

REED RESIDENCE 2023 NEW PORCH

7 MECHANIC STREET
ELLICOTTVILLE, NEW YORK 14731



LOCATION

AARON B.
TILLER
COMMERCIAL, INDUSTRIAL, RESIDENTIAL
CAD SERVICES
5 PINE STREET
ALLEGANY, NEW YORK 14706
716-307-3684
AARONTILLER@GMAIL.COM

NEW
COVER SHEET

DOCUMENT STATUS

DATE: 7-13-2023
 NOT FOR CONSTRUCTION
 PROGRESS SET
 PRELIMINARY
 FINAL
 ISSUED BY: ABT

LEGEND

MATERIAL DESIGNATIONS:

ELEVATION	
	CONCRETE/PLASTER
	CERAMIC TILE
	GLAZING
	BRICK
PLAN/SECTION	
	EARTH FILL
	ROCK
	GRANULAR FILL
	LIGHTWEIGHT CONCRETE
	STRUCTURAL CONCRETE
	BRICK
	CONCRETE BLOCK
	CUT STONE
	TILE ON CONCRETE
	MARBLE
	TERRAZZO
	CERAMIC/QUARRY TILE
	BOARD/RIGID INSULATION
	RUNNING BOND MASONRY
	STACK BOND MASONRY
	STONE
	WOOD BLOCKING
	FINISHED WOOD
	PLYWOOD - LARGE SCALE
	PLYWOOD - SMALL SCALE
	METAL - LARGE SCALE
	METAL - SMALL SCALE
	SHEATHING
	GYP. BD./PLASTER BD.
	ACOUSTICAL CEILING TILE
	CARPET
	METAL STUDS
	LOOSE FILL/BATT INSULATION

ARCHITECTURAL SYMBOLS

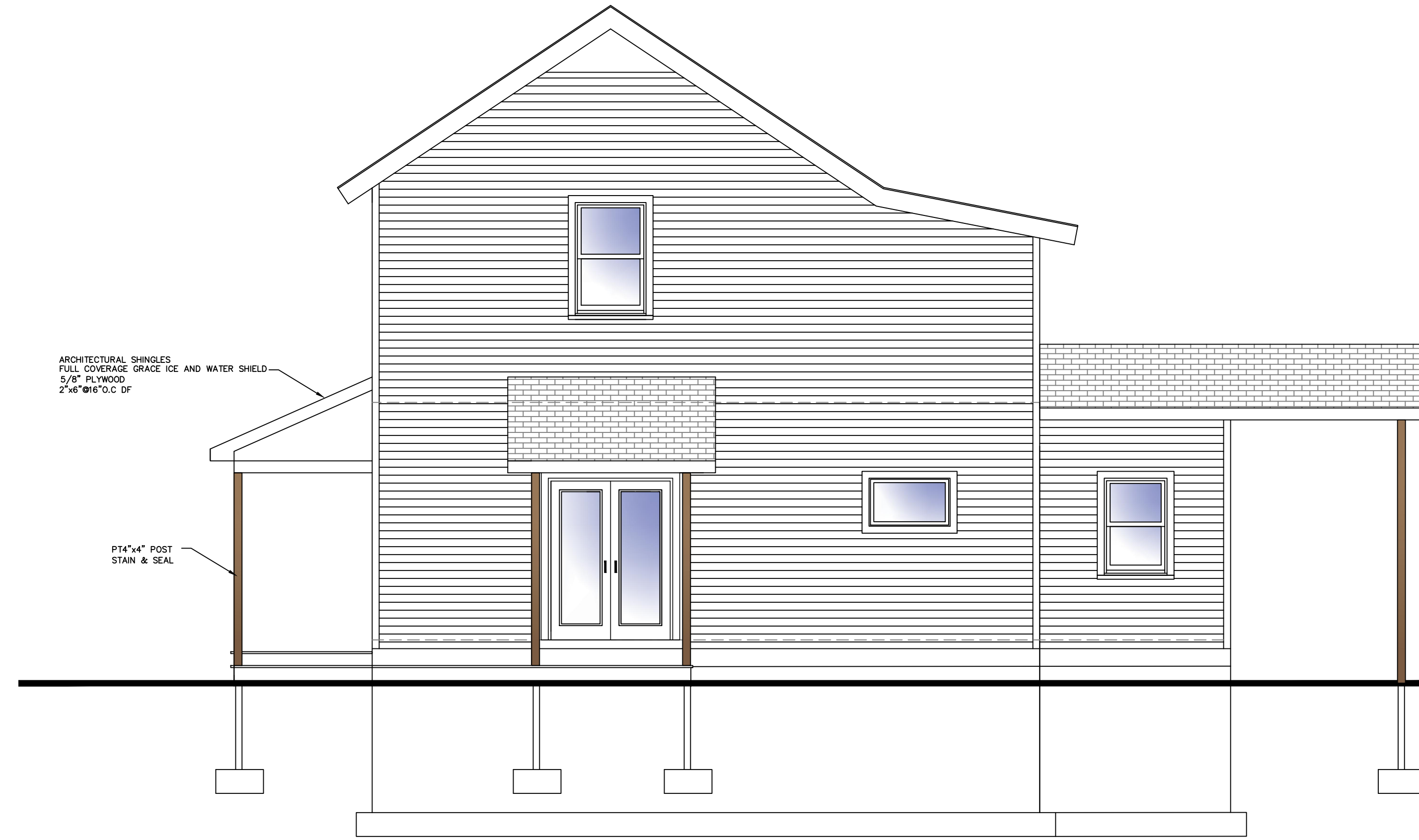
	SECTION: SECTION LETTER SHEET NUMBER		EXTERIOR ELEVATION: ELEVATION LETTER SHEET NUMBER
	DETAIL: DETAIL NUMBER SHEET NUMBER		INTERIOR ELEVATION: ELEVATION LETTER SHEET NUMBER
	DOOR NUMBER		ROOM NUMBER
	WINDOW TYPE		ELEVATION TAG
	COLUMN GRID		SPOT ELEVATION
	CENTER LINE		REVISION
	EXISTING CONTOUR LINE		PROPERTY LINE
	NEW CONTOUR LINE		NORTH DESIGNATION
	GRAPHIC SCALE		FIRE EXTINGUISHER
	ROOF SLOPE INDICATION		EMERGENCY LIGHT WALL MOUNTED
	BRACING		CARBON MONOXIDE DETECTOR SHALL BE WIRED INTO 110v CIRCUIT.
	EXIT LIGHT GRILLE		SMOKE DETECTOR SHALL BE WIRED INTO 110v CIRCUIT. AND IN ADDITION TO THESE SHOWN ATLEAST ONE IS REQUIRED ON EVERY FLOOR.
	MECHANICAL VENTILATION REQUIRED.		

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
CS	COVER SHEET
A101	ELEVATIONS
A102	SECTION, FLOOR & FOUNDATION PLAN

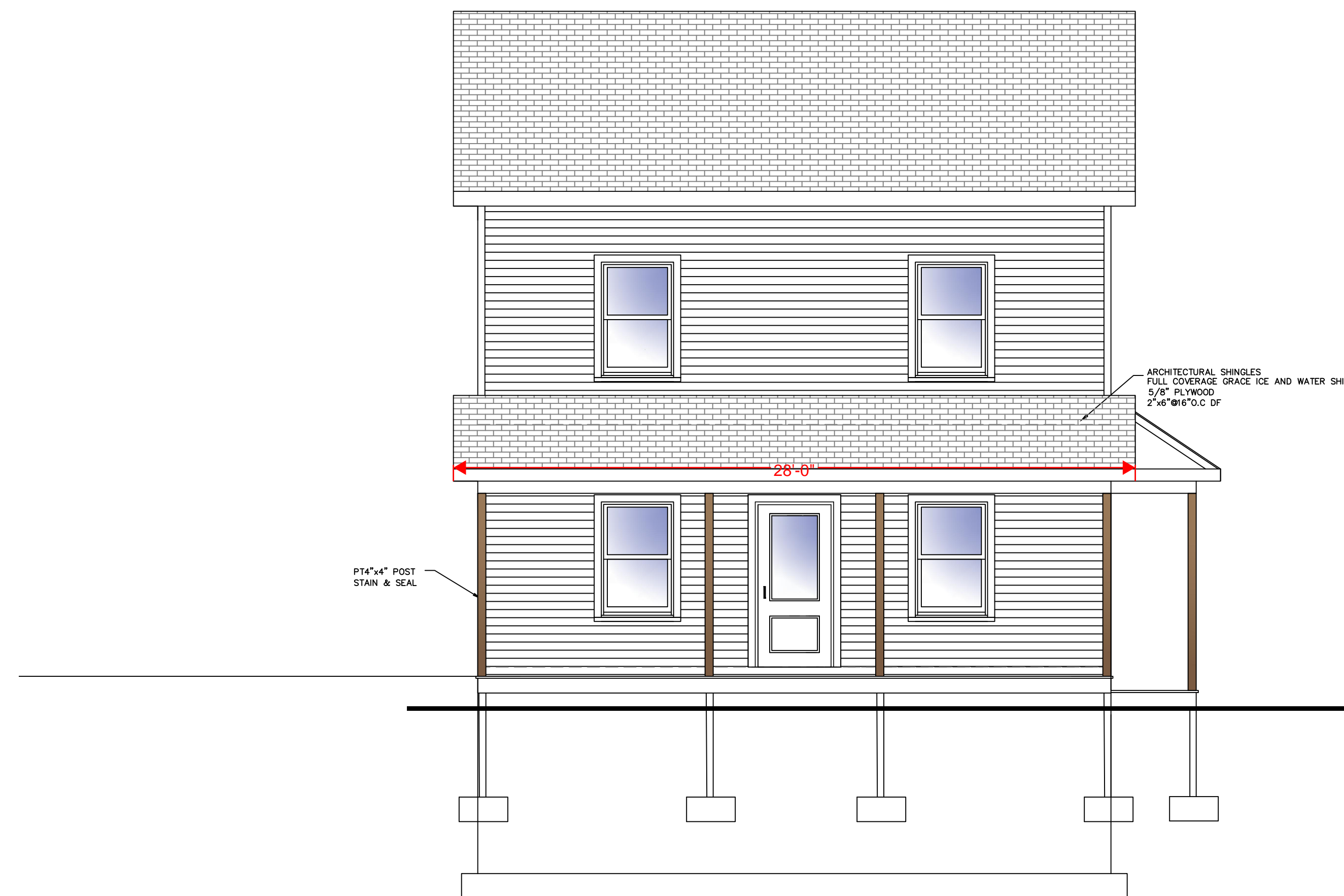
RESIDENTIAL DESIGN
FOR
REED RESIDENCE
7 MECHANIC STREET
ELLICOTTVILLE, NEW YORK 14731

REVISION DATE:	DRAWN BY: ABT
DATE: 7-13-2023	REVIEWED BY:
DRAWING NO:	CS



**NEW PORCH
RIGHT ELEVATION**

SCALE: 1/4"=1'-0"



**NEW PORCH
FRONT ELEVATION**

SCALE: 1/4"=1'-0"

**AARON B.
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**PROPOSED
NEW FRONT PORCH**

RESIDENTIAL DESIGN
FOR
**REED
RESIDENCE**

7 MECHANIC STREET
ELLCOTTVILLE, NEW YORK 14731

REVISION DATE:

DRAWN BY:

DATE:

7-13-2023

REVIEWED BY:

DRAWING NO:

A101

GENERAL NOTES:

- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE NEW YORK STATE RESIDENTIAL CODE AND/OR ANY APPLICABLE COUNTY OR LOCAL JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION. OWNER/CONTRACTOR SHALL VERIFY WITH LOCAL BLDG. DEPT. WHICH CLIMATE ZONE THE PROJECT WILL BE BUILT IN.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- DESIGN LOADS:

ROOF (L.L.)	33 PSF
ROOF (L.L. + D.L.) (SHAKE/COMP)	48 PSF
ROOF (L.L. + D.L.)	48 PSF
FLOOR (L.L. + D.L.)	100 PSF
STAIRS (L.L. + D.L.)	100 PSF
GARAGE FLOOR (L.L.) (2,000# POINT)	50 PSF
DECKS (L.L. + D.L.)	50 PSF
BALCONIES (EXT.) (L.L. + D.L.)	70 PSF
ATTIC STORAGE (CLG JST) (L.L. + D.L.)	30 PSF

(IF YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS CONSULT WITH A LOCAL QUALIFIED PROFESSIONAL TO DETERMINE THE APPROPRIATE REVISIONS.)

5. THIS PLAN IS DESIGNED TO MEET 2020 NYS RESIDENTIAL ENERGY CODE UNDER PRESCRIPTIVE ENVELOPE REQUIREMENTS FOR RESIDENTIAL BLDGS. IN ADDITION TO PRESCRIPTIVE ENVELOPE REQUIREMENTS, AN ADDITIONAL MEASURE MUST BE SELECTED. SEE ADDITIONAL MEASURE BELOW.

PRESCRIPTIVE ENVELOPE REQUIREMENTS	
INSULATION: ROOF (VAULTED CEILING)	R-49
ROOF/CEILING INSULATION	R-38
EXTERIOR WALLS	R-21
INTERIOR INSULATION	R-50
WALLS BELOW GRADE	R-15
SLAB EDGES @ HEATED AREAS	R-16
FORCED AIR DUCT (AT UNHEATED AREA)	R-9
GLAZING/DOORS: MAXIMUM WINDOW AREA	NO LIMIT
WINDOW CLASS	U = .35
ENTRY DOOR CLASS (MAX 28 SQ. FT.)	U = .34
FULL LIGHT GLASS DOOR CLASS	U = .40
OTHER DOORS (MAX GLAZING 10')	U = .20
SKYLIGHT CLASS (MAX 28 SQ. HEATED SPACE)	U = .40

- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING NOT TO EXCEED 25. A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450, WHEN TESTED IN ACCORDANCE WITH ASTM E 84, AND CRITICAL RADIANT FLUX NOT LESS THAN 0.12 WATTS PER SQUARE CENTIMETER.
- INSULATE ALL ACCESS DOOR/HATCHES TO CRAWLSPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR, OR CEILING THROUGH WHICH THEY PENETRATE.
- ALL WINDOWS WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE), AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE FLOOR OR WALKING SURFACE SHALL HAVE TEMPERED GLAZING.
- SKYLIGHTS ARE ASSUMED TO BE PRE-MANUFACTURED UNIT SKYLIGHTS. UNIT SKYLIGHTS SHALL BE COMPLIANT WITH THE REQUIREMENTS OF O.R.S.C. SECTION #1112.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2" IN. DEAD BOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10' FT. (VERTICAL) OF GRADE.
- GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPools, SAUNAS, STEAM ROOMS, BATHROOMS & SHOWERS, AND IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS, WHERE BOTTOM EDGE OF GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE, TO BE TEMPERED GLAZING.
- BASEMENTS AND EVERY SLEEPING ROOM TO HAVE MIN. WINDOW OPENING OF 5.7 SQ. FT. WITH A MIN. WIDTH OF 20" IN. AND A SILL HGT. NOT MORE THAN 44" IN. ABOVE FIN. FLOOR.
- SMOKE DETECTORS SHALL BE INSTALLED IN EA. SLEEPING ROOM, OUTSIDE THE IMMEDIATE VICINITY OF EACH SLEEPING AREA AND ON EACH STORY OF THE DWELLING. ALL DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS AND WILL BE AUDIBLE IN ALL SLEEPING AREAS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE (N.E.C.) REQUIREMENTS.
- INTERIOR & EXTERIOR STAIRS SHALL HAVE A MEANS TO ILLUMINATE THE STAIRS, INCLUDING LANDINGS & TREADS. INTERIOR STAIRS OF 6 STEPS OR MORE SHALL HAVE THE REQUIRED LIGHTING IN THE IMMEDIATE VICINITY OF THE TOP & BOTTOM OF THE STAIRS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF STAIR. EXTERIOR STAIRS LEADING FROM GRADE TO BASEMENT SHALL HAVE AN ARTIFICIAL LIGHT SOURCE IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF STAIRS. LIGHTING FOR INTERIOR STAIRS SHALL BE CONTROLLED FROM TOP & BOTTOM OF EA. STAIR.
- PROVIDE COMBUSTION AIR VENTS (W/ SCREEN AND BACK DAMPER) FOR FIREPLACES, WOOD STOVES, AND ANY APPLIANCES WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MIN. 80 CFM INTERMITTENT. ROOMS W/ BATHING OR SPA FACILITIES SHALL BE CONTROLLED BY A CHEMIST/ET. TIMER OR SIMILAR MEANS OF AUTOMATIC CONTROL. DRYER & RANGE HOODS ARE ALSO TO BE VENTED TO EXTERIOR.
- SPECIFIC MANUFACTURERS AND MATERIALS SPECIFIED ON THESE PLANS ARE AN INDICATION OF QUALITY AND STRENGTH. VERIFY ALL CONSTRUCTION MATERIAL SUBSTITUTIONS WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PRIOR TO INSTALLATION/SUBSTITUTION.

FRAMING NOTES:

- ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE (2) X 10 HEADERS UNLESS OTHERWISE INDICATED.
- ALL EXTERIOR WALLS TO BE BUILT OF 2 X 6 STUDS @ 16" O.C. TYPICALLY UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS ARE TO BE BUILT OF 2 X 4 STUDS @ 16" O.C. TYPICALLY UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS SUPPORTING TWO OR MORE FLOORS AND 1 OR MORE ROOF/CEILING ASSEMBLIES SHALL BE 2 X 6 STUDS @ 16" O.C.
- ALL METAL CONNECTORS TO BE "SIMPSON" OR EQUIVALENT. U.N.O. JOISTS HUNG ON FLUSH BEAMS TO BE ATTACHED WITH U210 OR EQUIVALENT. MULTIPLE JOISTS USE U210-2/U210-3 AS REQUIRED. USE OF 10s X 1-1/2" NAILS ARE ALLOWED WITH THESE TYPE OF HANGERS UNLESS NOTED ON THE PLANS. SEE NAIL CONVERSION CHART FROM CURRENT SIMPSON CATALOG FOR OTHER NOTES AND RESTRICTIONS THAT MAY APPLY.
- PROVIDE MIN DOUBLE JOISTS UNDER ALL BEARING WALLS ABOVE. RUNNING PARALLEL TO JOISTS AND SOLID BLOCKING BELOW ALL BEARING WALLS RUNNING PERPENDICULAR TO FLOOR JOISTS.
- PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER SPACE AT VAULTED CLG AREAS, AND INSULATION Baffles AT EAVE VENTS BETWEEN RAFTERS. RAFTER VENTILATION IS ALSO REQUIRED AT RAFTER LOCATIONS ABOVE THE PLATE.
- PROVIDE FIRE BLOCKING, DRAFT STOPS, & FIRE STOPS AS PER NYS RESIDENTIAL CODE.
- HIPS, VALLEYS AND RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END CUT OF THE RAFTER.
- UNLESS NOTED OTHERWISE, POST TO BEAM CONNECTIONS REQUIRE "SIMPSON" BC SERIES CAP/BASE (OR APPROVED EQUAL) CONNECTORS. EXTERIOR APPLICATIONS REQUIRE "SIMPSON" EPB SERIES BASES U.N.O. AND INTERIOR GARAGE POSTS REQUIRE "SIMPSON" CB SERIES BASES.

9. LUMBER SPECIES:

F. POSTS, BEAMS, HEADERS	NO. 2 DOUGLAS FIR
J. JOISTS AND RAFTERS	NO. 2 DOUGLAS FIR
B. SELLS, PLATES, BLOCKING	NO. 3 DOUGLAS FIR
C. STUDS	STUD GRADE S.P.F.
D. STUDS OVER 10' HIGH	NO. 2 OR BETTER D.F.
E. POST & BEAM DECKING	UTILITY GRADE D.F.
F. FLOOR JOISTS	NO. 2 OR BETTER D.F.
G. GLU-LAM BEAMS	Fb=2400, DRY ADH.
H. H. MATERIALS @ EXT. CONDITIONS	Fd = 2900 E = 2.0 Fv = 290
I. H. MATERIALS @ INT. CONDITIONS	Fd = 2600 E = 1.8 Fv = 285

* PSL INDICATES PARALLEL STRAND LUMBER
** LVL INDICATES LAMINATED VENEER LUMBER
I. METAL HANGERS & FASTENERS USED WITH F.T. LUMBER TO BE STAINLESS STEEL OR HOT DIP GALVANIZED.

10. NAILING SCHEDULE:

JOIST TO SILL OR GIRDER	3-8d	TOE NAIL
BRIDGING TO JOIST	3-8d	TOE NAIL
2" SUBFLOOR TO GIRDER	2-16d	BLIND & FACE
TOP PL. TO STUDS	16d @ 16" o.c.	FACE NAIL
STUD TO SOLE PL.	3-16d OR	TOE NAIL
2-16d		
DOUBLE STUDS	10d @ 24" o.c.	FACE NAIL
DOUBLE TOP PL.	10d @ 24" o.c.	FACE NAIL
CONTINUOUS HEADER (2 PC.)	16d @ 16" o.c.	EDGE NAIL
CLG. JST. TO RL.	3-8d	TOE NAIL
CLG. JST. LAP OVER PL.	3-10d	FACE NAIL
CLG. JST. TO RAFTER	3-10d	FACE NAIL
RAFTER TO TOP PL.	2-16d	TOE NAIL
CONCRETE TIES (EA. END)	3-10d (U.N.O.)	FACE NAIL
BUILT-UP CORNER STUDS	10d @ 24" o.c.	FACE NAIL
PLYWOOD SUBFLOOR	6d @ 8" o.c.	EDGE NAIL
	6d @ 12" o.c.	FIELD NAIL
SOLID BLOCKING @ BEARING	8d @ 8" o.c.	EDGE NAIL
PLY WALL & ROOF SHEATHING	8d @ 12" o.c.	FIELD NAIL
STAPLED ROOF SHEATHING	3" o.c.	EDGE NAIL
PLY SHEATHING @ 1/4" MIN.	8d o.c.	FIELD NAIL
TOP PL. AT INTERSECTIONS	2-10d	FACE NAIL
MULTIPLE JOISTS (UP TO 3)	16d @ 15" o.c. STAGGERED	
	1" x 6s 1/2" W. W. SHEERS	
	STAGGERED @ 24" o.c.	
1" X 6" SPACED SHEATHING	2-8d	FACE NAIL
RAFTERS TO HIPS, VALLEY	4-16d	TOE NAIL
OR RIDGES	3-16d	FACE NAIL
RAFTER LEDGERS	3-20d	EACH STUD

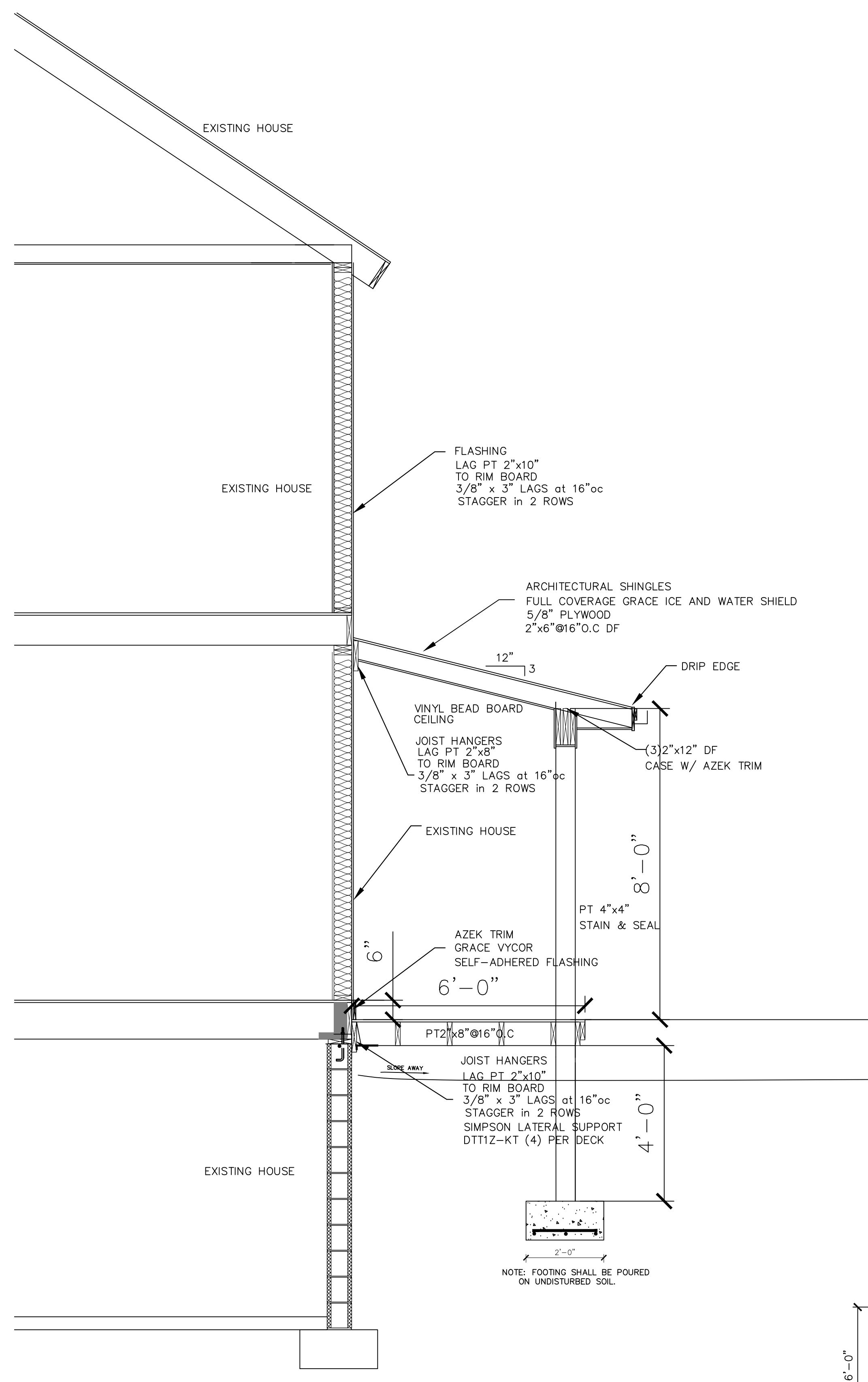
SPAN TABLES

NO. 2 D.F.T. MEMBER	SPAC'G O.C.	FLOOR (10# D.L.)		CEILING (10# D.L.)		RAFTERS (10# D.L.)		TILE (19# D.L.)		COMP./SHAKE (10# D.L.)	
		MAX. SPAN	MIN. SPAN	MAX. SPAN	MIN. SPAN	MAX. SPAN	MIN. SPAN	MAX. SPAN	MIN. SPAN	MAX. SPAN	MIN. SPAN
2 X 6	12"	10'-9"	14'-10"	14'-10"	14'-10"	12'	14'-7"	17'-2"	13'-5"	11'-11"	11'-11"
	16"	8'-1"	10'-5"	10'-5"	10'-5"	12'	10'-2"	15'-0"	9'-8"	9'-8"	9'-8"
	24"	8'-1"	10'-5"	10'-5"	10'-5"	12'	10'-2"	15'-0"	9'-8"	9'-8"	9'-8"
2 X 8	12"	14'-2"	18'-8"	18'-8"	18'-8"	12'	14'-7"	17'-2"	13'-5"	11'-11"	11'-11"
	16"	12'-7"	16'-2"	16'-2"	16'-2"	12'	12'-7"	15'-0"	15'-0"	15'-0"	15'-0"
	24"	10'-3"	13'-5"	13'-5"	13'-5"	12'	10'-2"	12'-5"	12'-5"	12'-5"	12'-5"
2 X 10	12"	17'-5"	22'-11"	22'-11"	22'-11"	12'	17'-11"	21'-2"	18'-5"	16'-5"	16'-5"
	16"	15'-5"	19'-10"	19'-10"	19'-10"	12'	15'-6"	18'-5"	18'-5"	18'-5"	18'-5"
	24"	12'-7"	16'-2"	16'-2"	16'-2"	12'	12'-7"	15'-0"	15'-0"	15'-0"	15'-0"
2 X 12	12"	20'-7"	26'-7"	26'-7"	26'-7"	12'	20'-9"	24'-8"	21'-4"	18'-0"	18'-0"
	16"	17'-10"	23'-0"	23'-0"	23'-0"	12'	18'-0"	21'-4"	21'-4"	21'-4"	21'-4"
	24"	14'-7"	18'-10"	18'-10"	18'-10"	12'	14'-8"	17'-5"	17'-5"	17'-5"	17'-5"

FOUNDATION NOTES:

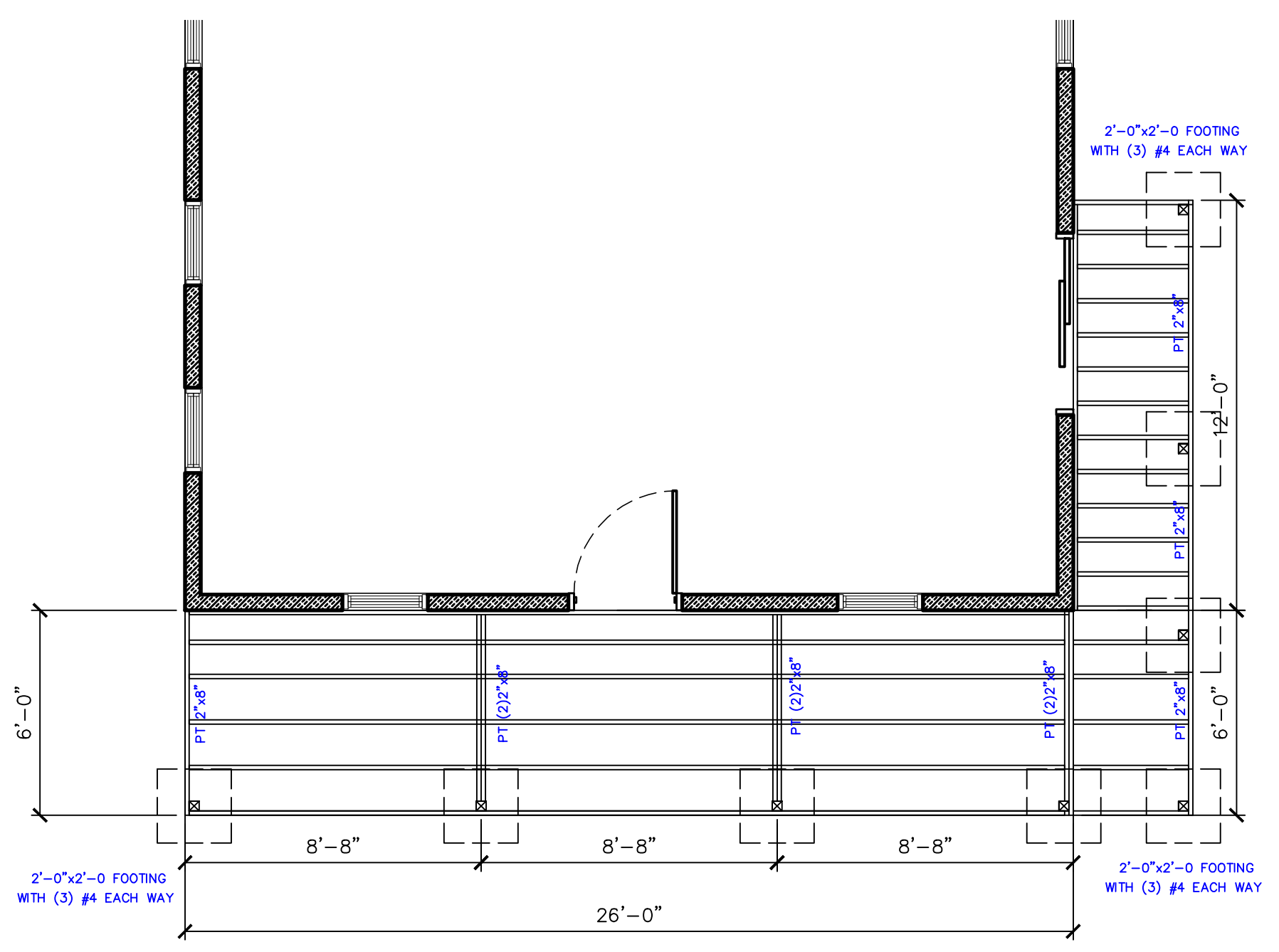
- FOUNDATIONS ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW THE FIN. GRADE.
- SOIL BEARING PRESSURE ASSUMED TO BE 1500 PSF.
- MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS AND RETAINING WALLS.
- ANY FILL UNDER GRADE SUPPORTED SLABS TO BE A MIN. OF 4" IN. GRANULAR MATERIAL COMPACTED TO 95%.
- CONCRETE: - MIX AND 28 DAY STRENGTH OF CONCRETE:

- BASEMENT WALLS & FOUNDATIONS NOT EXPOSED TO WEATHER:	3,500 PSI
- BASEMENT & INTERIOR SLABS ON GRADE:	3,000 PSI
- BASEMENT WALLS & FOUNDATIONS EXPOSED TO THE WEATHER, AND GARAGE SLABS:	4,000 PSI
- PORCHES, STEPS, & GARPORT SLABS EXPOSED TO WEATHER:	4,000 PSI
- MORTAR & GROUT TO BE MIXED PER MFR. REQUIREMENTS.
- GARAGE FLOORS TO SLOPE 1/8"/FT MIN. TOWARDS OPENING AS REQUIRED FOR DRAINAGE. CONCRETE SLABS TO HAVE CONTROL JOINTS AT 10' FT. (MAX.) INTERVALS EA. WAY.
- CONCRETE SIDEWALKS TO HAVE 3/4" IN. TOOLED JOINTS AT 5' FT. (MIN.) O.C.
- REINFORCING STEEL TO BE A-615 GRADE 60. WELDED OPTIONAL WIRE MESH TO BE A-185.
- COVER ENTIRE CRAWL SPACE WITH 6 MIL POLYETHYLENE FILM AND EXTEND UP FOUNDATION WALLS TO P.T. MUDSILL.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESURE TREATED
- BEAM POCKETS IN CONCRETE TO HAVE 1/2" IN. AIRSPACE AT SIDES AND ENDS WITH A MIN. BEARING OF 4" IN.
- WATERPROOF BASEMENT WALLS BEFORE BACKFILLING. PROVIDING A 4" IN. DIA. PERFORATED DRAIN TILE BELOW THE TOP OF THE FOOTING (SEE BUILDING SECTIONS).



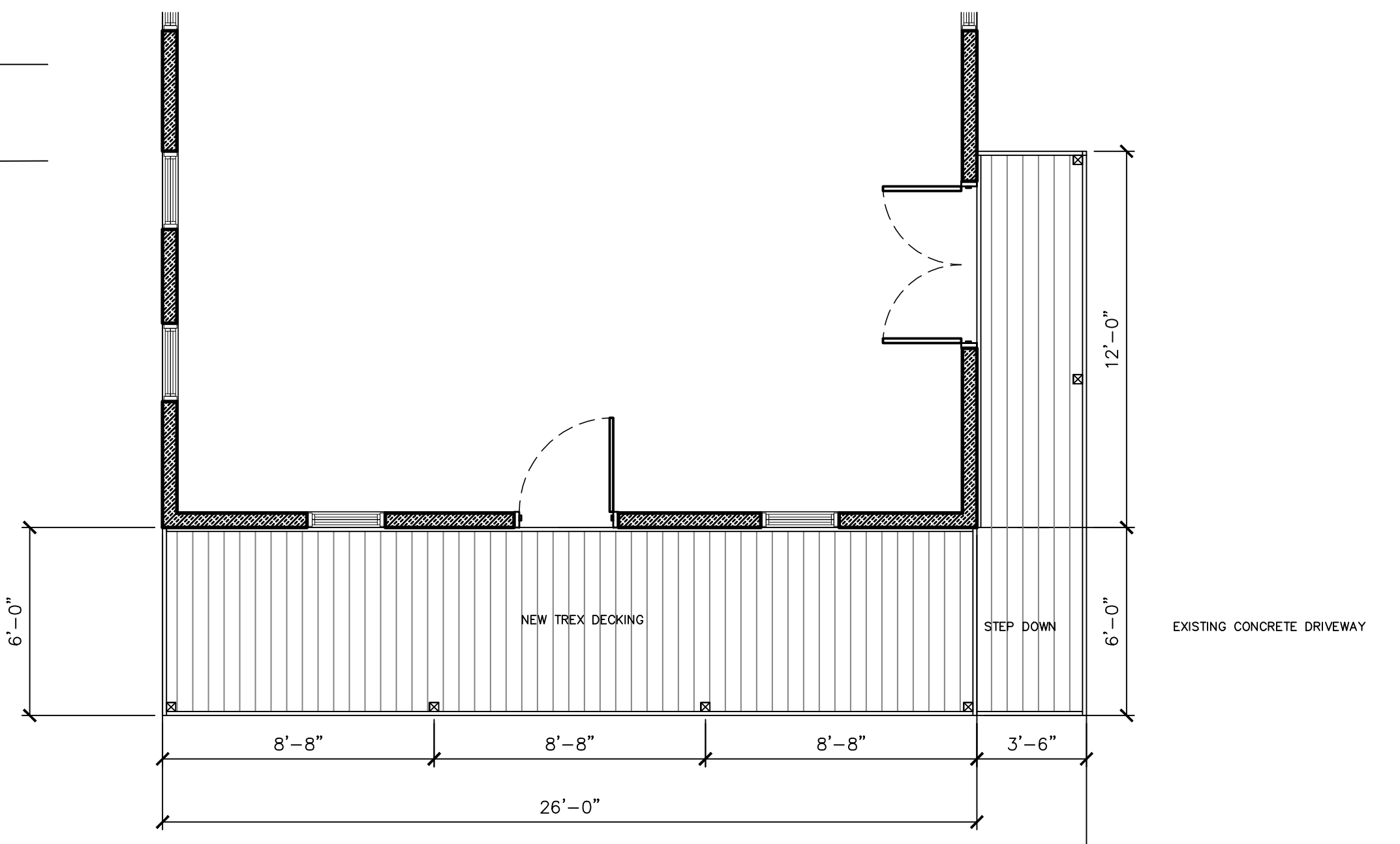
CROSS SECTION

SCALE: 1/2"=1'-0"



FOUNDATION PLAN

SCALE: 1/4"=1'-0"



DECK FLOOR PLAN

SCALE: 1/4"=1'-0"

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REVISION DATE: DRAWN BY:

DATE: 7-13-2023 REVIEWED BY:

DRAWING NO: **A102**



0.42 acre
 Now or formerly lands of/
 Daniel and Rebecca Mergenhagen
 Liber: 1020 @ Page: 310
 Also See Survey Job #5471
 Dated: December 3, 2002
 by DM Canada, LS

Now or formerly lands of/
 Spragues Washington Square
 Instrument # 166829-002

Copies Invalid Unless Embossed

Alteration of This Document
 is Illegal Under Sec. 7209
 Subdivision 2 of The New
 York State Education Law.

d. -deed distance
 m. measured distance

Map and Survey for:
**Howard J. and
 Sandra L. Reed**
 of lands at
7 Mechanic Street

THIS MAP NOT VALID WITH AFFIDAVIT OF NO CHANGE

Being Lot 23 of Huntley's
 Addition to the Vill. of Ellicottville
 Also being a part of Lot 92 & 93
 Twp.# 4, Range # 6 of the
 Holland Land Company's Survey
 Village of Ellicottville
 Cattaraugus County, New York
 Date: June 27, 2013
 Scale: 1IN = 30FT

Prepared By:
D. Michael Canada
 New York State
 Licensed Land Surveyor
 483 North Union Street
 Olean, NY 14760
 N.Y.S. Lic. No.49215
 716-379-7918

Job Number: 7436

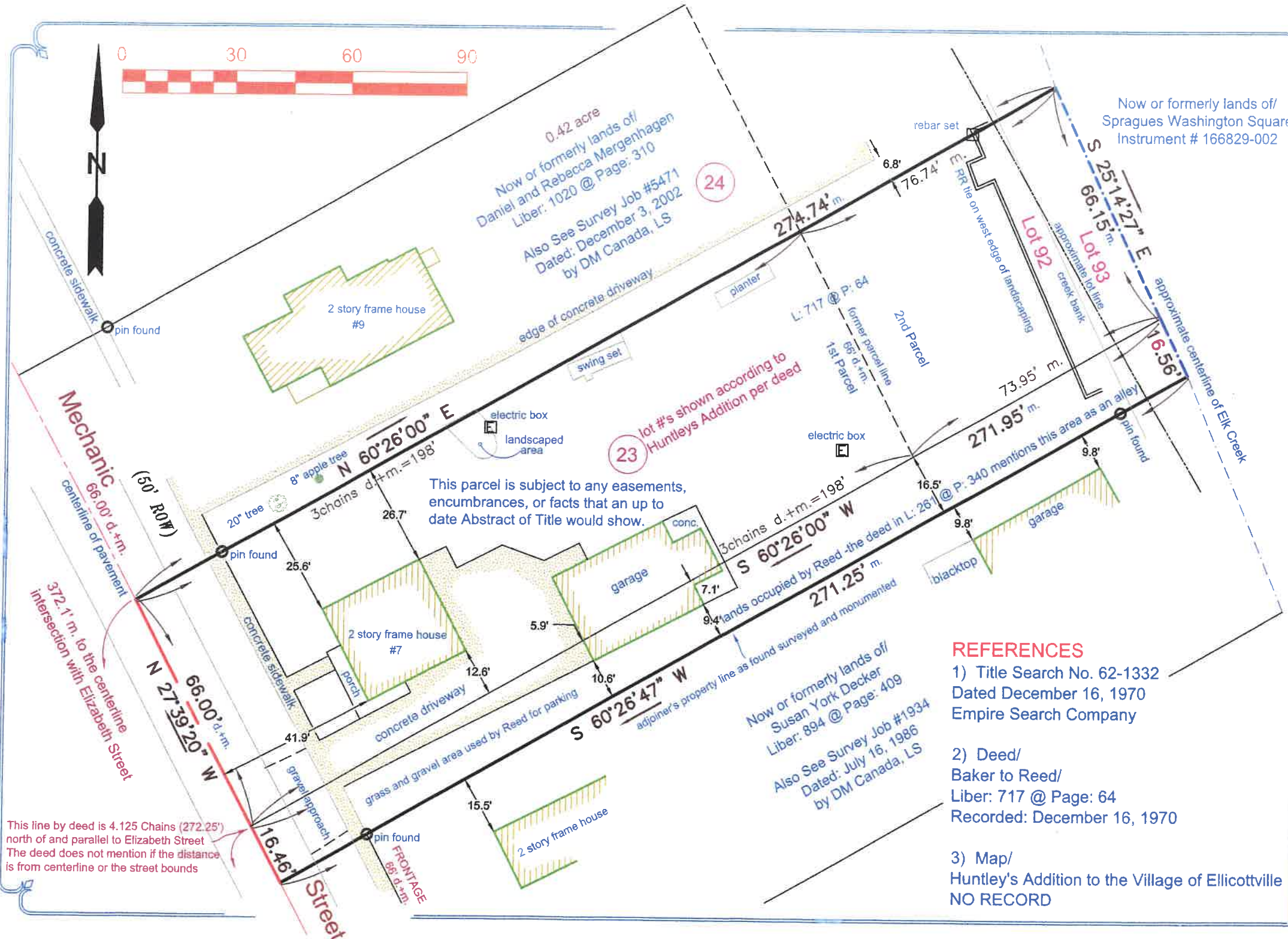
REFERENCES

- 1) Title Search No. 62-1332
 Dated December 16, 1970
 Empire Search Company
- 2) Deed/
 Baker to Reed/
 Liber: 717 @ Page: 64
 Recorded: December 16, 1970
- 3) Map/
 Huntley's Addition to the Village of Ellicottville
 NO RECORD

This parcel is subject to any easements,
 encumbrances, or facts that an up to
 date Abstract of Title would show.

23 lot #'s shown according to
 Huntleys Addition per deed

Now or formerly lands of/
 Susan York Decker
 Liber: 894 @ Page: 409
 Also See Survey Job #1934
 Dated: July 16, 1986
 by DM Canada, LS



PROPOSED DEED DESCRIPTION OF LANDS

7 Mechanic Street, Ellicottville, New York

April 18, 2019

Job No. 7436

ALL THAT TRACT OR PARCEL OF LAND, situate in the Village of Ellicottville, Cattaraugus County, State of New York, being Part of Lot 92 and 93, Township 4, Range 6 of the Holland Land Company's Survey, being more particularly described as Lot 23 of Huntley's Addition to the Village of Ellicottville; Bounded and described as follows:

BEGINNING at a point in the centerline of Mechanic Street, said point being 372.1' northwesterly along centerline from the centerline intersection with Elizabeth Street;

Thence N 60-26-00 E along the southerly bounds of lands now or formerly of Mergenhausen (Liber 1020 : Page 310), a distance of 274.74' to a point in the approximate centerline of Elk Creek;

Thence S 25-14-27 E along the approximate centerline of Elk Creek, also being the westerly bounds of lands now or formerly of Spragues Washington Square (Instrument No. 166829-002), a distance of 82.17' to a point;

Thence S 60-26-47 W along the northerly bounds of lands now or formerly of Decker (Liber 894 : Page 409), a distance of 271.25' to a point in the centerline of Mechanic Street;

Thence N 27-39-20 W along the centerline of Mechanic Street, a distance of 82.46' to the point of beginning.