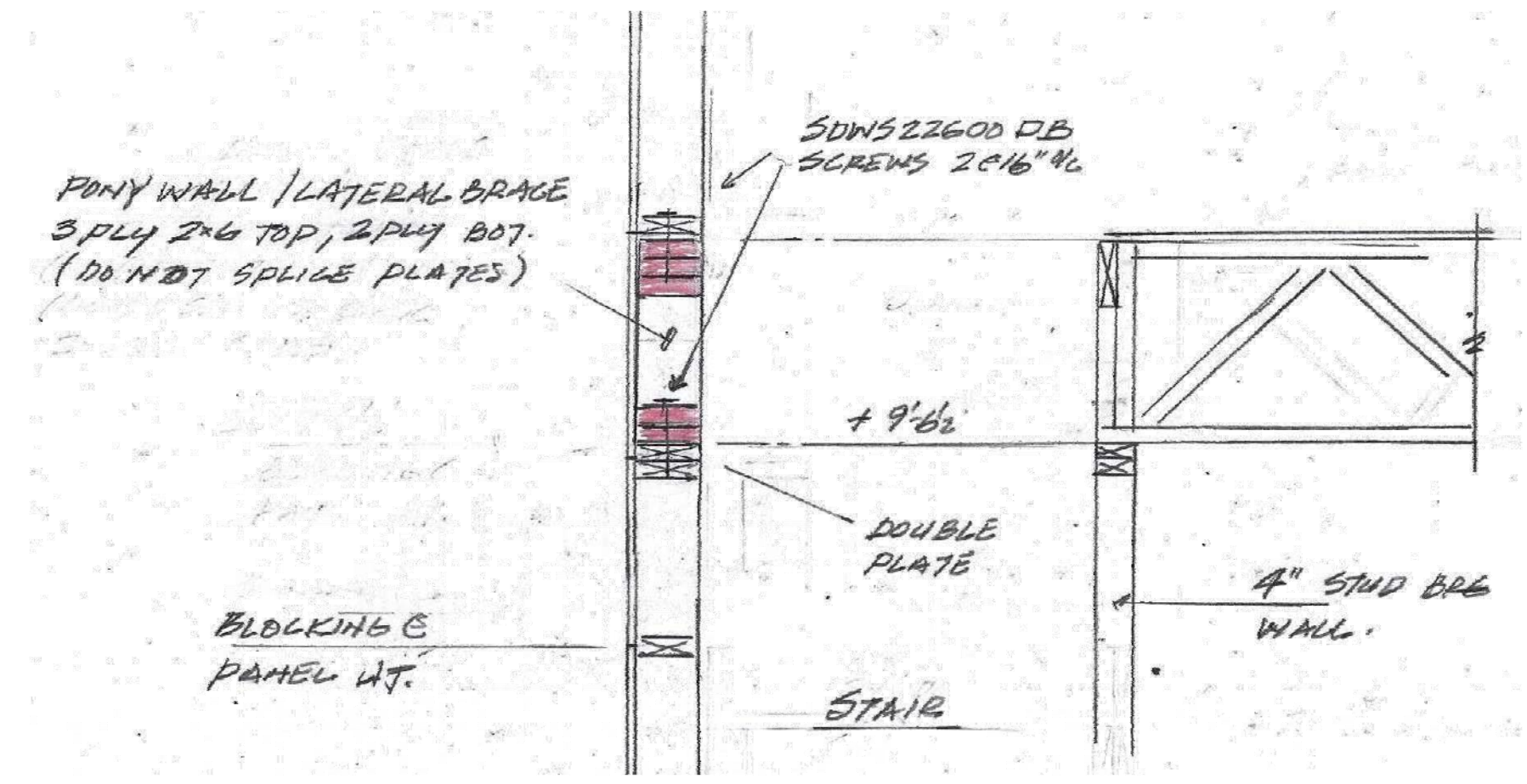
DETAIL 9
1"=1'-0"



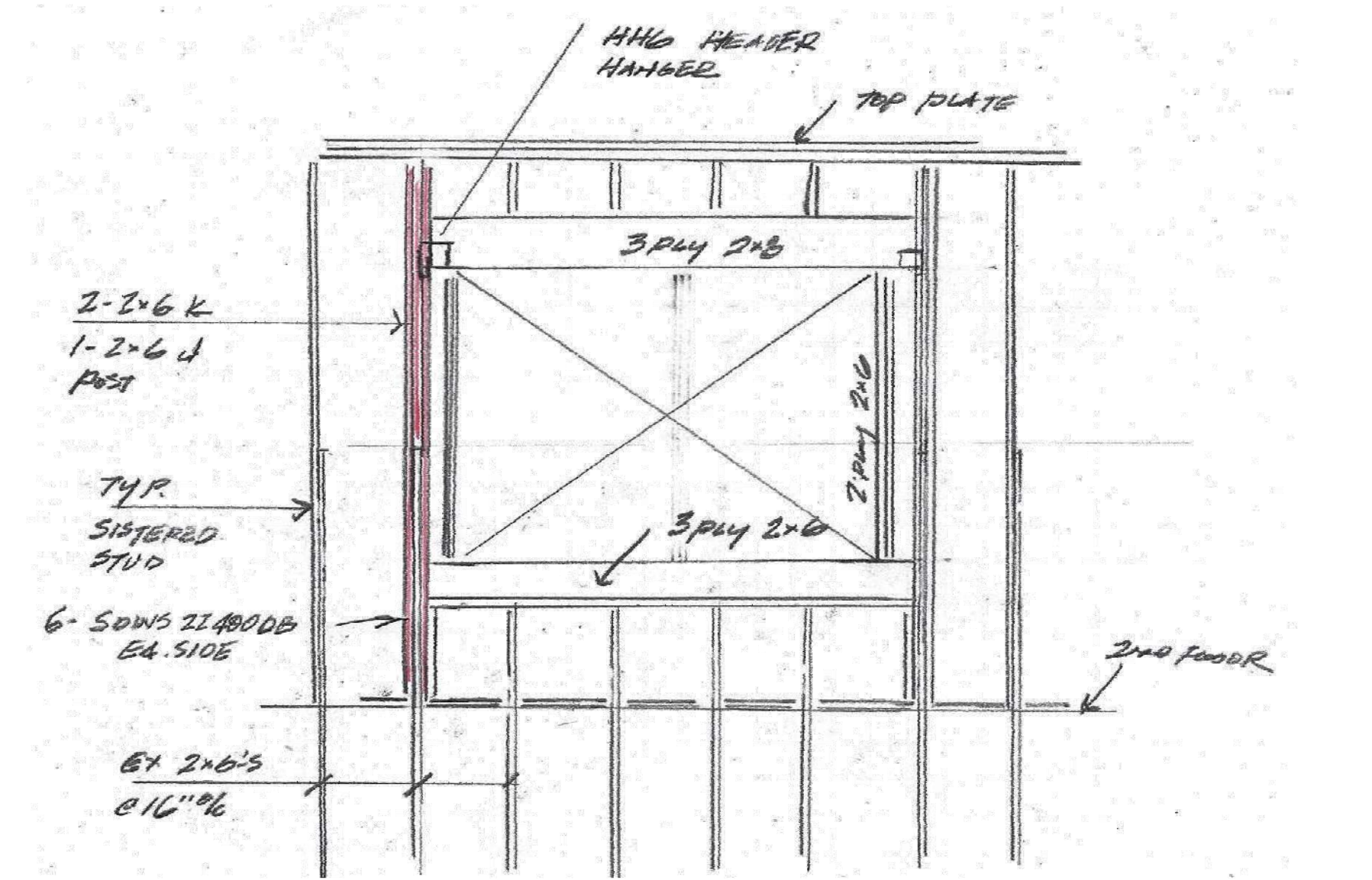
DETAIL 10
1"=1'-0"



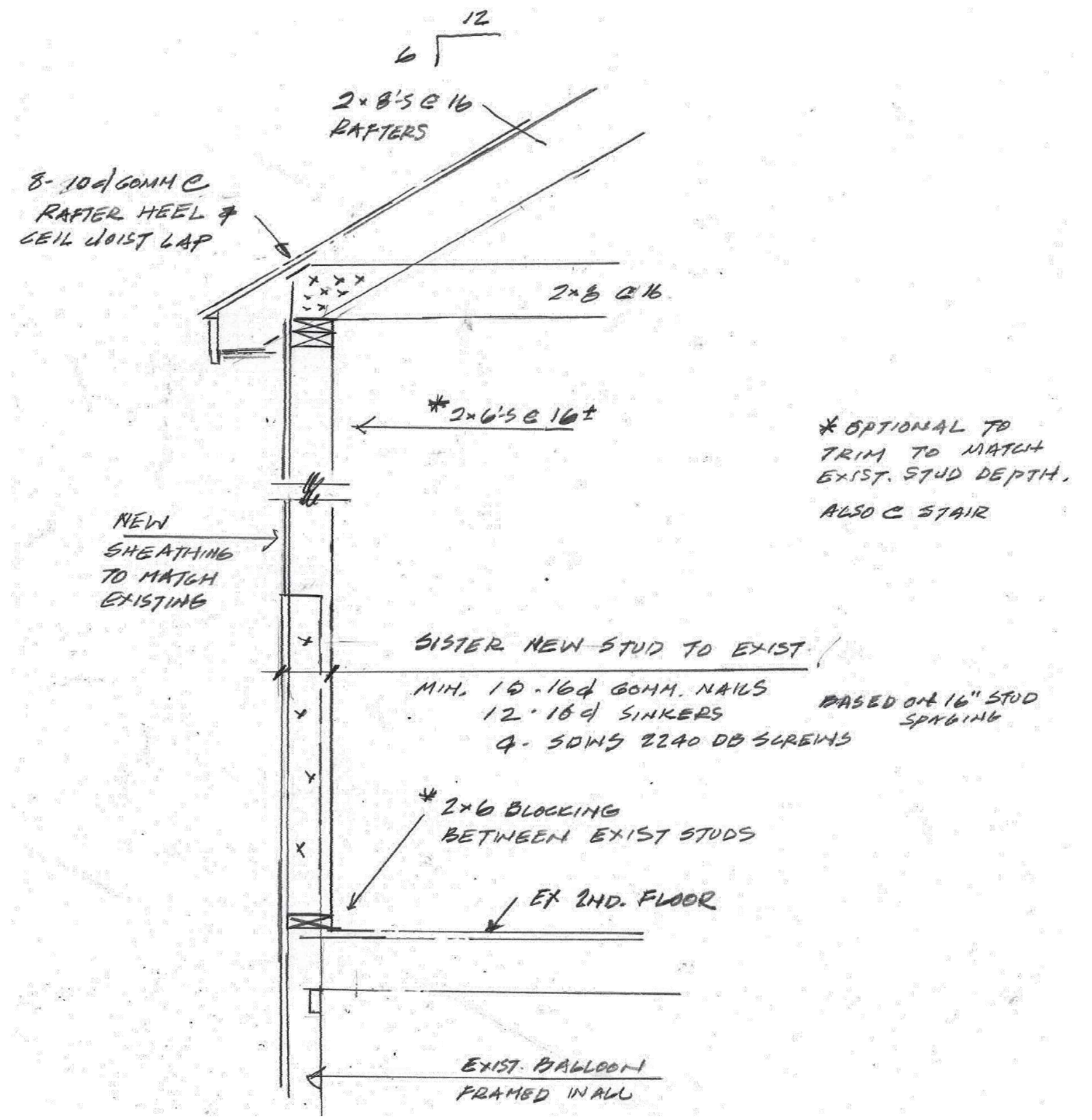
DETAIL 11
1"=1'-0"



DETAIL 12
1"=1'-0"

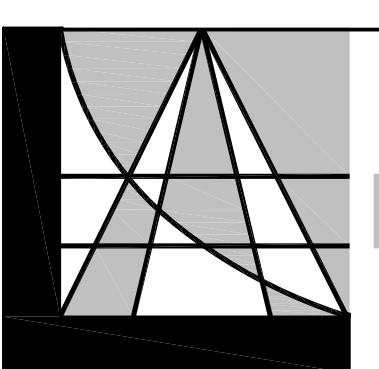


DETAIL 13
1"=1'-0"



DETAIL 14
1"=1'-0"

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STRUCTURAL DETAILS-2
ALTERATIONS LEVEL 2 & ADDITION
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