



**TOWN AND VILLAGE OF
ELLCOTTVILLE BUILDING & PLANNING
DEPARTMENT**

PO BOX 600, ELLICOTTVILLE, NY 14731

Planner: Greg Keyser, (716) 801-3016, E-MAIL: greg.keyser@evlengineering.com

Code Officer: Kelly Fredrickson, (716) 699-4773, E-MAIL: kelly.fredrickson@evlengineering.com

COMBINED APPLICATION

Jurisdiction: TOWN VILLAGE App. # 2023-139

<input type="checkbox"/> PRE-APPLICATION CONFERENCE	<input type="checkbox"/> SPECIAL USE PERMIT
<input type="checkbox"/> INTENT TO SUBDIVIDE	<input type="checkbox"/> MASTER PLANNED DEVELOPMENT
<input type="checkbox"/> HISTORIC DISTRICT REVIEW	<input checked="" type="checkbox"/> ARCHITECTURAL DESIGN REVIEW
<input type="checkbox"/> SITE PLAN REVIEW	<input type="checkbox"/> AMENDMENT TO SITE PLAN
<input type="checkbox"/> ZONING ORDINANCE AMENDMENT	<input type="checkbox"/> ZONING MAP AMENDMENT

APPLICANT INFORMATION:

Applicant's name: NILEE HALL Date: APRIL 17, 2023

Mailing address: 38 MONROE ST, ELLICOTTVILLE, NY 14731

Cell Phone Number: 789-247-4846 E-Mail: NILEE172015@GMAIL.COM

Applicant must be (check all that apply): Owner Operator Lessee

Applicant's Engineer or representative: SCHENNE / ASSOCIATES (JOHN SCHENNE)

Address: 967 LATHAM RD EAST MONROE NY 14052

Phone #: 716-423-9345 E-Mail: JOHN@SCHENNE.COM

PROPERTY OWNER INFORMATION (if different than Applicant)

Name: _____

Mailing Address: _____

Cell Phone Number: _____ E-Mail: _____

PROPERTY / FACILITY NAME

Address: _____

Property tax map #: _____

Current use of property:

Description of Proposed Project/Use (attach additional pages, survey and plans):

Zoning Requirements from Town/Village Zoning Law

Front yard setback: _____ Rear yard setback: _____
Side yard setback: _____ Combined side: _____
Minimum lot size: _____ Width: _____
Height: _____ Floor area ratio: _____ (Village)
Usable Open space: _____

Site Information

Size of site: _____ Sq. Ft. Size of area to be developed: _____ Sq. Ft.
Number of proposed lots: _____
Proposed method of Sanitary Sewage disposal: _____
Proposed method of Water Supply: _____

If public utilities are proposed, are they available to site?

Sanitary Sewer: Yes No Water: Yes No

Will the project require the formation or extension of a Water and/or Sanitary Sewer District?

Sanitary Sewer: Yes No Water: Yes No

Main Structure:

Construction type: _____ Front yard setback: _____ feet
Height: _____ stories, _____ feet Side yard setback: _____ feet
of family units: _____ Total of both side yard setbacks: _____ feet
Size of lot: _____ Sq. Ft. Rear yard setback: _____ feet
Usable Open Space: _____ % Floor area ratio: _____ (village)
Corner or interior lot? _____ Other: _____

Accessory Building:

Description: _____
Percentage of yard: _____ Height: _____ feet
Setback from rear lot line: _____ feet Setback from side lot line: _____ feet

Floodplain:

FIRM Zone _____ BFE _____
Flood Plain Development Permit Required? YES NO

ATTACHMENTS

Attach all relevant items listed in the Town/Village of Ellicottville Zoning Law for type of application(s) being submitted. Additional copies of all plans, documents and other application materials may be required. See attached list of required forms and information needed for type of application being submitted. Deadline for submittal is three (3) weeks prior to regularly scheduled meeting date. Meeting dates are subject to change by the Board Chair.

SIGNATURES

Applicant and Owner (if different) must sign the application.

I hereby certify that I have examined this application and know the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The acceptance or approval of this application does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction, land use or the performance of construction. I have read and am familiar with the Town/Village of Ellicottville zoning law that is relevant to this application(s).

Permission to inspect – I hereby consent to Town/Village of Ellicottville Staff inspection of the project site and adjacent property areas. Town/Village staff may enter the property without notice. Inspection may occur without the owner, applicant or agent present, If the property is posted with “keep out” signs or fenced with an unlocked gate, staff may still enter the property. Agency staff may take measurements, analyze site physical characteristics, take soil and vegetation samples, sketch and photograph the site.

Applicant Signature: _____ Date: Apr 17/23

Applicant must be (check all that apply): Owner Operator Lessee

Applicant Name:^{Print} NILEC HALL

Property Owner's Signature (if different than applicant) _____ Date: _____

Property Owner's Name:^{Print} _____

Office use only:

Application Fee(s) \$250

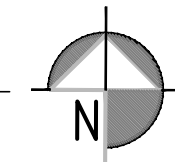
Received by: [Signature] on 4/17/23 (Date)

Project Number(s): _____



PROJECT LOCATION

LOCATION MAP
SCALE: N.T.S.



SITE ZONING INFORMATION

EXISTING ZONING: VR-Village Residential District
EXISTING USE: Single Family Residence

OWNER OF RECORD

Nigel Hall & Sandra Keeso-Hall
38 Monroe Street,
Ellicottville, NY 14731

APPLICANT

Nigel Hall & Sandra Keeso-Hall
38 Monroe Street,
Ellicottville, NY 14731

GENERAL NOTES

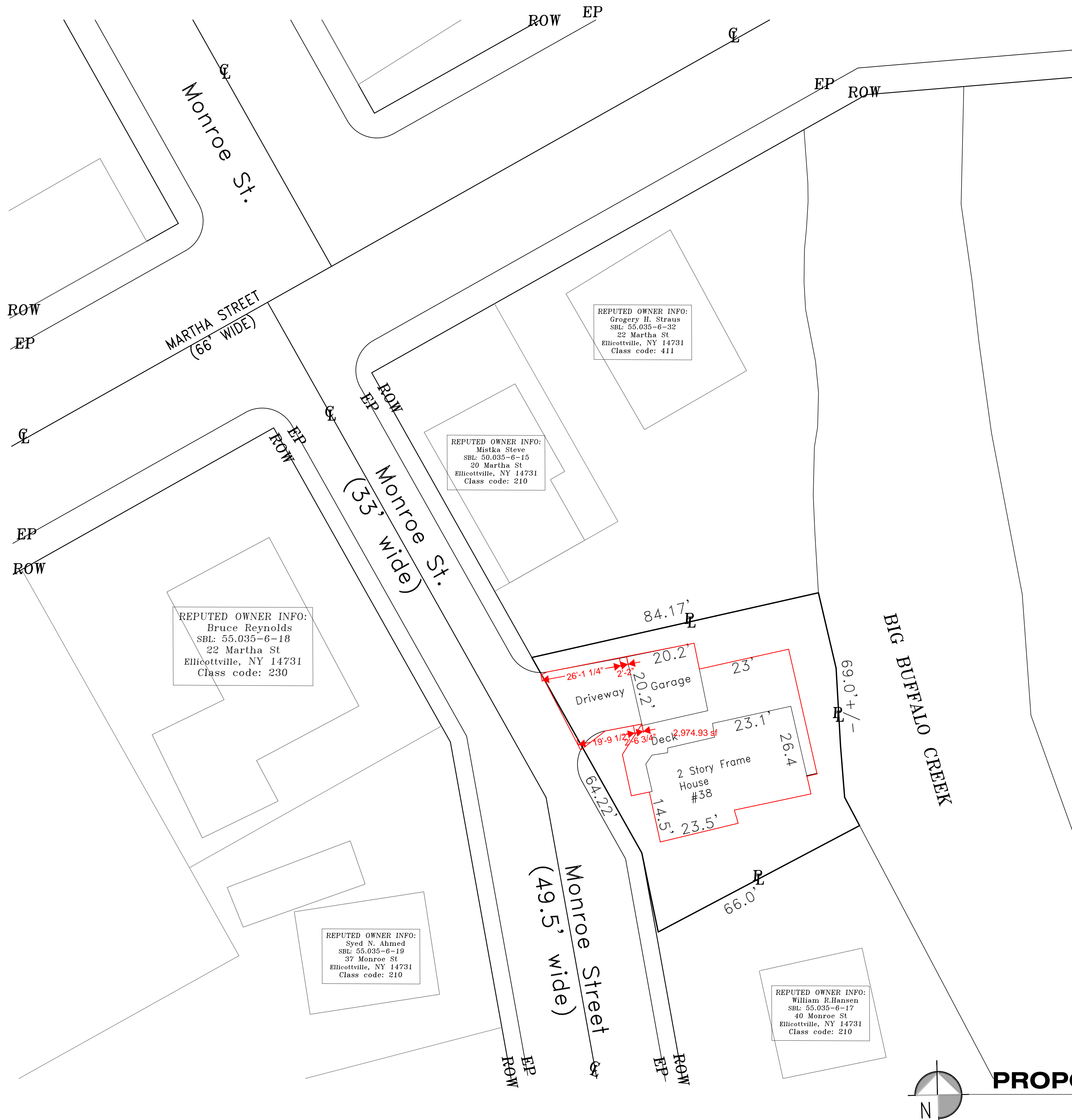
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPALITIES CONSTRUCTION SPECIFICATIONS WHERE APPLICABLE AND OR SUBJECT TO THE LATEST REVISIONS BY THE TOWN ENGINEER.
2. STUMPS AND BRUSH MAY NOT BE BURIED ON SITE
3. ALL EXISTING AND PROPOSED ELEVATIONS ARE U.S.G.S. DATUM
4. PROVIDE SELECT FILL UNDER ALL DRIVEWAY AND PARKING AREAS FOR UTILITY BACKFILL
5. THE DEPTHS AND LOCATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AND UNDERGROUND UTILITY LOCATOR IN ACCORDANCE WITH APPLICABLE REGULATIONS & LAWS BEFORE BEGINNING WORK. CONTRACTOR SHALL USE ALL MEANS POSSIBLE INCLUDING METAL DETECTORS.

LOT LIGHTING RECOMMENDATION

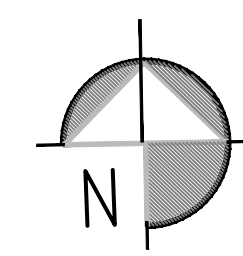
WP-1 24 WATT LED FIXTURES, RAB MODEL NO.: WPLED24W/PC; 9'-18" VARIES
ALL FIXTURES TO BE INSTALLED AT 90 DEGREE ANGLE.
PROVIDE CONDUIT & WIRING IN ACCORDANCE W/ NEC.
PROVIDE DARK SKY COMPLIANT SHIELDING

LEGEND

LABEL	SYMBOL	LABEL	SYMBOL
SANITARY MANHOLE	⊙	PROPOSED ELEVATION	+78.3
WATER MANHOLE/VALVE	⊙	EXISTING ELEVATION	77.0
TRAFFIC SIGNAL MANHOLE	⊕	GRASS AREA	▨
STORM SEWER LINE	— ST —	NOT FIELD VERIFIED	N.F.V.
OVERHEAD ELECTRIC LINE	— OE —	POWER POLE	⊙ P.P.
UNDERGROUND ELECTRIC LINE	— UE —	TRAFFIC SIGNAL	⊙ T.S.
OVERHEAD TELEPHONE LINE	— OT —	RECEIVER; CATCH BASIN	⊕ CB
UNDERGROUND TELEPHONE LINE	— UT —	FIRE HYDRANT	⊕
O.H. ELECTRIC & TELEPHONE	— OE&T —	MANHOLE	⊙
GAS LINE	— G —	CLEAN OUT	⊙
WATER LINE	— W —	PROPERTY LINE	— A —
SANITARY SEWER LINE	— SS —	CENTER LINE	— C —
UTILITY POLE	⊕ U.P.	ASPHALT	▨
EXISTING CONTOUR	— 600 —	CONC. PAVEMENT	▨
PROPOSED CONTOUR	— 600 —	GRAVEL/STONE	▨
SIGN	⊕	CURB	—
EXISTING TREE	⊙	PICNIC TABLE	⊕
EXISTING BUSH	⊕	GAS METER	⊕
CLEAN OUT TO GRADE	⊕	EXIST. PIPE FLOW ARROW	▷
REBAR FOUND	⊙	PIPE FOUND	⊙



PROPOSED SITE PLAN 1
SCALE: 1/16" = 1' C-1



NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
3	4-3-2023	PERMIT			
2	2-19-2023				
1	2-10-2023				

IT IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, OTHER THAN THOSE WHOSE SEAL APPEARS ON THIS DRAWING, TO ALTER IN ANY WAY AN ITEM ON THIS DRAWING. IF AN ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



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SCHENNE & ASSOCIATES
CONSULTING ENGINEERS
967 Luther Road
East Aurora, NY 14052
(716) 655-4991; john@schenne.com

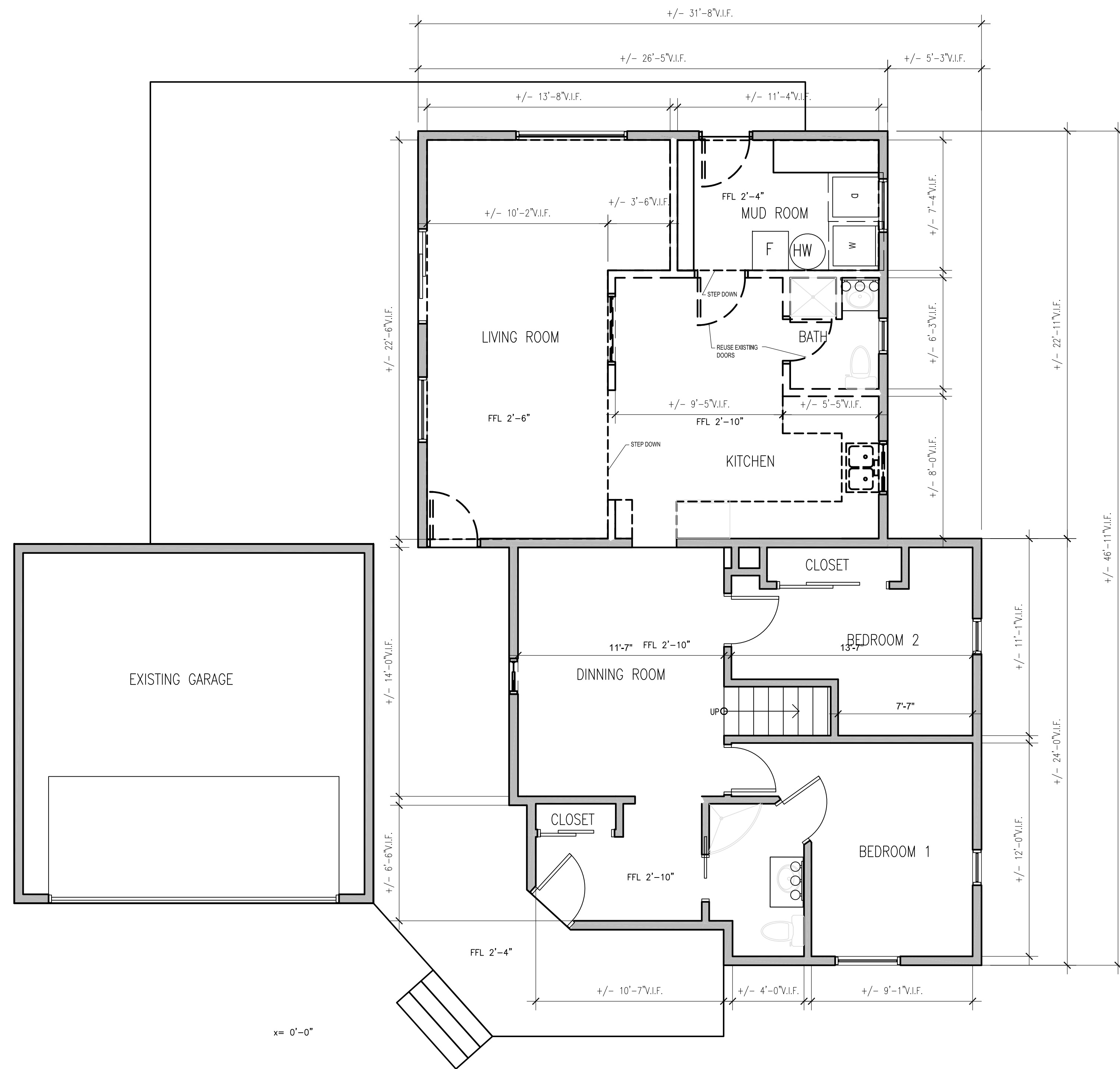
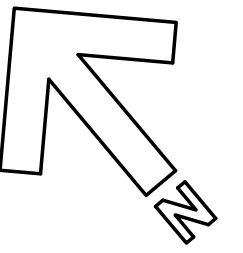
OWNER
Nigel Hall & Sandra Keeso-Hall
38 Monroe Street,
Ellicottville, NY 14731
(905)599-7174
sandra.keesoahall@visiontravel.ca

PROJECT
New Addition & Renovation
38 Monroe Street,
Ellicottville, NY 14731

JOB NUMBER # 23 - 4064
CREATED BY: XW
PROPOSED SITE PLAN
SCALE: AS NOTED DATE: 2/1/2022 DWG. C-1

SINGLE FAMILY ADDITION

38 Monroe Rd
Ellicottville, NY, 14731



EXISTING FIRST FLOOR
SCALE: 1/4"=1'-0"

1
D-1

DEMOLITION NOTES:

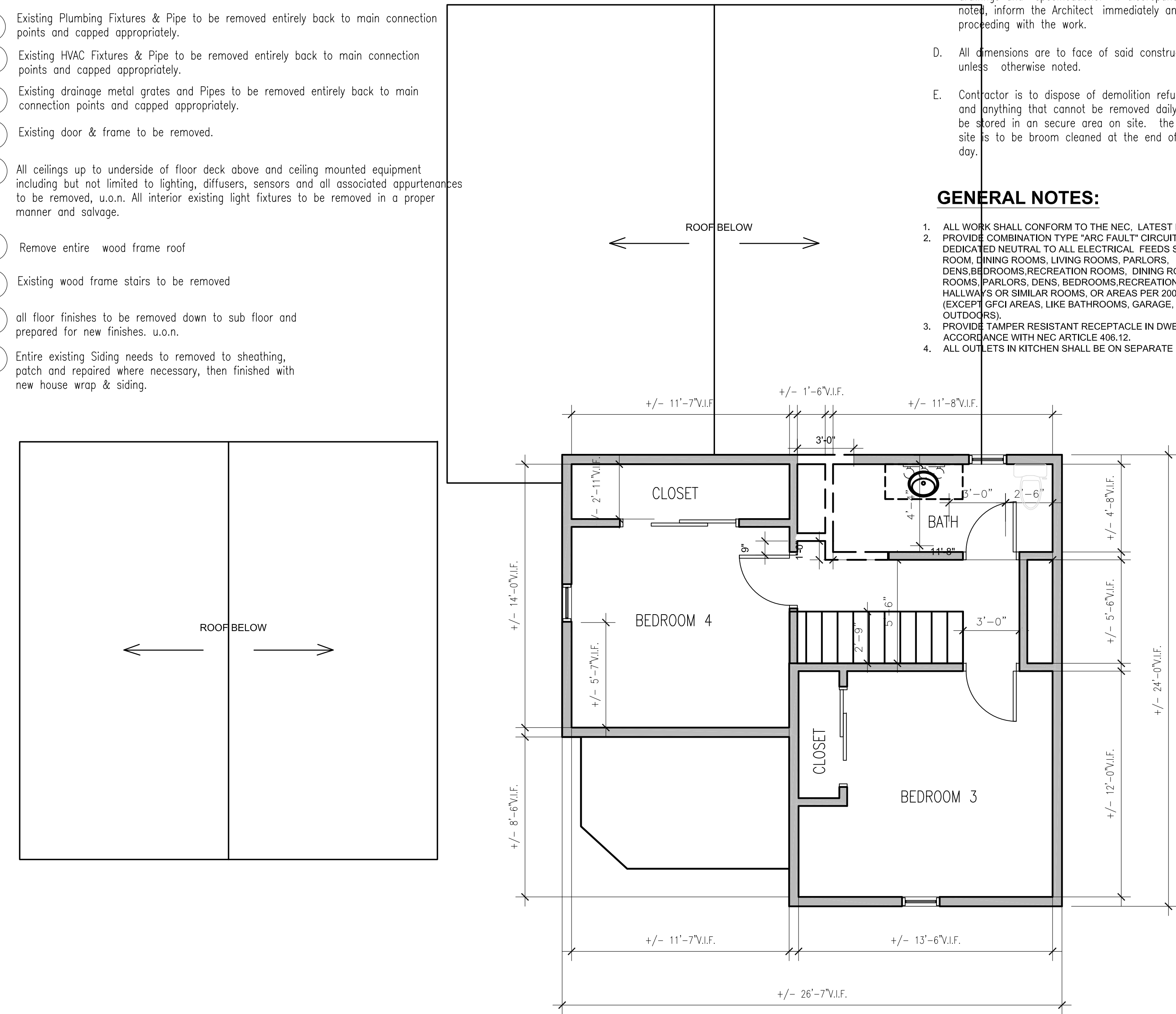
- 1 Remove all debris
- 2 Other appurtenances to be removed entirely to accommodate a new window. For exterior walls provide temporary plywood enclosures or temporary door entrances during construction. Refer to Structural drawings for lintel requirements.
- 3 Existing Electrical Panel and wires to be removed in a proper manner. Close any and all penetrations into buildings temporarily and weathertight in a method to be determined by contractor and approved by architect
- 4 Existing Electrical conduits and wires to be removed in a proper manner.
- 5 Interior Partition Wall to be Removed and discarded. Partition walls indicated are of stud and drywall construction. All wall mounted equipment including but not limited to lighting, mirrors, sensors and all associated appurtenances to be removed, u.o.n.
- 6 Balloon frame construction requires all new exterior 2x4 studs and re-align with all ceiling joists. Exterior walls, sill plates and structural pier underneath are compromised with major damage, weathered, and/ or poor construction and maintenance
- 7 Existing Plumbing Fixtures & Pipe to be removed entirely back to main connection points and capped appropriately.
- 8 Existing HVAC Fixtures & Pipe to be removed entirely back to main connection points and capped appropriately.
- 9 Existing drainage metal grates and Pipes to be removed entirely back to main connection points and capped appropriately.
- 10 Existing door & frame to be removed.
- 11 All ceilings up to underside of floor deck above and ceiling mounted equipment including but not limited to lighting, diffusers, sensors and all associated appurtenances to be removed, u.o.n. All interior existing light fixtures to be removed in a proper manner and salvage.
- 12 Remove entire wood frame roof
- 13 Existing wood frame stairs to be removed
- 14 All floor finishes to be removed down to sub floor and prepared for new finishes. u.o.n.
- 15 Entire existing Siding needs to be removed to sheathing, patch and repaired where necessary, then finished with new house wrap & siding.

DEMOLITION NOTES:

- A. DO NOT SCALE DRAWINGS. If there is a dimension that is not shown on the construction documents that requires clarification, request that clarification of the Architect.
- B. The Contractor shall verify all dimensions in the field and in these construction documents and immediately report any discrepancies to the architect.
- C. All work shall conform to the requirements of all Local, State and Federal codes. Local, State and Federal Codes are to take precedence over the drawings and specifications. If discrepancy is noted, inform the Architect immediately and before proceeding with the work.
- D. All dimensions are to face of said construction, unless otherwise noted.
- E. Contractor is to dispose of demolition refuse daily and anything that cannot be removed daily is to be stored in a secure area on site. The work site is to be broom cleaned at the end of each day.

GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE NEC, LATEST EDITION
2. PROVIDE COMBINATION TYPE "ARC FAULT" CIRCUIT BREAKERS WITH DEDICATED NEUTRAL TO ALL ELECTRICAL FEEDS SERVING FAMILY ROOM, DINING ROOMS, LIVING ROOMS, PARLORS, BEDS, BEDROOMS, RECREATION ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, DENS, BEDROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS, OR AREAS PER 2008 NEC 210.12(B), (EXCEPT GFCI AREAS, LIKE BATHROOMS, GARAGE, KITCHEN, AND OUTDOORS).
3. PROVIDE TAMPER RESISTANT RECEPTACLE IN DWELLING AREA IN ACCORDANCE WITH NEC ARTICLE 406.12.
4. ALL OUTLETS IN KITCHEN SHALL BE ON SEPARATE CIRCUITS.



EXISTING SECOND FLOOR
SCALE: 1/4"=1'-0"

2
D-1

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
3	4-3-2023	PERMIT			
2	2-19-2023				
1	2-10-2023				

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New Addition & Renovation
38 Monroe Street,
Ellicottville, NY 14731

JOB NUMBER # 23 - 4064
DEMO PLANS
SCALE: AS NOTED
DATE: 2/1/2022
DWG. D-1

CREATED BY: XW

GENERAL NOTES

1. VERIFICATION: VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. CONFLICTS: NOTES AND DETAILS ON THE DRAWINGS TAKE PRECEDENCE OVER THE GENERAL NOTES AND TYPICAL DETAILS IN CASE OF CONFLICT.
3. CODES: ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NYS UNIFORM FIRE PREVENTION AND BUILDING CODE.
4. SUBSTITUTIONS: PROVIDE MANUFACTURER'S APPROVED PRODUCT EVALUATION REPORTS (ICBO REPORTS) AND A LIST OF ALL PROPOSED SUBSTITUTIONS TO THE ENGINEER FOR REVIEW AND WRITTEN APPROVAL BEFORE FABRICATION.
5. SIMILAR WORK: WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, SUCH DETAILS SHALL BE THE SAME AS FOR SIMILAR WORK SHOWN ON THE DRAWINGS.
6. PIPES, DUCTS, SLEEVES, CHASSES, ETC.: SHALL NOT BE PLACED IN SLABS, BEAMS, OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC., UNLESS SPECIFICALLY SHOWN. OBTAIN PRIOR WRITTEN APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, ETC.
7. EXCAVATIONS: LOCATE AND PROTECT UNDERGROUND OR CONCEALED CONDUIT, PLUMBING OR OTHER UTILITIES WHERE NEW WORK IS BEING PERFORMED.
8. CONSTRUCTION LOADS: MATERIALS SHALL BE EVENLY DISTRIBUTED IF PLACED ON FRAMED FLOORS OR ROOFS. LOADS SHALL NOT EXCEED THE ALLOWABLE LOADING (LL=40 PSF) FOR THE SUPPORTING MEMBERS AND THEIR CONNECTIONS.
9. CONSTRUCTION METHODS AND PROJECT SAFETY: THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. NEITHER THE OWNER NOR ENGINEER WILL ENFORCE SAFETY MEASURES OR REGULATIONS. CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING AND BRACING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
10. CHANGES TO THE DRAWINGS: OBTAIN PRIOR WRITTEN APPROVAL.
11. TO THE BEST OF MY KNOWLEDGE THIS STRUCTURE MEETS OR EXCEEDS THE REQUIREMENTS OF THE NYS ENERGY CONSERVATION CODE.

12. 2020 UCS FOR NEW STATE CODES, SMOKE ALARMS, CARBON MONOXIDE ALARMS, SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA, EACH STORY OF THE DWELLING AND SHALL BE HARDWIRED AND INTERCONNECTED. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND EACH STORY OF THE DWELLING. STRUCTURES 3-STORIES OR MORE IN HEIGHT REQUIRED SPRINKLER SYSTEMS.
13. CENTER MATING WALL / FIRE / TENANT SEPARATION WALL EXTENDS TO UNDERSIDE OF ROOF SHEATHING TO ENSURE THE CONTINUITY OF THE FIRE SEPARATION.
14. ALL STRUCTURAL FRAMING INCLUDING FLOOR JOIST SPANS, CEILING FRAMING SPANS, ROOF RAFTER SPANS, GIRDER SPANS AND HEADER SPANS SHALL COMPLY WITH NYS RESIDENTIAL CODES CHAPTER 5, CHAPTER 6, CHAPTER 8 AND CHAPTER 9.
15. DRAFTSTOPS, FIRESTOPS AND FIRE BLOCKING SHALL BE INSTALLER PER 2020 UCS.
16. EACH DWELLING SHALL HAVE A PRIMARY LOCATION MAIN ENTRANCE DOOR. THIS DOOR SHALL BE BOTH SWING TYPE AND 36" MINIMUM WIDE.
17. IF NOT VENTED MECHANICALLY TO THE EXTERIOR, BATHROOMS AND TOILET ROOMS SHALL HAVE A MINIMUM OPENABLE AREA OF 1/3 SQ.FT. 1/3 SQ.FT. FOR KITCHENS (60 SQ.FT. OR MORE) SHALL HAVE 4% OF FLOOR AREA OPENING FOR MINIMUM VENTILATION.
18. GARAGES AND ATTACHED GARAGES SHALL BE SEPARATED BY A 1/2 HOUR FIRE RATED WALL MINIMUM. EACH OPENING IN WALL SHALL HAVE A 1/2 HOUR RATING AND SELF-CLOSING DOOR. ALL GARAGE BEARING WALLS AND GIRDERS REQUIRE A 1/2 HOUR FIRE RATING PER UL #S 307, 413 AND 531.
19. INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH NYS CODE R702.
20. INTERIOR WALL AND CEILING FINISH MATERIALS IN ANY LOCATION SHALL BE CLASS C.
21. COMPONENT AND CLADDING LOADS, ROOF SHINGLE NAILING, PROTECTION OF OPENINGS ARE AS REGULATED BY APPROPRIATE PRESCRIPTIVE SECTIONS OF THE 2017 UCS UNIFORM CODE SUPPLEMENT.

FLOOR PLAN NOTES

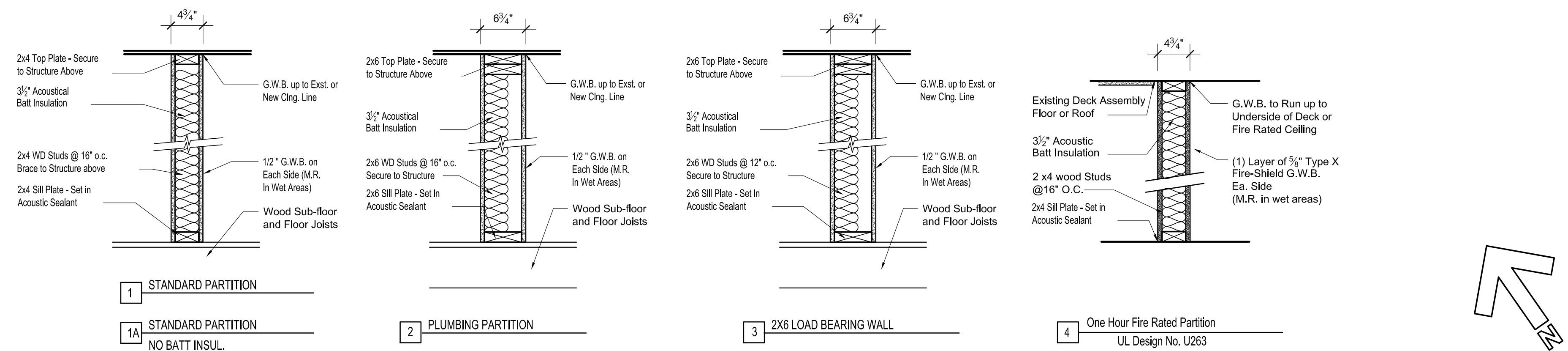
1. DO NOT SCALE DRAWINGS. IF THERE IS A DIMENSION THAT IS NOT SHOWN ON THE CONSTRUCTION DOCUMENTS THAT REQUIRES CLARIFICATION, REQUEST THAT CLARIFICATION OF THE ARCHITECT.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION DOCUMENTS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT.
3. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL CODES. LOCAL, STATE AND FEDERAL CODES ARE TO TAKE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS. IF DISCREPANCY IS NOTED, INFORM THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING WITH THE WORK.
4. ALL DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTIONS AND DETAILS SHALL APPLY TO ALL SIMILAR, OPPOSITE HAND, OR SYMMETRICAL PLANS, SECTIONS OR DETAILS.
5. ALL NEW WALLS SHALL BE ALIGNED WITH THE CENTER OR NEAREST EDGE (AS INDICATED ON DWGS) OF EXISTING WALLS, COLUMNS, WINDOW OPENINGS, ETC. U.O.N.
6. ALL DIMENSIONS ARE TO FACE OF SAID CONSTRUCTION, UNLESS OTHERWISE NOTED.
7. THE GC SHALL MAINTAIN THE SITE AND BUILDING EXTERIOR AND INTERIOR IN A SAFE AND CLEAN MANNER FOR THE OWNER.
8. GC SHALL CONSTRUCT, MAINTAIN, REMOVE AND REINSTALL ANY TEMPORARY STRUCTURES NECESSARY TO MAINTAIN BUILDING ACCESS DURING WORKING HOURS AND SET IN PLACE ANY TEMPORARY STRUCTURES NECESSARY AFTER WORK HOURS UNTIL PERMANENT BUILDING ACCESS IS ESTABLISHED. THE GC SHALL MAINTAIN AS LONG AS POSSIBLE THE EXISTING ACCESS TO THE BUILDING.
9. ALL FINISHES NOT INVOLVED IN AREAS OF CONSTRUCTION SHALL BE PROTECTED IN SUCH A MANNER THAT WHEN THE WORK IS COMPLETE THE FINISHES WOULD BE IN THE SAME CONDITION THEY WERE BEFORE THE WORK STARTED. ANY UNFORTUNATE DAMAGE TO EXISTING WORK TO REMAIN WILL BE RESTORED AT NO ADDITIONAL COST TO THE OWNER.
10. COORDINATE ALL NEW ARCHITECTURAL WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DESIGN-BUILD ENGINEERING DRAWINGS, DOCUMENTS AND SPECIFICATIONS.

POWER LEGEND

SYMBOL	IDENTIFICATION
	20A 120V FLUSH MOUNT DUPLEX RECEPTACLE MOUNT 18" AFF TO CENTER
	EXISTING OUTLET
	GFCI DUPLEX OUTLET Ground Fault Interrupter
	TAMPER RESISTANT RECEPTACLE
	CABLE TV OUTLET, +18" A.F.F., UNLESS OTHERWISE NOTED. PROVIDE 3/4" CONDUIT W/BUSHINGS AND PULLSTRING STUBBED UP INTO CEILING
	THERMOSTAT.
	RECESSED ELECTRICAL PANEL
	WALL BOX DATA/COMM. OUTLET, +18" A.F.F., UNLESS
	CARBON MONOXIDE/ SMOKE COMBO DETECTOR
	CARBON MONOXIDE DETECTOR
	DUCT MOUNTED HEAT DETECTOR
	DUCT MOUNTED SMOKE DETECTOR
	10 LB FIRE EXTINGUISHER W/ WALL HOOK

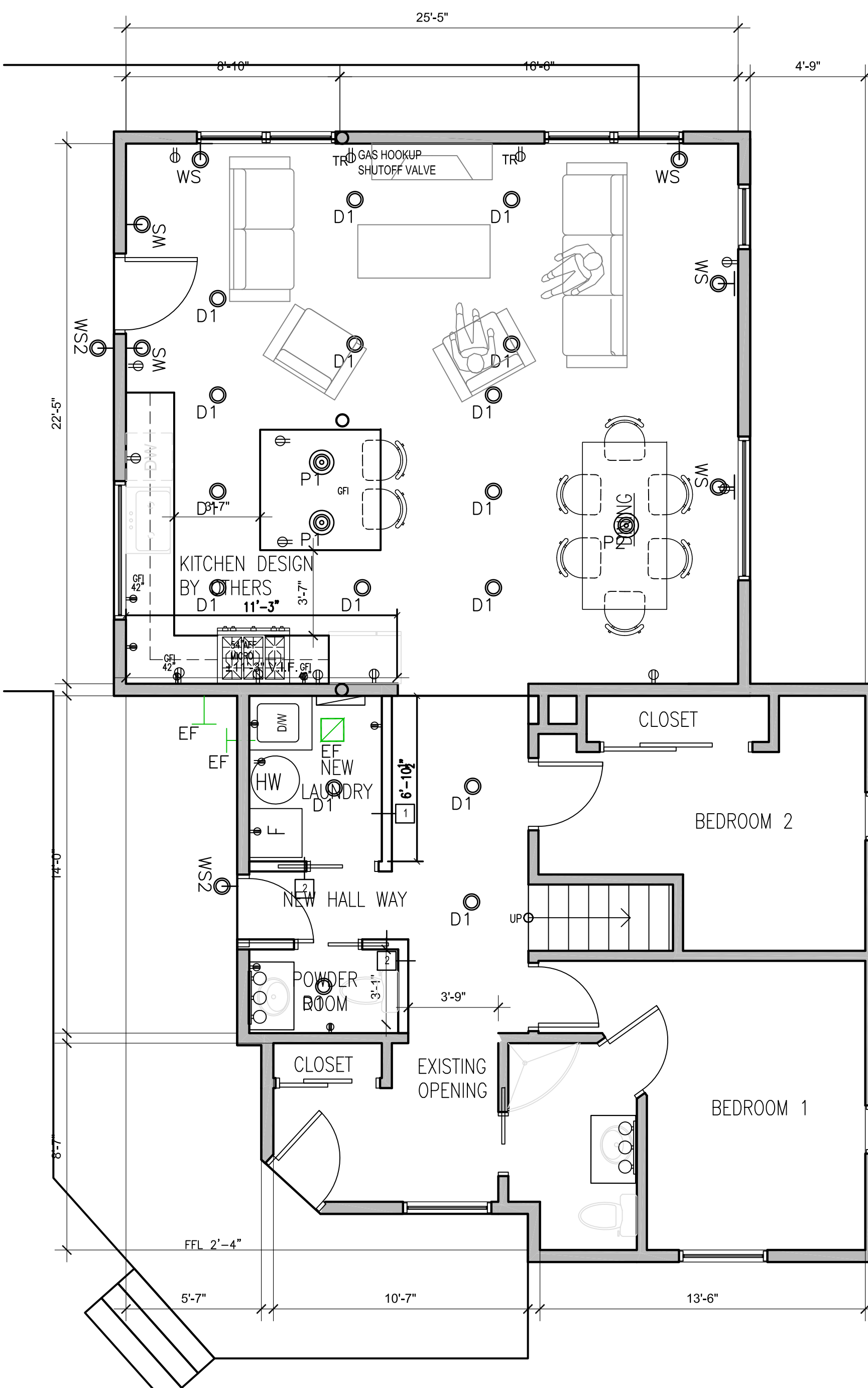
NOTES

1. ALL RECEPTACLES TO BE LOCATED AT 18" AFF UNO
2. ALL CABLE/DATA BOXES TO BE LOCATED AT 18" AFF UNO
3. ALL ABOVE COUNTER RECEPTACLES TO BE 44" AFF UNO
4. ALL SWITCHES TO BE 48" AFF UNO



wall section 4

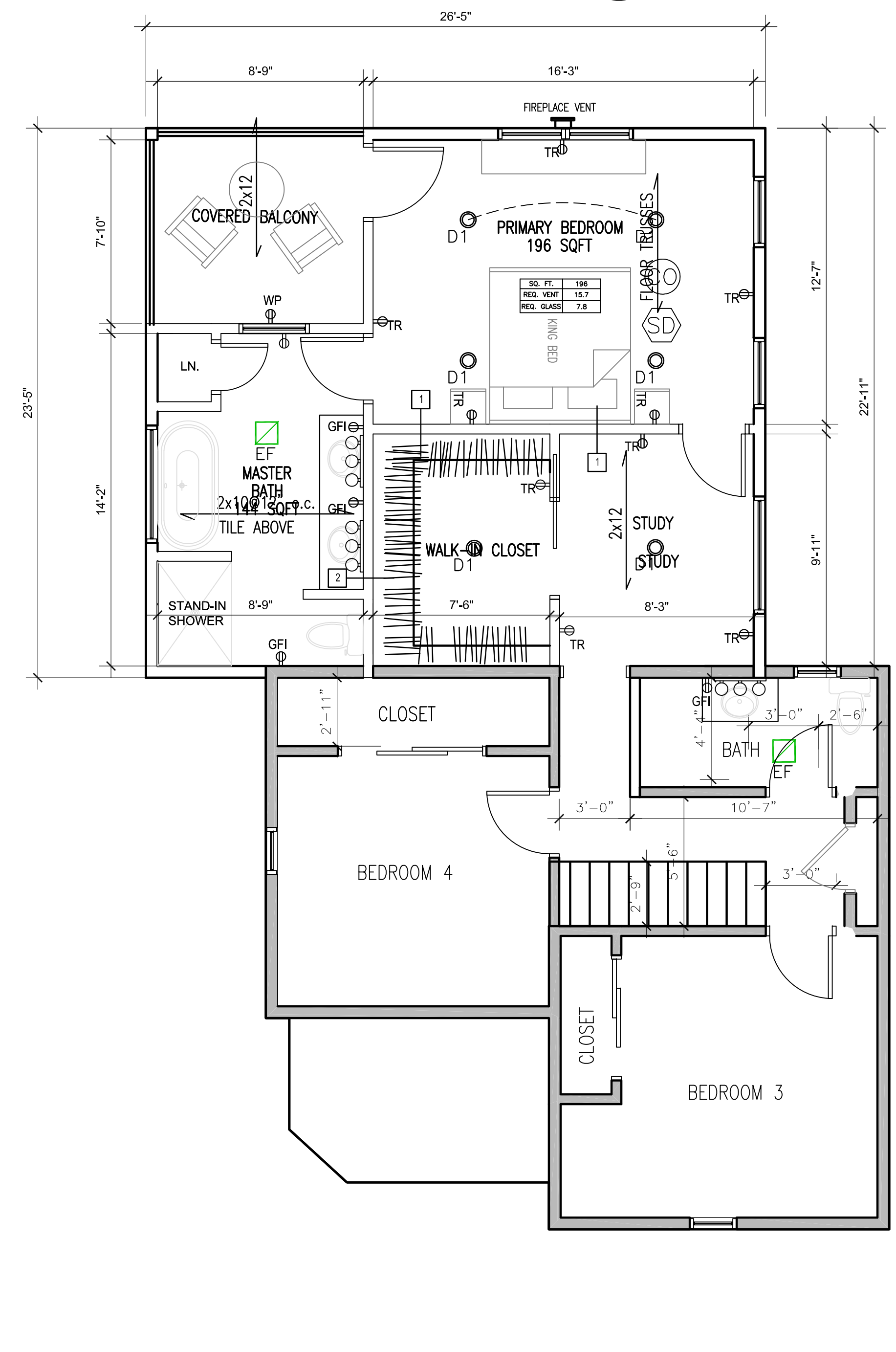
n.t.s. A-0



1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

1 A-1



2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

2 A-1

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
3	4-3-2023	PERMIT			
2	2-19-2023				
1	2-10-2023				

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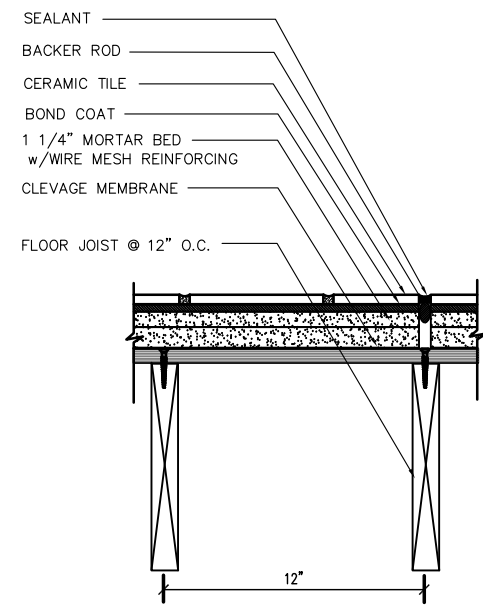
PROJECT

New Addition & Renovation
38 Monroe Street,
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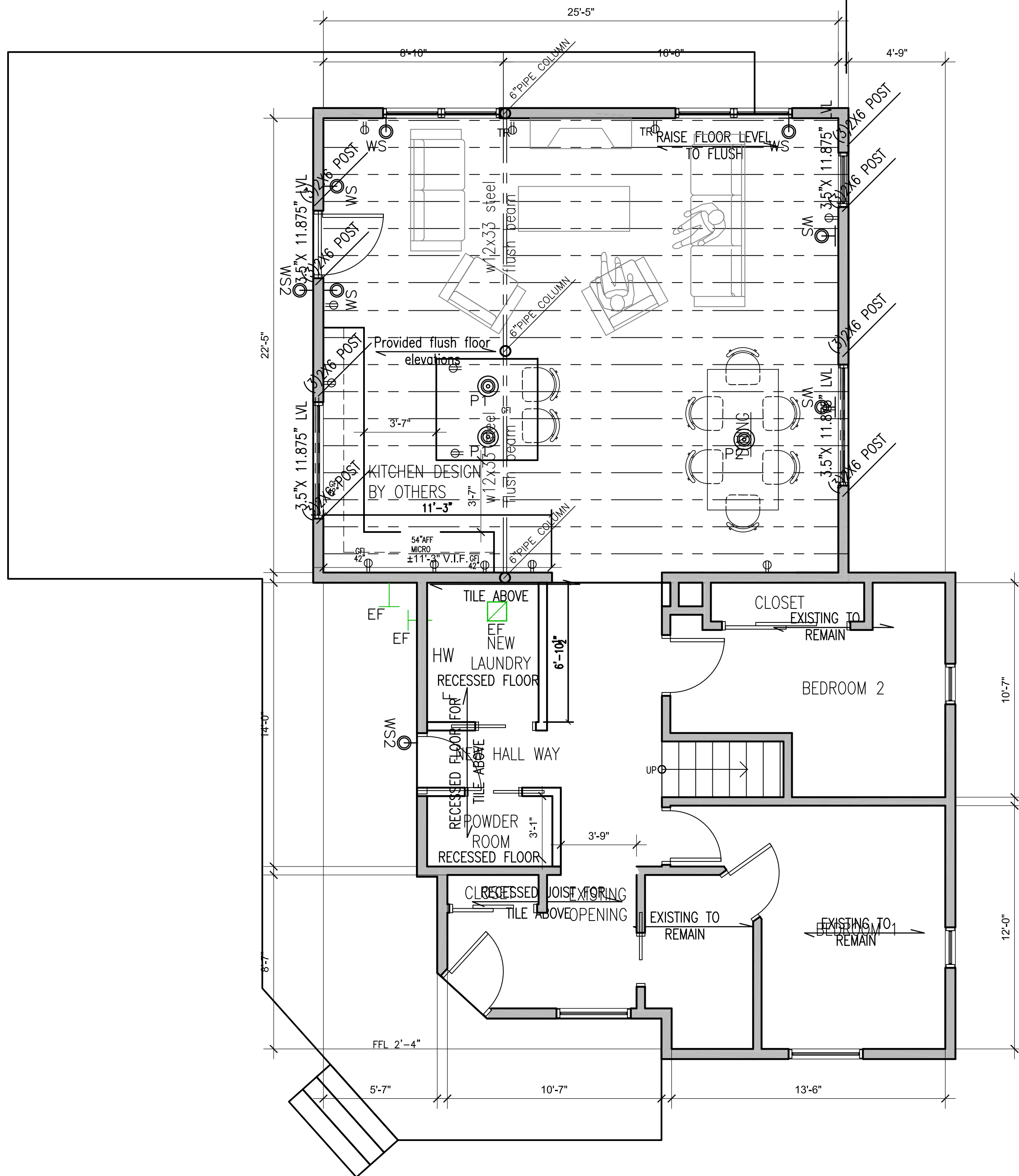
JOB NUMBER # 23 - 4064
CREATED BY: XW

PROPOSED PLANS

SCALE: AS NOTED DATE: 2/1/2022 DWG. **A-1**

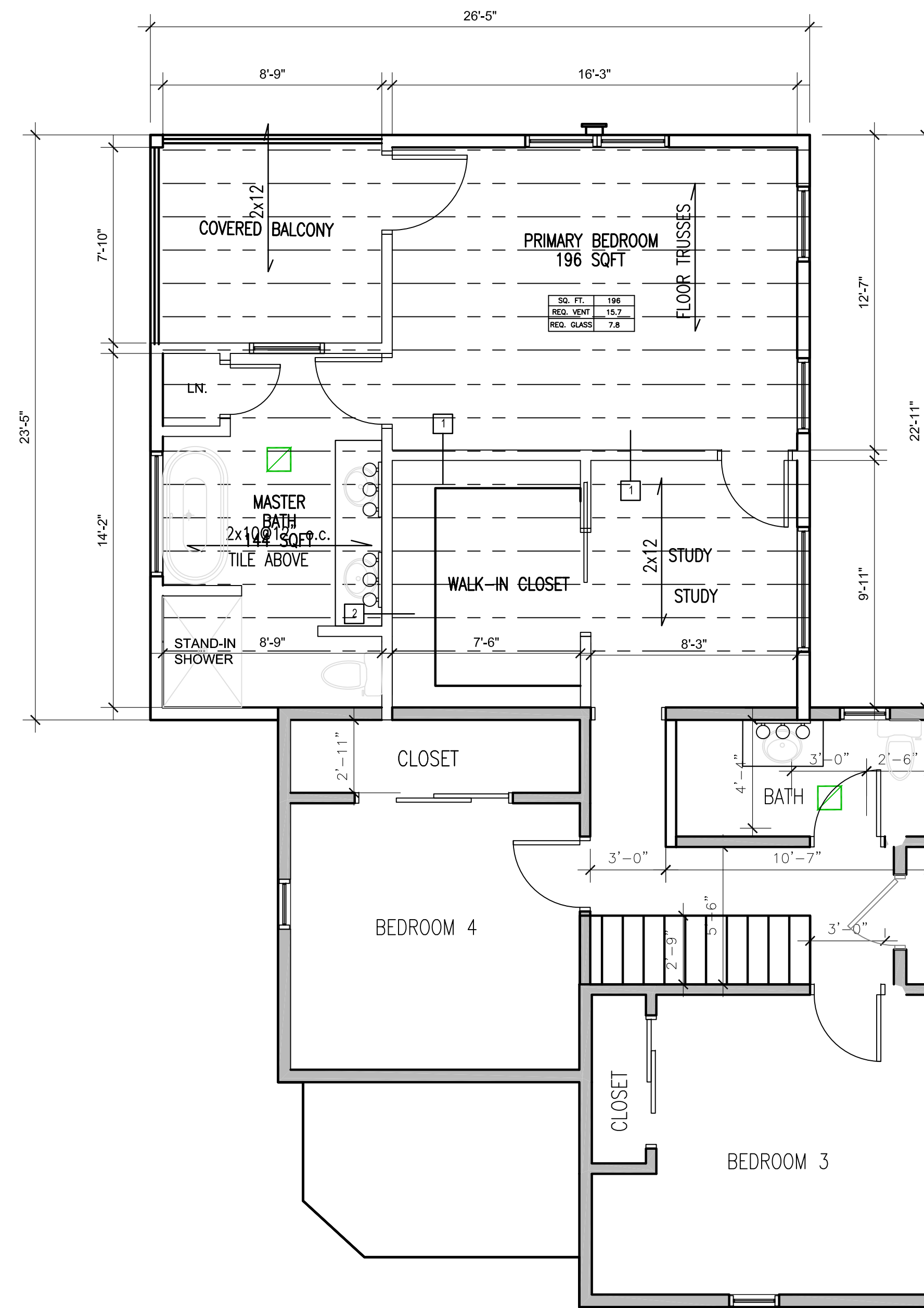


CERAMIC TILE DETAIL
N.T.S. 12
S-3



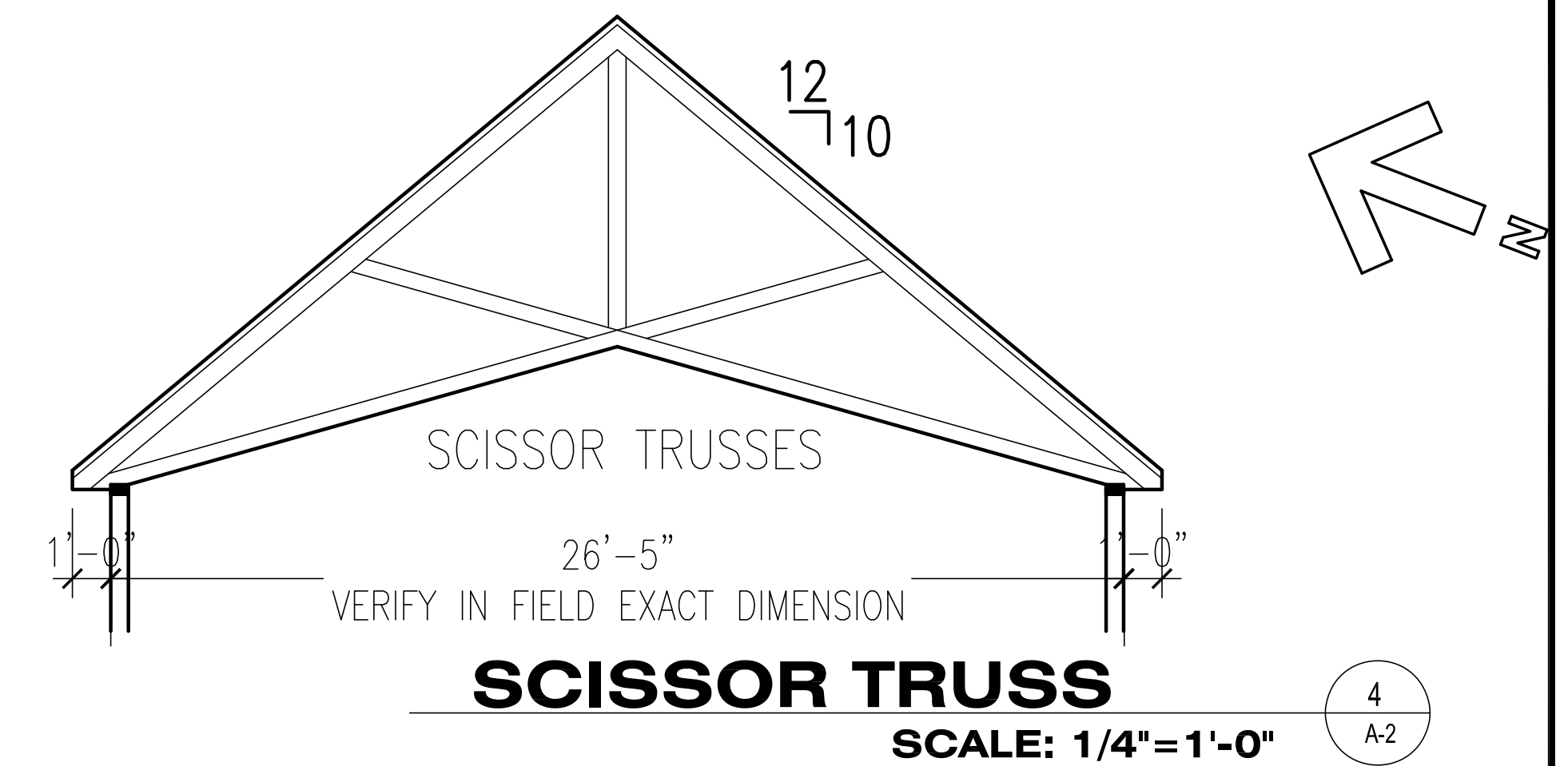
1ST FLOOR FRAMING PLAN 1

SCALE: 1/4"=1'-0" A-2



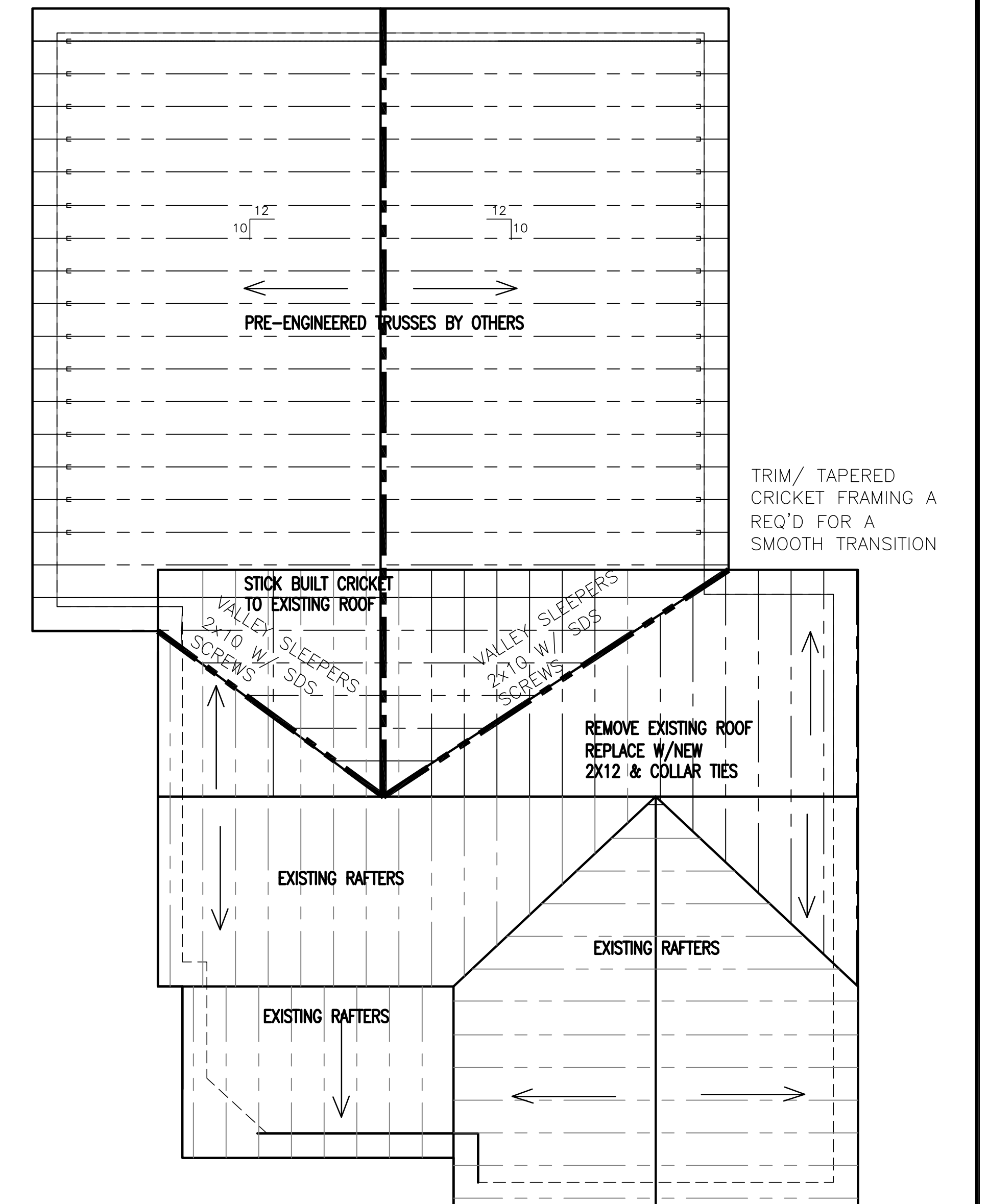
2ND FLOOR FRAMING PLAN 2

SCALE: 1/4"=1'-0" A-2



SCISSOR TRUSS

SCALE: 1/4"=1'-0" 4
A-2



ROOF FRAMING PLAN 3

SCALE: 1/4"=1'-0" A-2

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
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PROJECT

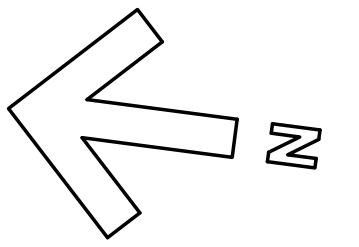
New Addition & Renovation
38 Monroe Street,
Ellicottville, NY 14731

JOB NUMBER # 23 - 4064

CREATED BY: XW

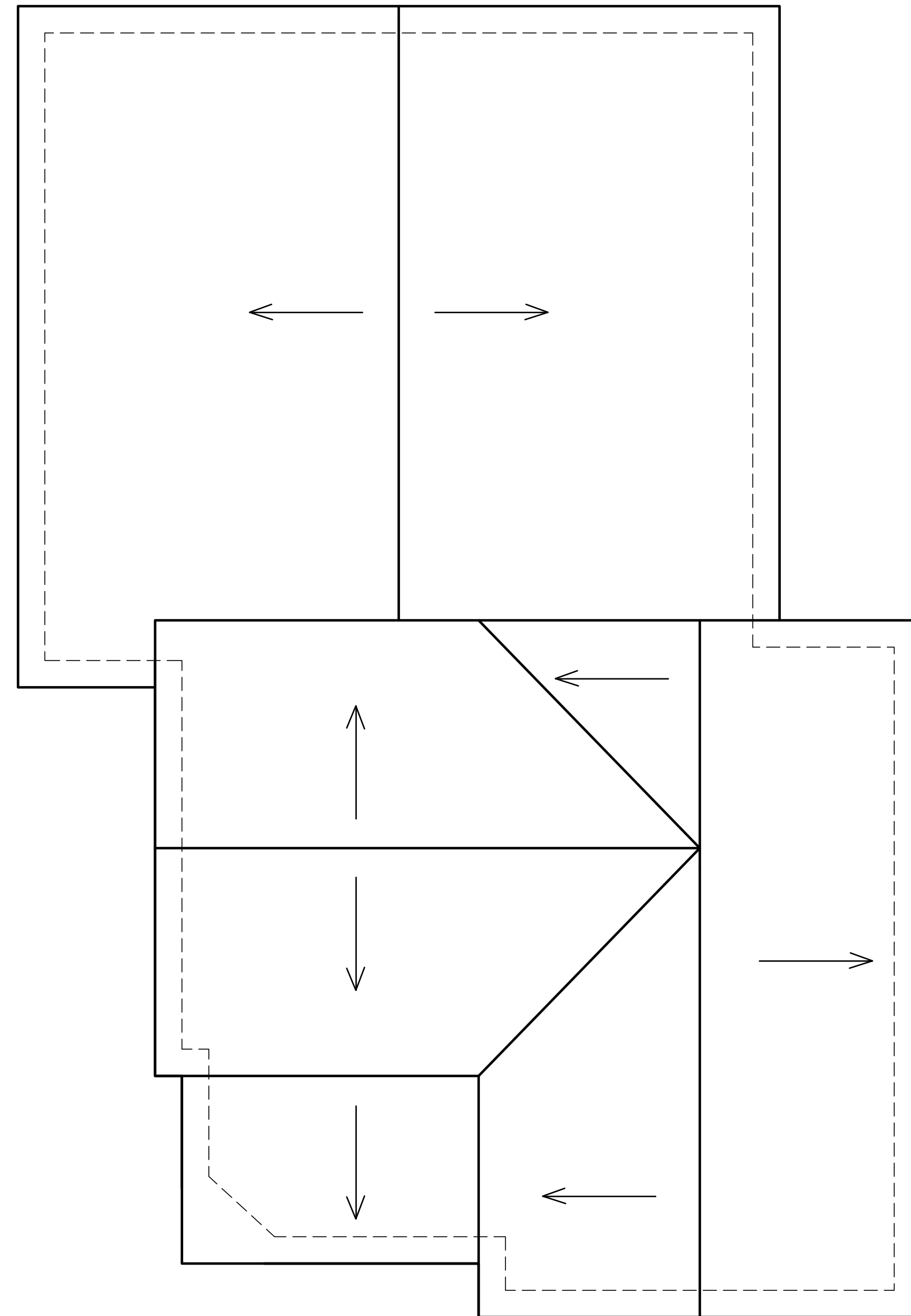
PROPOSED FRAMING PLANS

SCALE: AS NOTED DATE: 2/1/2022 DWG. **A-2**



ROOF PLAN NOTES

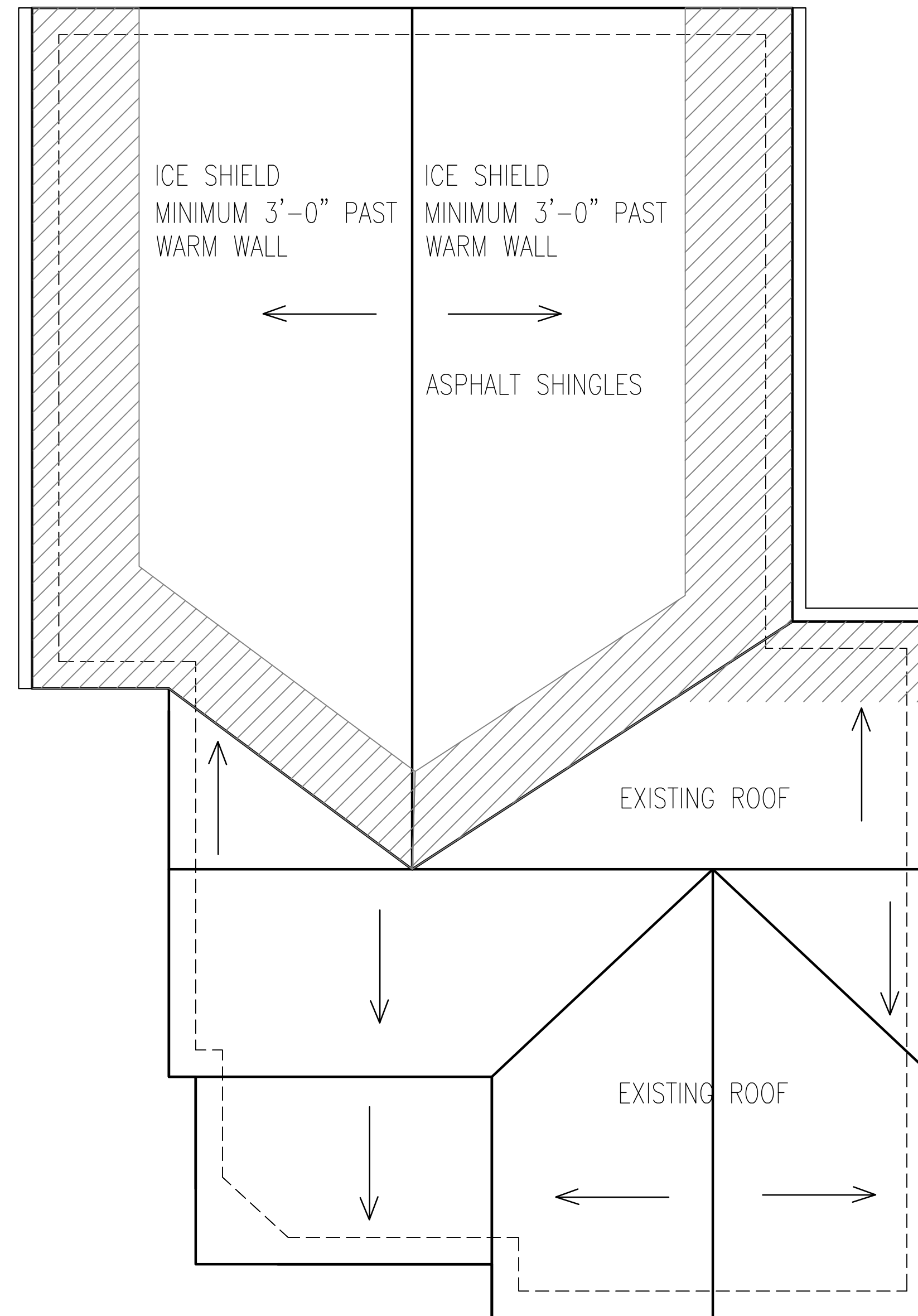
1. ALL DOWNSPOUTS SHALL BE TERMINATED IN AN APPROPRIATE MANNER INTO AN ADJACENT GUTTER AND DOWN TO GRADE INTO A STORM WATER RECEIVER.
2. MAINTAIN A MINIMUM SLOPE FOR ALL GUTTERS TO DOWNSPOUT LOCATIONS.
3. CHECK PROJECTIONS, EAVES & DECK FOR ADEQUACY OF ANCHORAGE, FOREIGN MATERIAL, MOISTURE OR UNEVENNESS THAT WOULD PREVENT EXECUTION OF WORK. ALL SURFACES THAT ARE TO RECEIVE ROOFING OR FLASHING, SHALL BE THOROUGHLY DRY. SHOULD SURFACE MOISTURE OCCUR, CONTRACTOR SHALL PROVIDE NECESSARY EQUIPMENT TO DRY SURFACE PRIOR TO APPLICATION.
4. ONLY AS MUCH OF THE NEW ROOFING AS CAN BE MADE WEATHER TIGHT EACH DAY, INCLUDING ALL FLASHING, SHALL BE INSTALLED.
5. ALL WORK SHALL BE SCHEDULED & EXECUTED WITHOUT EXPOSING THE INTERIOR OF THE BUILDING AREAS TO THE EFFECTS OF INCLEMENT WEATHER. THE EXISTING BUILDING & ITS CONTENTS SHALL BE PROTECTED AGAINST ALL POSSIBLE NEW OR TEMPORARY CONSTRUCTION INCLUDING EQUIPMENT & ACCESSORIES SHALL BE SECURED IN SUCH A MANNER AT ALL TIMES AS TO PRECLUDE BLOW-OFF & OR WIND DAMAGE.
6. ROOFING, FLASHING, INSULATION & ICE SHIELD SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS & SHALL BE APPLIED ONLY BY A CONTRACTOR.
7. AUTHORIZED BY ROOFING MANUFACTURER.



EXISTING ROOF PLAN

SCALE: 1/4"=1'-0"

1
A-3



PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"

2
A-3

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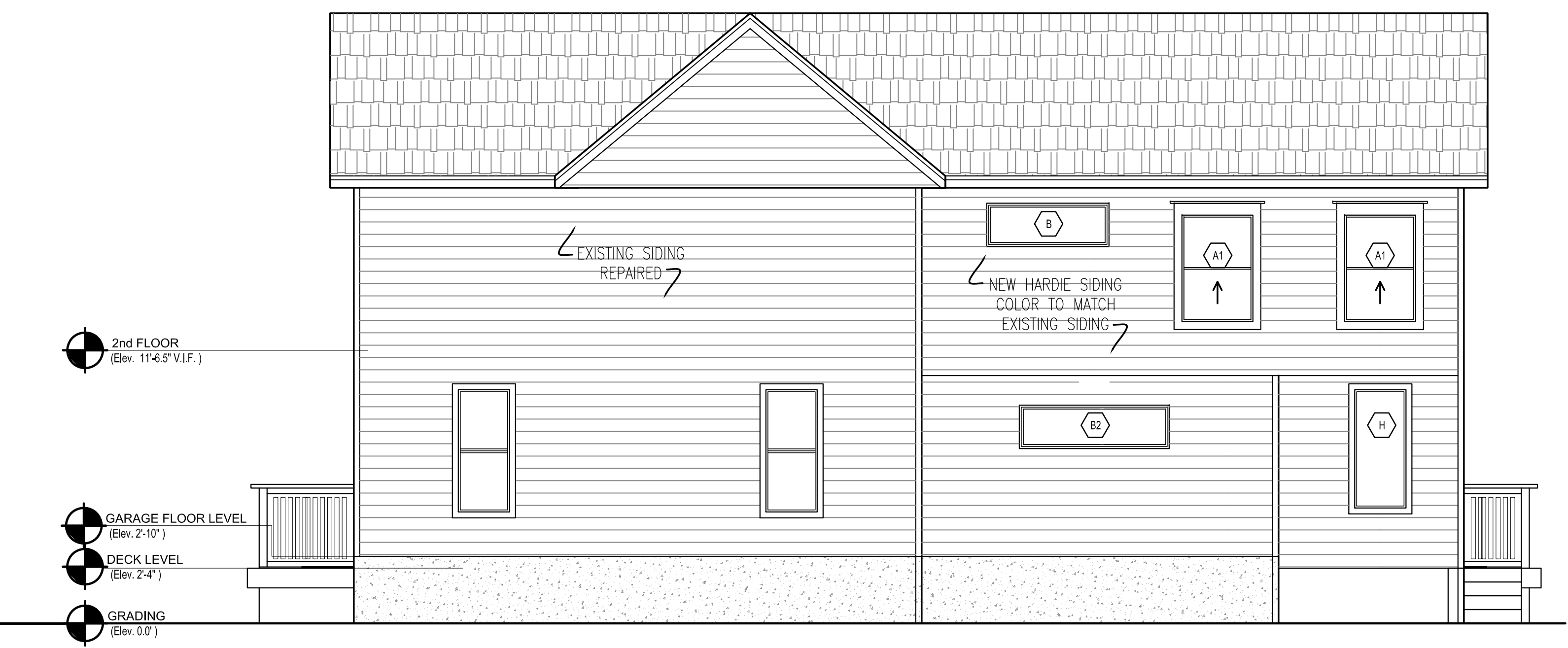
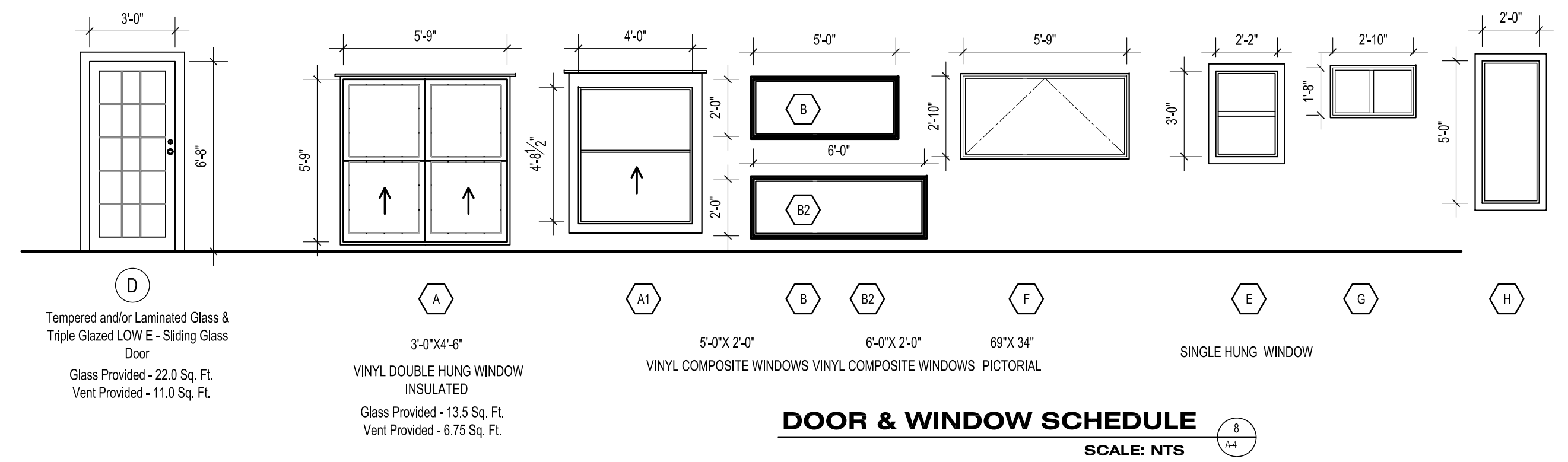
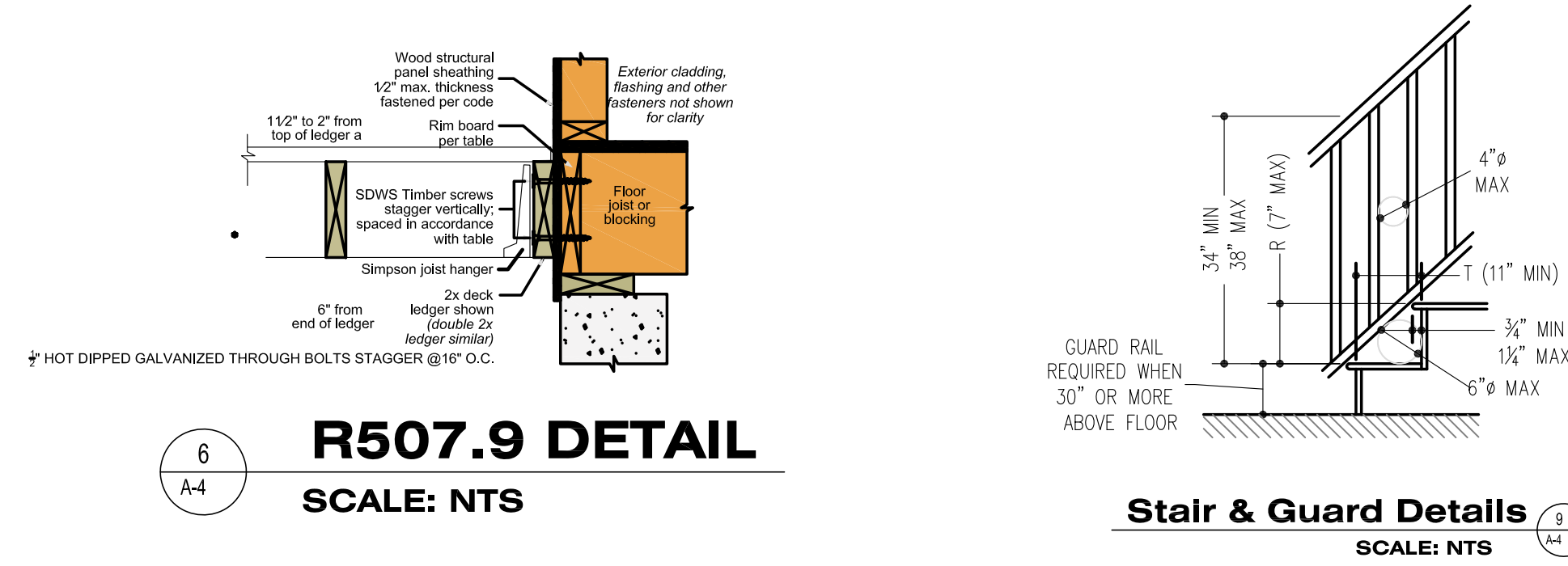
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Proposed & Existing Roof Plan

SCALE: AS NOTED DATE: 2/1/2022 DWG. **A-3**

ELEVATION NOTES:

- ALL ON SITE WORK WILL BE IN ACCORDANCE WITH LOCAL AND 2020 NEW YORK STATE BUILDING CODE 2020
- STOOPS, STAIRS, HANDRAILS, GUTTERS, DOWNSPOUTS AND SPLASH BLOCKS WILL BE SUPPLIED AND INSTALLED BY OTHERS.
- ALL DRAIN AND WASTE VENTS THRU THE ROOF SHALL BE 3" AND TERMINATE A MINIMUM 18" ABOVE THE POINT IT PASSES THROUGH THE ROOF
- ALL EXTERIOR ELECTRICAL OUTLETS WILL BE G.F.I. CIRCUIT
- ALL SIDING WILL BE INSTALLED IN ACCORDANCE WITH 2020 INTERNATIONAL RESIDENTIAL CODE
- ANY CHIMNEY STRUCTURES SHALL BE INSTALLED ON SITE BY OTHERS IN ACCORDANCE WITH ALL LOCAL AND STATE BUILDING CODES
- ALL ELEVATIONS ARE SHOWN WITH STANDARD ROOF PITCH. SEE CROSS-SECTIONS FOR OPTIONAL ROOF DETAILS
- GLAZING, TESTING AND LABELING, IF APPLICABLE, UNIT SKYLIGHTS SHALL BE TESTED AND APPROVED IN COMPLIANCE WITH AAMA/WDMA 101/15.2/NAFS PER 2020 UCS
- ALL ROOF COVERING MATERIALS AND ROOF COVERING INSTALLATION SHALL BE IN ACCORDANCE WITH 2020 UCS



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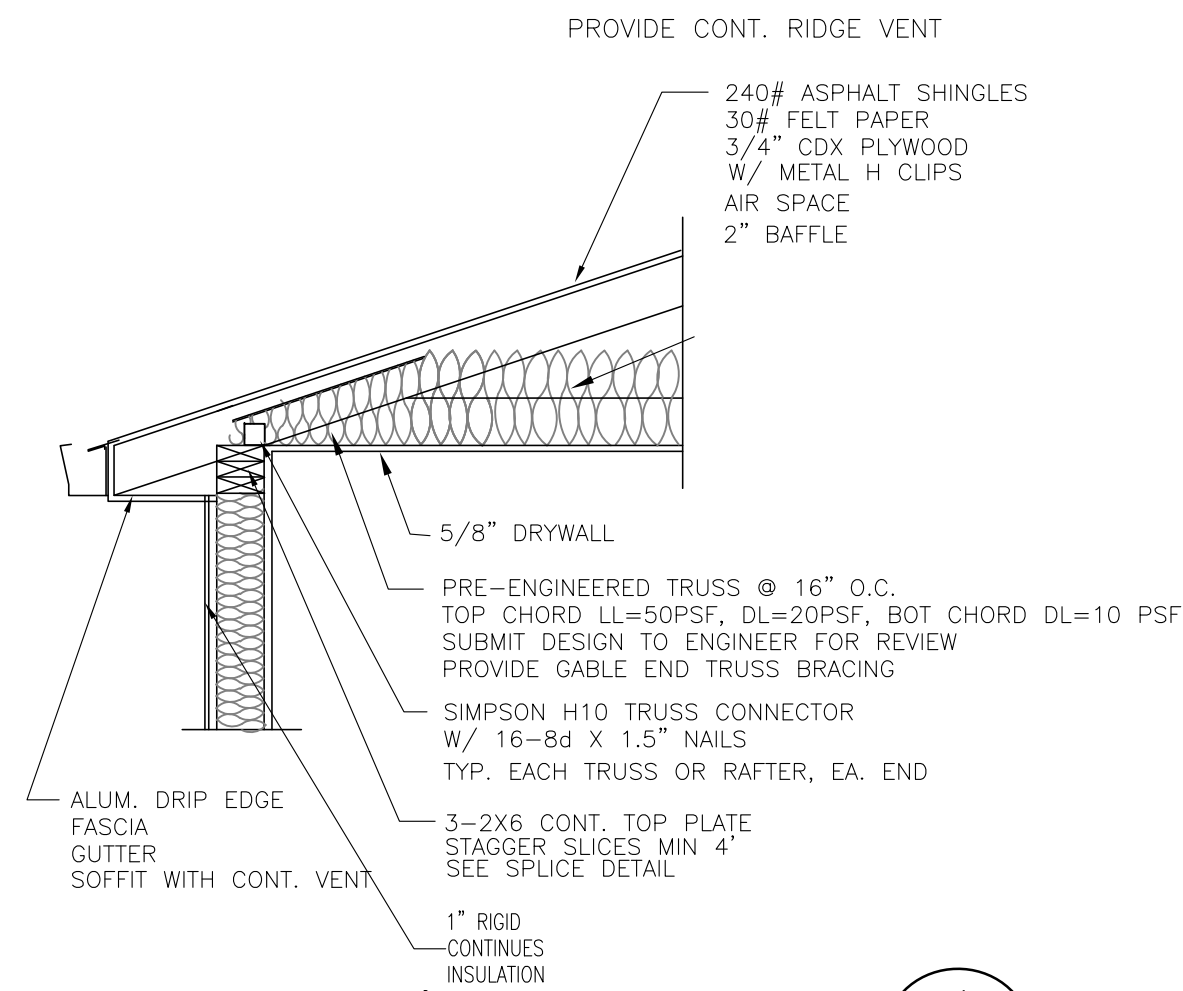
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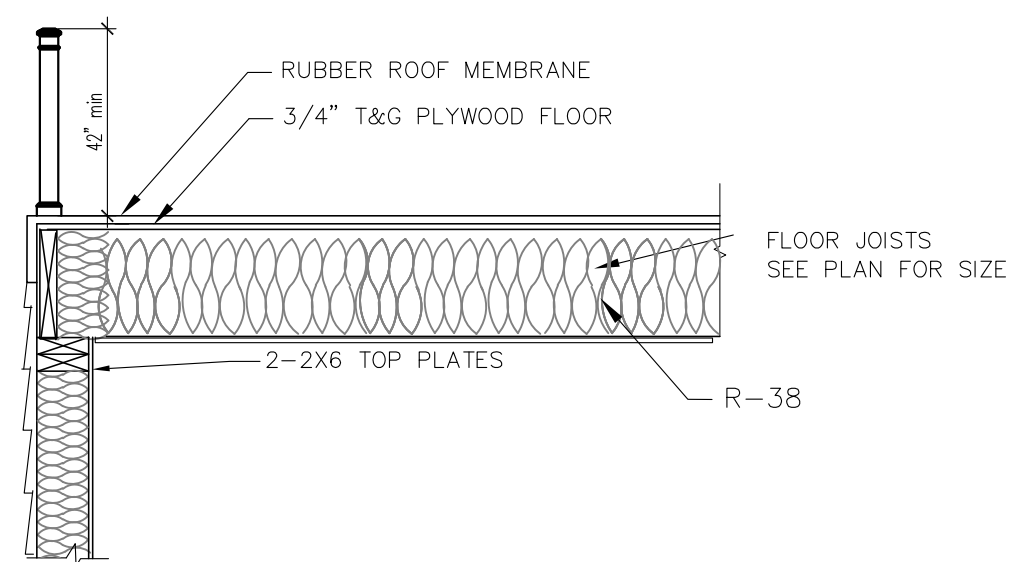
JOB NUMBER # 23 - 4064
CREATED BY: XW

EXISTING ELEVATIONS

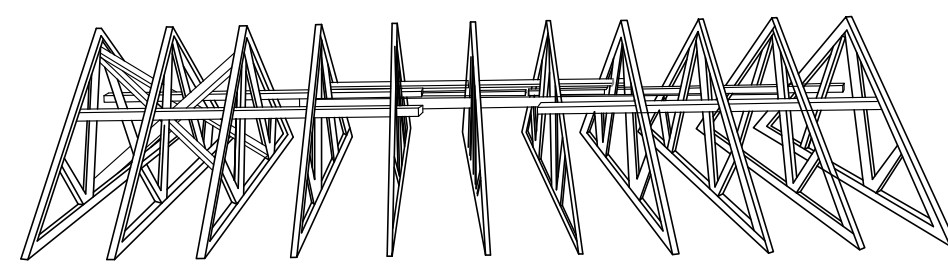
SCALE: AS NOTED
DATE: 2/1/2022
DWG. **A-4**



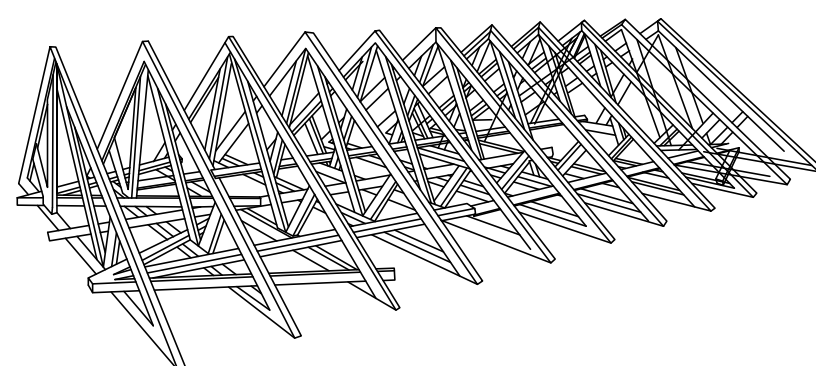
ROOF/CEILING DETAIL 1
SCALE: N.T.S. S0



SECTION @ SECOND FLOOR 4
SCALE: N.T.S. S0



TYPICAL LATERAL WEB BRACING



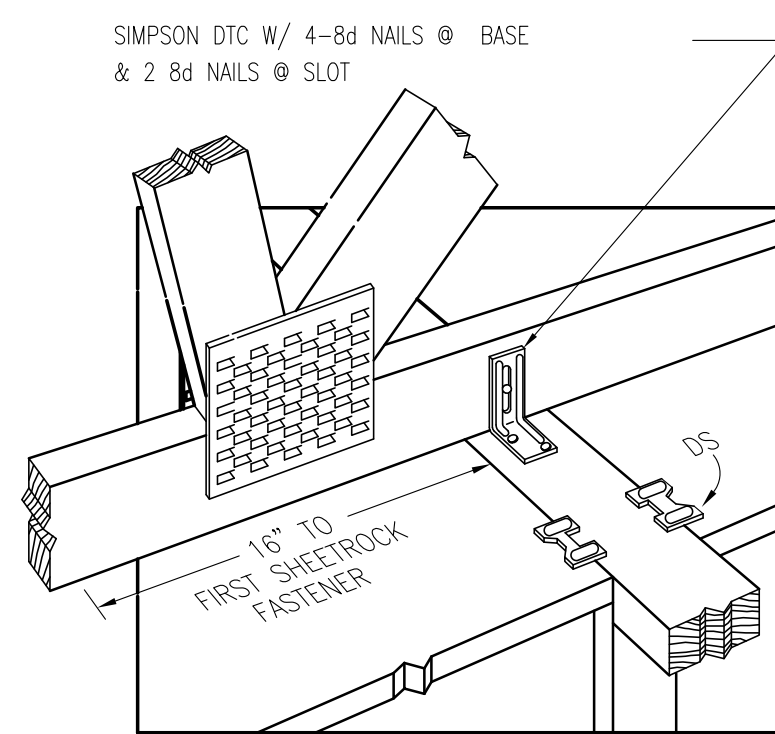
TYPICAL BOTTOM CHORD BRACING

TYPICAL BOTTOM CHORD BRACING

- INSTALL BOTTOM CHORD LATERAL BRACING @ 8' O.C. MAX
- ALL BRACING SHALL BE NO2 SPF 2X4
- BOTTOM CHORD IS IN ADDITION TO LATERAL WEB AND CAP BRACING
- ALL BRACES SHALL BE NAILED TO EA TRUSS W/2-16d NAILS

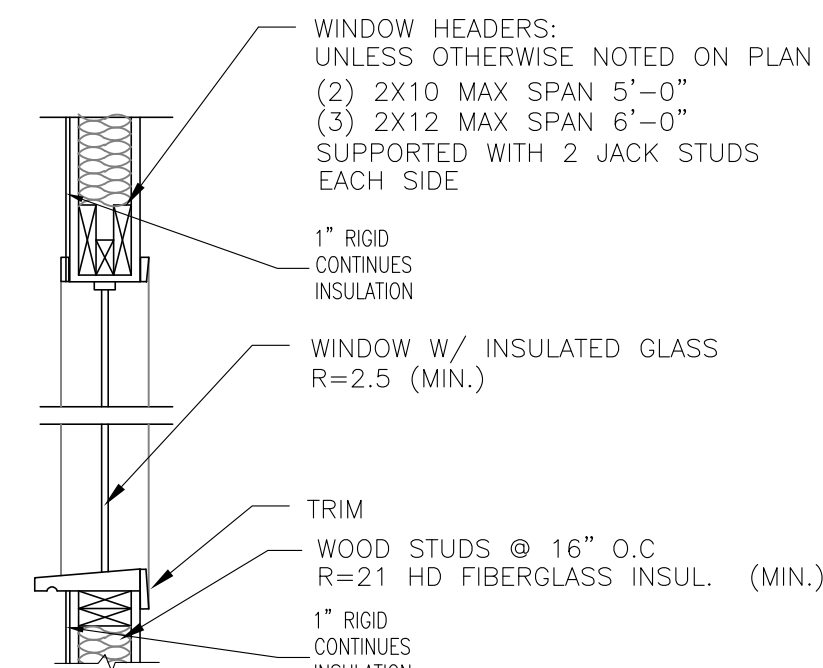
TYP PERMANENT BRACING DETAILS 5
SCALE: N.T.S. S3

ACTUAL BRACING TO BE DETERMINED AFTER TRUSS DESIGN IS SUBMITTED TO ENGINEER



NOTE: FLOATING CORNERS SHALL BE USED AT ALL CEILING/WALL INTERSECTIONS WHEN TRUSSES ARE USED

TYPICAL CEILING/WALL CONNECTION 6
SCALE: N.T.S. S0

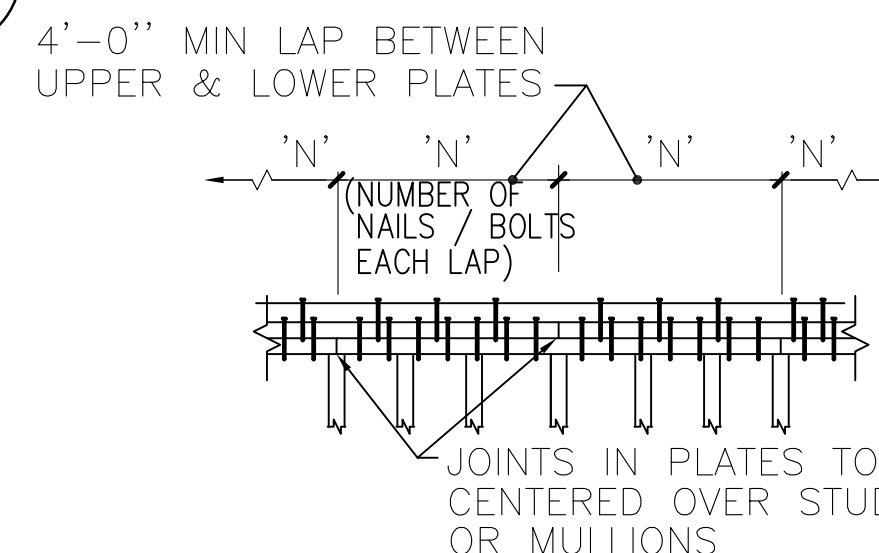


ALL WINDOWS & DOOR GLAZING WITHIN 18" OF THE FLOOR AND WITHIN 12" OF ANY DOOR ARE TO HAVE TEMPERED GLASS.

WINDOW DETAIL 5
SCALE: N.T.S. S0

PREFABRICATED WOOD TRUSSES

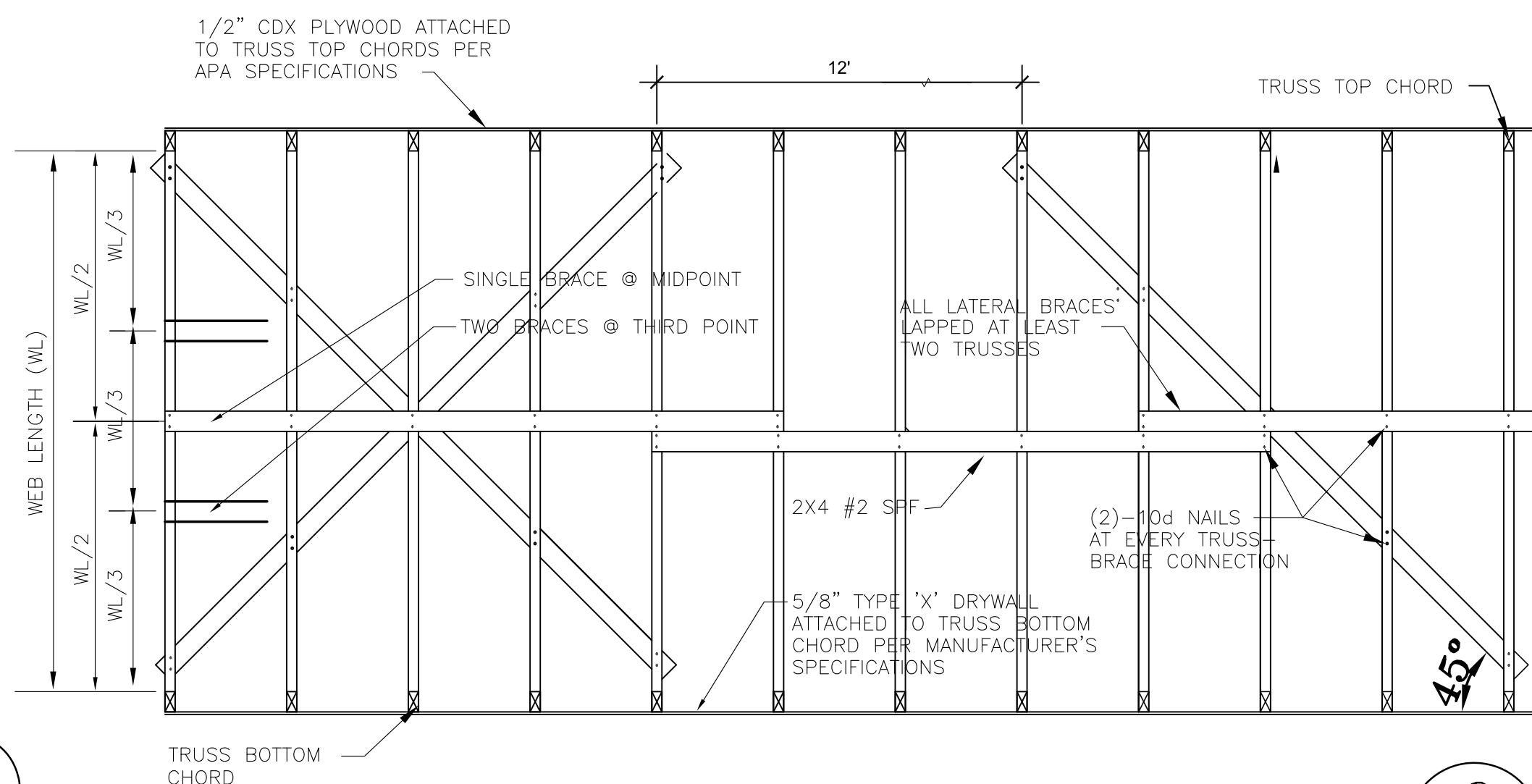
- CODES AND FABRICATION: MANUFACTURER'S APPROVED ICBP PRODUCT EVALUATION REPORTS.
- GRADE STAMPED [DOUGLAS FIR/LARCH NO. 2 OR BETTER]
- DESIGN REQUIREMENTS:
 - ROOF:
 - DEAD LOAD TOP CHORD.....20 PSF
 - DEAD LOAD BOTTOM CHORD.....10 PSF
 - LIVE LOAD TOP CHORD.....40 PSF
 - DEFLECTION: ROOF TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/360.
- CALCULATIONS & SHOP DRAWINGS: SUBMIT FOR REVIEW, SHOP DRAWINGS AND CALCULATIONS CERTIFIED BY A NY PE ENGINEER, FOR THE DESIGN LOADS, INCLUDING MAXIMUM REACTION, SHEAR, MOMENT, AND DEFLECTION IN COMPARISON TO THE ALLOWABLES. SIZE THE TOP CHORD FOR THE DIAPHRAGM NAILING AND A 2X MINIMUM NOMINAL WIDTH. THE TRUSSES SHOWN ON THE DRAWINGS ARE PRELIMINARY AND MAY REQUIRE SIZE OR SPACING MODIFICATIONS.
- BLOCKING, BRACING AND BRIDGING: AS REQUIRED BY THE MANUFACTURER'S AND THE DRAWINGS. CONTRACTOR SHALL HANDLE, INSTALL, AND BRACE TRUSSES IN ACCORDANCE WITH HB-91 FROM THE TRUSS PLATE INSTITUTE. SUBMIT TRUSS DESIGN TO ENGINEER FOR REVIEW. ENGINEER WILL PREPARE PERMANENT TRUSS BRACING DESIGN.
- TRUSS CHANGES: OBTAIN WRITTEN CONSENT FROM THE ENGINEER TO CHANGE THE TRUSS TYPE, WIDTH, CHORD DEPTH, TRUSS SHAPE OR SPACING. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.



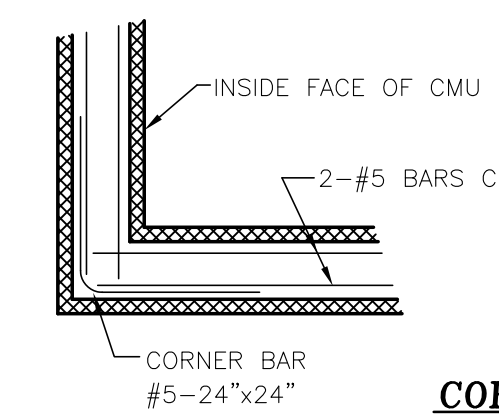
MARK	'N' (NUMBER)	CONNECTOR
MINIMUM		
A	24	16d

NOTE: ALL TOP PLATES SHALL BE 3-2X6 AND SHALL BE SPLICED IN ACCORDANCE WITH THIS DETAIL

TYPICAL TOP PLATE SPLICE 9
SCALE: N.T.S. S0



WEB BRACING DETAIL 6
SCALE: N.T.S. S3



BOND BEAM & FOOTING DETAILS 11
SCALE: N.T.S. S0

WOOD

- GRADE STAMPED DOUGLAS FIR/LARCH OR SPF (SEE LUMBER GRADES).
- NAILS: COMMON WIRE UNLESS OTHERWISE NOTED. EDGE OR END DISTANCES IN THE DIRECTION OF STRESS SHALL NOT BE LESS THAN ONE HALF OF THE REQUIRED PENETRATION (UBC TABLE 23-1-0). THE SPACING CENTER TO CENTER OF NAILS IN THE DIRECTION OF STRESS SHALL NOT BE LESS THAN THE REQUIRED PENETRATION. HOLES FOR NAILS, WHERE NECESSARY TO PREVENT SPLITTING, SHALL BE BORED TO A DIAMETER SMALLER THAN THAT OF THE NAIL.
- ANCHOR BOLTS (FOUNDATION ANCHOR BOLTS): PROVIDE 5/8 INCH DIAMETER ANCHOR OR MACHINE BOLTS WITH A MINIMUM OF 9 INCHES EMBEDMENT INTO THE CONCRETE AND WITHIN 12 INCHES OF EACH END OF EACH PLATE. SPACE ANCHORS AT 48 INCHES ON CENTER UNLESS NOTED. ANCHORS SHALL BE LOCATED A MAXIMUM OF 2 INCHES FROM THE FACE OF STUD RECEIVING WOOD STRUCTURAL PANELS (ANCHOR BOLT HOLES 1/2 TO 1/16 INCH LARGER THAN THE ANCHOR BOLT DIAMETER).
- BOLTS: NOT LESS THAN 7 BOLT DIAMETERS FROM THE END AND 4 DIAMETERS FROM THE EDGE OF THE MEMBER. BOLT HOLES 1/32 TO 1/16 INCH LARGER THAN THE BOLT DIAMETER. ALL NUTS SHALL BE TIGHTENED WHEN INSTALLED AND RE-TIGHTENED AT THE COMPLETION OF WORK OR BEFORE CLOSING IN. THREAD PROJECTION SHALL BE 1/16 INCH MINIMUM BEYOND THE NUT.
- SQUARE STEEL PLATE WASHERS (PW): ANCHOR BOLTS, BOLTS, LAGS AND NUTS, NOTED PW, SHALL BE SQUARE STEEL PLATE WASHERS:

BOLT DIAM (IN)	THICKNESS (IN)	SIZE
5/8	1/4	2 1/2 X 2 1/2
3/4	5/16	2 3/4 X 2 3/4
7/8	3/8	3 X 3
- FRAMING CONNECTORS: PER MANUFACTURER'S APPROVED PRODUCT EVALUATION REPORTS (ICBO APPROVED) AND INSTALLED ACCORDINGLY. SIZE AND NUMBER OF NAILS TO BE MAXIMUM SPECIFIED BY THE MANUFACTURER.
- NAILED/SCREWED HOLD DOWN ANCHORS: INSTALL PER MANUFACTURER'S APPROVED ICBP PRODUCT EVALUATION REPORT. INSTALL HOLD DOWNS 1/2 INCH MINIMUM ABOVE THE PLATE TO ALLOW FOR TIGHTENING ANCHOR BOLT. THE HOLD DOWN SHALL BE INSTALLED TIGHT TO THE HOLD DOWN POST WITHOUT FILLERS OR DAPPING. DO NOT BEND HOLD DOWN ANCHORS.
- PRESERVATIVE TREATED WOOD: WOOD EXPOSED TO THE WEATHER; FOUNDATION PLATES ON CONCRETE SLABS; FOUNDATIONS WHICH ARE IN DIRECT CONTACT WITH EARTH SHALL BE TREATED WOOD WITH PRESERVATIVE RETENTION AS REQUIRED FOR USE. NEWLY EXPOSED SURFACES RESULTING FROM FIELD CUTTING, BORING OR HANDLING SHALL BE FIELD TREATED IN ACCORDANCE WITH ANPA M-4.
- TOP PLATES: TWO PIECES, SAME SIZE AS STUDS, STAGGER SPICES 4'-0" MINIMUM. CENTER SPICES OVER STUDS. SPLICE WITH 24-16d MINIMUM.
- SOLID BLOCKING: TWO INCH FULL WIDTH BLOCKING (FIRE STOPS) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
- CUTTING AND NOTCHING: DO NOT CUT, BORE, COUNTERSINK OR NOTCH WOOD MEMBERS EXCEPT WHERE SHOWN IN THE DETAILS. HOLES THROUGH PLATES, STUDS AND DOUBLE PLATES IN WALLS SHALL NOT EXCEED 40% OF THE MEMBER WIDTH AND SHALL BE LOCATED IN THE CENTER OF THE MEMBER.
- GALVANIZING: ALL EXPOSED STEEL TIMBER HARDWARE, FASTENERS AND CONNECTORS.

LUMBER GRADES

COMPLY WITH PS 20, AMERICAN SOFTWOOD LUMBER STANDARD AND STANDARD GRADING RULES FOR WESTERN LUMBER.

- DIMENSION LUMBER: BLOCKING 2" TO 4" THICK, 2" TO 4" WIDE (10' MAXIMUM) NO. 1/2 SPF (Fb=875psi)
- DIMENSION LUMBER: STUDS NO.2 SPF (Fb=875 PSI)
- DIMENSION LUMBER: JOISTS AND RAFTERS NO. 2 DOUG FIR
- POSTS AND TIMBERS: 5" BY 5" AND LARGER, WIDTH NOT MORE THAN 2" GREATER THAN THICKNESS MIN. (Fb= 1200 PSI)
- LVL HEADERS & BEAMS: LOUISIANA PACIFIC LVL (Fb=2950 E2.0)

WOOD STRUCTURAL PANELS

- REFERENCES: PSI, PS2, APA STANDARD PRR-108, NATIONAL EVALUATION SERVICE REPORT NER-108 AND ICBP ES REPORT 1952.
- WALL PANELS PLYWOOD STRUCTURAL II, 5 PLY OR OSB 15/32 INCH
- ROOF PANELS STRUCTURAL II 15/32 INCH
- BLOCKING:
 - WALLS: ALL UNSUPPORTED PANEL JOINTS SHALL BE BLOCKED SOLID WITH 2x BLOCKING
- NAILING: COMMON WIRE NAILS. PANEL NAILS SHALL BE DRIVEN SO THAT THE HEADS ARE FLUSH WITH THE SURFACE OF THE PANEL. FIELD NAILING (FN) SHALL BE 12 INCHES ON CENTER AND THE MINIMUM PANEL EDGE DISTANCES SHALL BE MAINTAINED.
- MACHINE NAILING: SUBJECT TO A SATISFACTORY JOB SITE DEMONSTRATION FOR THIS PROJECT AND REVIEW BY THE ENGINEER, THE USE OF MACHINE NAILING IS SUBJECT TO CONTINUED SATISFACTORY PERFORMANCE. PANEL NAILS SHALL BE DRIVEN SO THAT THE HEADS ARE FLUSH WITH THE SURFACE OF THE PANEL AND THE MINIMUM PANEL EDGE DISTANCES ARE MAINTAINED.
- WOOD STRUCTURAL PANELS (PANELS): WHERE ADJACENT WALLS ARE paneled, PANELS SHALL BE INSTALLED OVER AND UNDER OPENINGS.

COMMON WIRE NAILS

SIZE PENNY	DIAMETER INCHES	WIRE GADE	PENETRATION INCHES
8d	0.131	10-1/4	1-1/2
10d	0.148	9	1-5/8
16d	0.182	8	1-3/4
20d	0.192	6	2-1/8
30d	0.207	5	2-1/4

PENETRATION IS MEASURED INTO THE PIECE RECEIVING THE NAIL POINT. 1-1/2 INCHES OF PENETRATION FOR 10d AND 16d NAILS IS ACCEPTABLE. WILL BE LESS THAN SPECIFIED, INCREASE NAIL LENGTH (SIZE) TO OBTAIN THE PENETRATION REQUIRED FOR THE NAIL SPECIFIED.

NAILING SCHEDULE

- THE CONNECTIONS LISTED ARE THE MINIMUM PERMISSIBLE. USE COMMON WIRE NAILS FOR ALL NAILED CONNECTIONS) WHERE POSSIBLE, NAILS DRIVEN PERPENDICULAR TO THE GRAIN SHALL BE USED INSTEAD OF TOE NAILS. SEE THE DRAWINGS FOR ADDITIONAL NAILING REQUIREMENTS.
- JOIST TO SILL (PLATE) OR GIRDER, TOENAIL.....3-8d
 - BRIDGING TO JOIST, TOENAIL EACH END.....2-8d
 - 1" X 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL.....2-8d
 - WIDER THAN 1" X 6" SUBFLOOR TO EACH JOIST, FACE NAIL.....3-8d
 - 3/4" SUBFLOOR TO JOIST OR GIRDER, SCREWS @ 8" O.C.
 - SOLE PLATE TO JOIST OR BLOCKING:
 - FACE NAIL.....16d AT 16"
 - BRACED WALL PANELS.....3-16d PER 16"
 - TOP PLATE TO STUD, END NAIL.....2-16d
 - STUD TO SOLE PLATE: TOENAIL.....4-8d
 - END NAIL.....2-16d
 - DOUBLE STUDS, TYPICAL FACE NAIL.....16d AT 24"
 - DOUBLED TOP PLATES: FACE NAIL.....16d AT 16"
 - LAP SPLICE.....8-16d
 - BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE.....3-8d
 - RIM JOIST TO TOP PLATE, TOENAIL.....8d AT 6"
 - TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL.....2-16d
 - CONTINUOUS HEADER, TWO PIECES (ALONG EACH EDGE).....16d AT 16"
 - CEILING JOISTS TO PLATE, TOENAIL.....3-8d
 - CONTINUOUS HEADER TO STUD, TOENAIL.....4-8d
 - CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL.....3-16d
 - CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL.....3-16d
 - RAFTER TO PLATE, TOENAIL.....SIMPSON H10 W/8-10d
 - 1" BRACE TO EACH STUD AND PLATE, FACE NAIL.....2-8d
 - 1" X 8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL.....2-8d
 - WIDER THAN 1" X 8" SHEATHING TO EACH BEARING, FACE NAIL.....3-8d
 - BUILT-UP CORNER STUDS.....16d AT 24"
 - BUILT-UP GIRDERS AND BEAMS.....20d AT 32"
 - AT TOP AND BOTTOM STAGGERED

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