



**TOWN AND VILLAGE OF ELLICOTTVILLE  
PLANNING AND CODE ENFORCEMENT**

23 Parkside Drive • P.O. Box 600 • Ellicottville, New York 14731  
(716) 699-2240 | [www.ellicottvillegov.com](http://www.ellicottvillegov.com)

**ZONING PERMIT APPLICATION**

APPLICATION NUMBER: 2023-143

**GENERAL INFORMATION**

Project Address: 16 Mechanic Street, Ellicottville, NY 14731  
Tax Parcel Number: 55.035-1-34       Town of Ellicottville     Village of Ellicottville  
Purpose of this Permit:  New Construction     Structural Alteration     Change of Use     Intent to Subdivide

**APPLICANT**

Name(s): Jen Courtney and Bill Stoll  
Mailing Address: 4826 Route 219 Lot 48, Great Valley NY, 14741  
Phone Number: 716-998-1126      Email: jlcourt1966@gmail.com  
Is the applicant the property owner?     Yes     No (*proof of ownership or authorization must be provided*)

**PROPERTY OWNER (if different than the applicant)**

Name(s): \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_      Email: \_\_\_\_\_

**APPLICANT'S REPRESENTATIVE (if different than the applicant)**

Company Name: Aaron Tiller  
Company Address: 5 Pine Street, Allegany, NY 14606  
Contact Name: Aaron  
Phone Number: 716-307-3684      Email: Aarontiller@gmail.com  
Check all that apply:     Architect     Contractor     Designer     Engineer     Attorney     Other

**DESCRIPTION OF PROJECT OR USE** (attach additional pages if necessary)

Provide a detailed and complete description of the proposed work to be completed and/or the intended use(s)

Construction of a new addition to single family house at 16 Mechanic street

**SITE INFORMATION**Current use of the property including any buildings or structures on the lot (attach additional pages if necessary):  
Single family home with an existing garage/apartmentZoning District(s): VR Historic District?  Yes  NoCurrent Lot Size (sq. ft./acres): 13,062 sf Area to be Developed (sq. ft./acres): 612 sfCurrent Lot Coverage (sq. ft./acres): 5348 Proposed Lot Coverage (sq. ft./acres): 5960 sfMethod Sanitary Sewerage Disposal: existing village sewerMethod of Water Supply: existing village water lineFlood Hazard Area?  Yes  No FIRM Zone: \_\_\_\_\_ Base Flood Elevation: \_\_\_\_\_**STRUCTURE INFORMATION**

Dimensional Requirements		Principal Structure		Accessory Structure	
		Existing	Proposed	Existing	Proposed
Building Footprint	sq. ft.	<u>1188</u>	<u>1682</u>	<u>1070</u>	<u>same</u>
Gross Floor Area	sq. ft.	<u>1748</u>	<u>2728</u>	<u>1870</u>	
Structure Height	feet	<u>22'0</u>	<u>22'-0"</u>	<u>24</u>	
Structure Height	stories	<u>two</u>	<u>two</u>	<u>two</u>	
Dwelling Units	number	<u>one</u>	<u>one</u>	<u>two</u>	<u>one</u>
Front Yard Setback	feet	<u>16.83</u>	<u>17.75</u>		
Side Yard Setback (near side)	feet	<u>7.9</u>	<u>7.9</u>	<u>2.71</u>	
Side Yard Setback (far side)	feet	<u>15.0</u>	<u>15.0</u>	<u>31.0</u>	
Combined Side Yard	feet	<u>22.9</u>	<u>22.9</u>	<u>33.7</u>	
Rear Yard Setback	feet	<u>131.2</u>	<u>131.2</u>	<u>65.3</u>	<u>same</u>

# SIGNATURES

Applicant and Property Owner(s) (if different) must sign the application.

I hereby certify that I have examined this application and know the same to be true and correct. All provisions of the laws and ordinances covering this type of work will be complied with whether specified herein or not. The acceptance or approval of this application does not presume to give authority to violate or cancel provisions of any other state or local law regulating construction, land use or the performance of construction. I have read and am familiar with the Town and Village of Ellicottville Zoning Law that is relevant to this application. By signing this form, the owner or the owner's authorized representative is giving their consent for the Building, Planning and Code Enforcement Division to inspect the site as necessary and related to this application even if the property has been posted against trespassing.

## Applicant

Joseph Courtney Wendy A. Stoll  
Signature of Applicant

4-13-2023

Date

## Property Owner

Joseph Courtney Wendy A. Stoll  
Signature of Property Owner

4-13-2023

Date

# OFFICIAL USE ONLY

Application Fee: \$46

Received By: [Signature]

Date: 4-17-2023

## Zoning Permit Review

- APPROVED – This permit complies with the Zoning Ordinance and may obtain a building permit.
- REFERRAL – This permit is not valid until the following approvals have been obtained from the Planning Board.

DENIED – This permit is not in conformance with the following provision(s) of the Zoning Ordinance.

SECTION 7.7 - EXPANSION OF A NON-COMFORTING BUILDING.  
SECTION 3A.7E - FRONT, SIDE AND COMBINED SETBACK.

Gregory D. Meyer  
Signature of Zoning Enforcement or Code Enforcement Official

4-17-2023

Date



**TOWN AND VILLAGE OF ELLICOTTVILLE  
BUILDING / CODE ENFORCEMENT  
DIVISION**

17 MILL ST. ELLICOTTVILLE, NY 14731

Code Enforcement Officer: Kelly Fredrickson, (716) 699-4773

E-MAIL: [kelly.fredrickson@evlengineering.com](mailto:kelly.fredrickson@evlengineering.com)

Planner: Gary Palumbo, (716) 923-1325, E-MAIL: [gary.palumbo@aecom.com](mailto:gary.palumbo@aecom.com)

**ZONING BOARD OF APPEALS APPLICATION**

Property is in:  TOWN  VILLAGE App. # 2023-143

**APPLICANT INFORMATION:**

Applicant's name: Jen Courtney and Bill Stoll Date: 4-13-2023

Mailing address: 4826 Route 219 Lot 48, Great Valley NY, 14741

Cell Phone Number: 716-998-1126 E-Mail: jlcourt1966@gmail.com

Applicant must be (check all that apply):  Owner  Operator  Lessee

Applicant's Engineer or representative: Aaron Tiller

Address: 5 Pine Street Allegany, NY 14706

Phone #: 716-307-3684 E-Mail: aarontiller@gmail.com

**PROPERTY OWNER INFORMATION (if different than Applicant)**

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Cell Phone Number: \_\_\_\_\_ E-Mail: \_\_\_\_\_

**TYPE OF APPEAL:**

Area Variance  Use Variance  Interpretation of Zoning Law text or map

Section of Zoning Law from which variance is requested: Section 3A.7E, SECTION 7.7

Describe the requested variance: front setback, side yard setback and combined yard setback

Is this appeal from a decision of the Town/Village of Ellicottville Building Official?  YES  NO

If yes, what as the type of decision or permit? zoning permit

Date of decision: 4/14/23

A previous appeal  has  has not been made with respect to this decision or with respect to the property. If a previous appeal was made, provide the Appeal # \_\_\_\_\_ and Date of Appeal \_\_\_\_\_

Reasons Supporting Your Appeal

Please reply to the questions below for the type of appeal that you are making. These are the criteria that the Zoning Board of Appeals will use to evaluate your appeal. Provide as much detail as possible. Feel free to attach an additional statement.

**AREA VARIANCE**

In making its determination on an area variance, the Zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance were granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making that determination, the ZBA will consider these five questions.

1. Will an undesirable change be produced in the character of the neighborhood or will a detriment to nearby properties be created by the granting of the area variance?  
No the building is existing and the exterior set back will be the same  
\_\_\_\_\_
2. Can the benefit sought by the applicant be achieved by some method, feasible for the applicant to pursue, other than an area variance?  
yes the addition could be smaller, but would not look right  
\_\_\_\_\_
3. Is the requested area variance substantial?  
No, it is small request, matching the existing setbacks  
\_\_\_\_\_
4. Will the proposed variance have a adverse effect or impact on the physical or environmental conditions in the neighborhood or district?  
No, it is improving the house and area  
\_\_\_\_\_
5. Is the alleged difficulty self-created, which consideration shall be relevant to the decision of the board, but shall not necessarily preclude the granting of the area variance.  
yes  
\_\_\_\_\_

**USE VARIANCE**

In order for the Zoning Board of Appeals to grant a use variance, the applicant shall show that the applicable zoning regulations and restrictions have caused unnecessary hardship. In order to prove unnecessary hardship, the applicant shall demonstrate to the Zoning Board of Appeals that for each and every permitted use under the zoning regulations for the particular district where the property is located:

1. The applicant cannot realize a reasonable return, provided that lack of return is substantial, as demonstrated by competent financial evidence; and  
\_\_\_\_\_
2. The alleged hardship relating to the property in question is unique and does not apply to a substantial portion of the district or neighborhood; and  
\_\_\_\_\_
3. That the requested use variance, if granted, will not alter the essential character of the neighborhood; and  
\_\_\_\_\_  
\_\_\_\_\_

4. That the alleged hardship has not been self-created

Provide a statement that discusses each of these points, demonstrating that the zoning regulations have caused unnecessary hardship.

**INTERPRETATION OF ZONING LAW**

Provide a statement that describes what the Building Official determined, what you believe should be the interpretation, and why.

Attach additional statement.

**PROPERTY / FACILITY NAME**

Address: 16 Mechanic Street, Ellicottville, NY 14731

Property tax map #: 55.035-1-34

Current use of property: Residential VR

Description of Proposed Project/Use (attach additional pages, survey and plans):  
addition to the main house

Zoning Requirements from Town/Village Zoning Law.

Front yard setback: 25, Rear yard setback: 10, Side yard setback: 15,  
Combined side: 30, Minimum lot size: as plotted, Width: as plotted,  
Height: 28, Floor area ratio: na (Village)  
Usable Open space: 40 %

Site Information

Size of site: 13,062 sf Sq. Ft.      Size of area to be developed: 0 Sq. Ft.

Main Structure:

Construction type: wood frame      Front yard setback: existing existing feet  
Height: 2. stories, \_\_\_\_\_ feet      Side yard setback: existing 7.9 feet  
# of family units: 1      Total of both side yard setbacks: 22.9 feet  
Size of lot: 13,062 sf Sq. Ft.      Rear yard setback: existing feet  
Usable Open space: 55 %      Floor area ratio: na (Village)  
Corner or interior lot? interior      Other: \_\_\_\_\_

Accessory Building:

Description: existing garage/apartment

Percentage of yard: \_\_\_\_\_ Height: 24'-0" feet.

Setback from rear lot line: 65.3 feet. Setback from side lot line: 2.71 feet.

Floodplain:

FIRM Zone ae BFE out of Flood zone

Flood Plain Development Permit Required?  YES  NO

**ATTACHMENTS**

Attach all relevant items listed in the Town/Village of Ellicottville Zoning Law for type of application(s) being submitted. Additional copies of all plans, documents and other application materials may be required. See attached list of required forms and information needed for type of application being submitted. Deadline for submittal is three (3) weeks prior to regularly scheduled meeting date. Meeting dates are subject to change by the Board Chair.

**SIGNATURES**

Applicant and Owner (if different) must sign the application.

I hereby certify that I have examined this application and know the same to be true and correct. All provisions of laws and ordinances covering this type of work will be complied with whether specified herein or not. The acceptance or approval of this application does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction, land use or the performance of construction. I have read and am familiar with the Town/Village of Ellicottville zoning law that is relevant to this application(s).

**Additional Fees may be charged for: pre-application meetings, SEQR review, and additional legal/consulting/engineering labor. Permit Fees are NON-REFUNDABLE**

Permission to inspect – I hereby consent to Town/Village of Ellicottville Staff inspection of the project site and adjacent property areas. Town/Village staff may enter the property without notice. Inspection may occur without the owner, applicant or agent present, If the property is posted with “keep out” signs or fenced with an unlocked gate, staff may still enter the property. Agency staff may take measurements, analyze site physical characteristics, take soil and vegetation samples, sketch and photograph the site.

Applicant Signature: *Jen Courtney and Bill Stoll* Date: 4/13/23

Applicant must be (check all that apply)  Owner  Operator  Lessee

Applicant Name: <sup>Print</sup> Jen Courtney and Bill Stoll

Property Owner’s Signature (if different than applicant) \_\_\_\_\_ Date: \_\_\_\_\_

Property Owner’s Name: <sup>Print</sup> \_\_\_\_\_

<u>Office use only:</u>	
Application Fee(s) _____	<u>\$275</u>
Received by: _____	on <u>4/17/23</u> (Date)
Project Number(s): _____	



# Property Description Report For: 16 Mechanic St, Municipality of V. Ellicottville



**Total Acreage/Size:** 66 x 196  
**Land Assessment:** 2022 - \$29,500  
**Full Market Value:** 2022 - \$241,071  
**Equalization Rate:** ----  
**Deed Book:** 20230  
**Grid East:** 1124205

**Status:** Active  
**Roll Section:** Taxable  
**Swis:** 043601  
**Tax Map ID #:** 55.035-1-34  
**Property Class:** 210 - 1 Family Res  
**Site:** RES 1  
**In Ag. District:** No  
**Site Property Class:** 210 - 1 Family Res  
**Zoning Code:** 02  
**Neighborhood Code:** 36080 - Village-North  
**School District:** Ellicottville  
**Total Assessment:** 2022 - \$202,500  
**Property Desc:**  
**Deed Page:** 3519  
**Grid North:** 830130

## Area

<b>Living Area:</b>	1,784 sq. ft.	<b>First Story Area:</b>	1,224 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	560 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	1.5
<b>Finished Rec Room</b>	0 sq. ft.	<b>Finished Area Over Garage</b>	0 sq. ft.

## Structure

<b>Building Style:</b>	Old style	<b>Bathrooms (Full - Half):</b>	2 - 0
<b>Bedrooms:</b>	3	<b>Kitchens:</b>	1
<b>Fireplaces:</b>	1	<b>Basement Type:</b>	Crawl
<b>Porch Type:</b>	Porch-enclsd	<b>Porch Area:</b>	120.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	Normal	<b>Overall Grade:</b>	Average
<b>Year Built:</b>	1948	<b>Eff Year Built:</b>	2005

## Owners

William A Stoll  
Ellicottville NY 14731

Jennifer L Courtney  
Ellicottville NY 14731



## Sales

Sale Date	Price	Property Class	Sale Type	Prior Owner	Value Usable	Arms Length	Addl. Parcels	Deed Book and Page
2/24/2023	\$470,000	210 - 1 Family Res	Land & Building	16 Mechanic Street, LLC	Yes	Yes	No	20230/3519
2/24/2023	\$470,000	210 - 1 Family Res	Land & Building	16 Mechanic Street, LLC	Yes	Yes	No	20230/3519
9/10/2012	\$200,000	210 - 1 Family Res	Land & Building	Brown, James A	Yes	Yes	No	18362/3001
9/10/2012	\$200,000	210 - 1 Family Res	Land & Building	Brown, James A	Yes	Yes	No	18362/3001

## Utilities

<b>Sewer Type:</b>	Comm/public	<b>Water Supply:</b>	Comm/public
<b>Utilities:</b>	Gas & elec	<b>Heat Type:</b>	Hot air
<b>Fuel Type:</b>	Natural Gas	<b>Central Air:</b>	No

## Improvements

Structure	Size	Grade	Condition	Year
Porch-enclsd	120.00 sq ft	Average	Normal	1940
Porch-coverd	182.00 sq ft	Average	Normal	1948

## Special Districts for 2022

Description	Units	Percent	Type	Value
DS370-Delinquent sewer	0	0%	T	0
DW361-Delinquent water	0	0%	T	0
FD360-Ellicottville fire	0	0%		0
WB360-Water benefit	0	0%		0
WD361-Water 1	0	0%		0

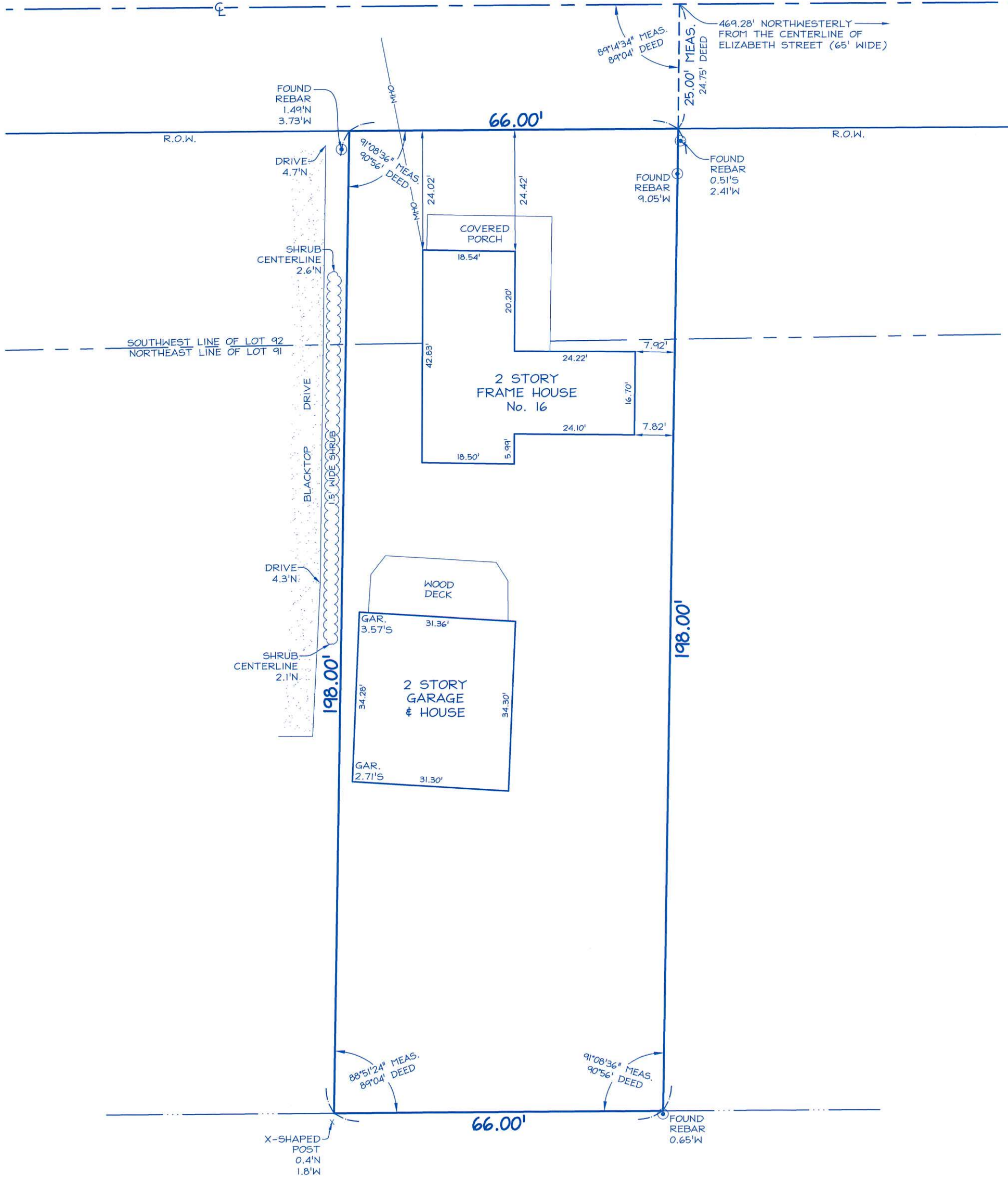
## Taxes

Year	Description	Amount
2021	County	\$3,534.89
2020	County	\$2,957.00
2020	School	\$1,864.35
2020	Village	\$1,612.00

**\* Taxes reflect exemptions, but may not include recent changes in assessment.**



# MECHANIC STREET (50' WIDE) STREET



NOTE: PHYSICAL FEATURES AT GROUND LEVEL NOT CHECKED AND/OR LOCATED DUE TO THE PRESENCE OF EXCESSIVE SNOW AND/OR ICE.

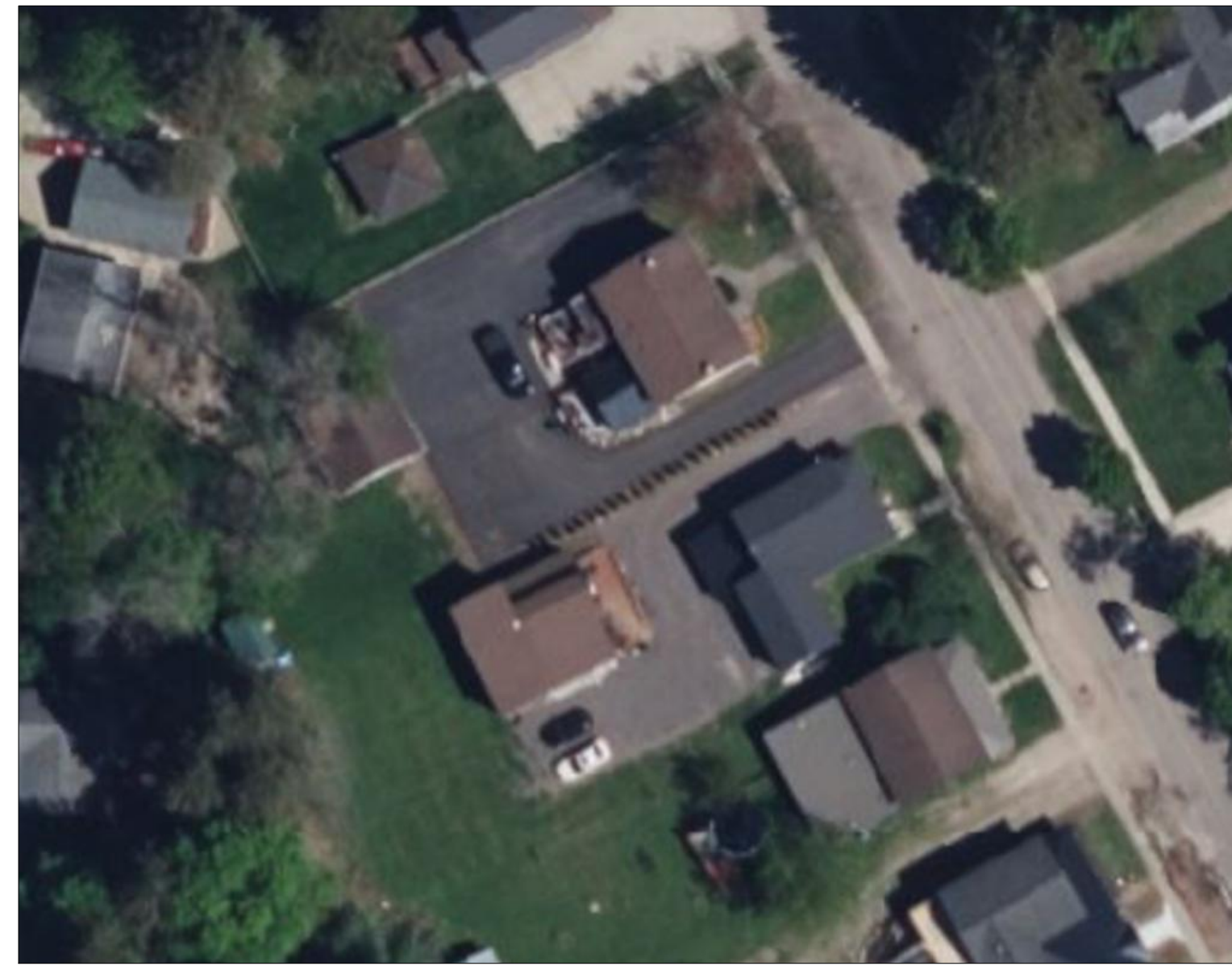
3556 Lake Shore Road, Suite 500, Buffalo, NY 14219 p (716) 827-8000 f (716) 270-6091 www.nussclarke.com	This survey was prepared without the benefit of an abstract of title and is subject to any state of facts that may be revealed by an examination of such.	Unauthorized alterations or additions to any survey, drawing, design, specification, plan or report is a violation of section 7209, provision 2 of the New York State Education Law.
<p><b>BOUNDARY SURVEY</b>  <b>16 Mechanic Street</b>          Part of Lots 91 &amp; 92, Township 4, Range 6          Holland Land Company's Survey          Village &amp; Town of Ellicottville          County of Cattaraugus, State of New York          Date of Survey: 02/08/2023      Scale: 1" = 20'      Project No.: 23J2-0042</p>		



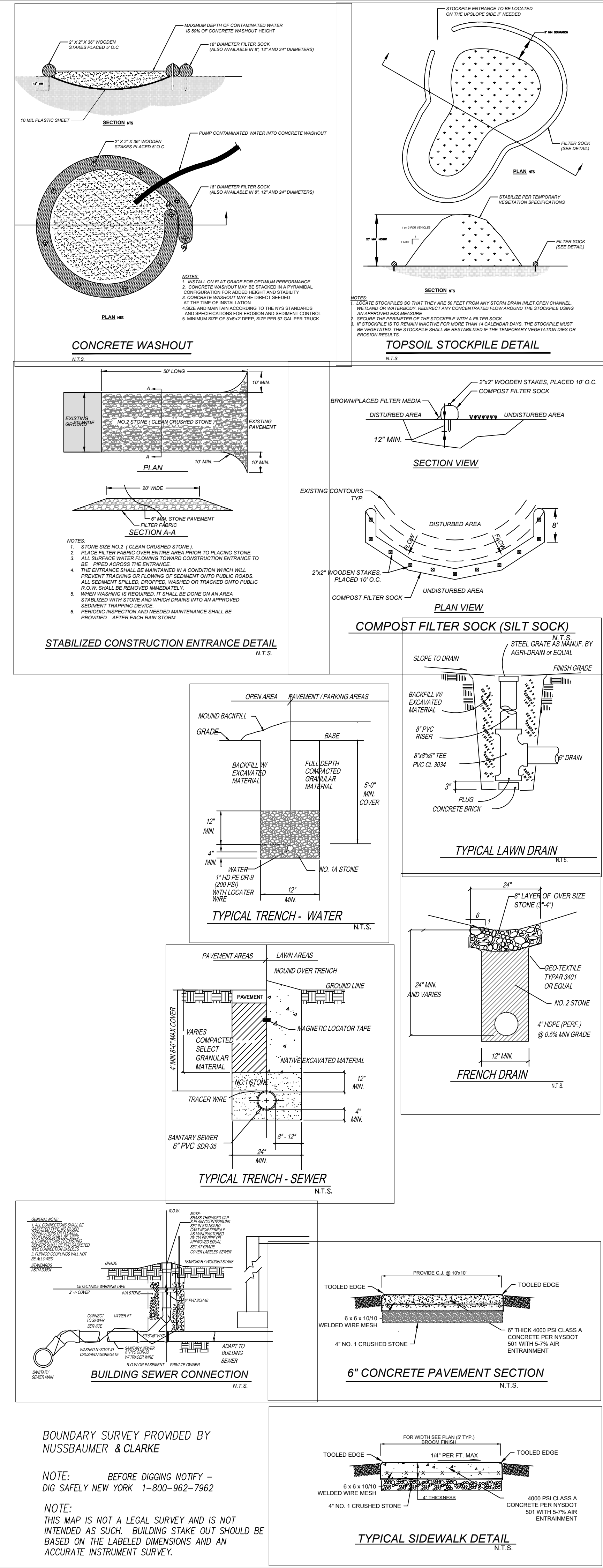
VILLAGE RESIDENTIAL ZONING - (VR)	
LOT SIZE	AS PLATTED
MINIMUM BUILDING SIZE	1000 SF
SIDE YARD	10', 30' TOTAL
FRONT YARD	25'
REAR YARD	35'
OPEN SPACE	40%
BUILDING HEIGHT	28', min 1.5 STORIES
ACCESSORY BUILDING HEIGHT	70% OF PRINCIPLE BLDG
MAX SIZE	60% OF PRINCIPLE
	OR 1,320 SF MIN
MIN APARTMENT SIZE	550 SF



LOCATOR MAP  
N.T.S.



SITE PLAN  
SCALE: 1"=10'



BOUNDARY SURVEY PROVIDED BY  
NUSSBAUMER & CLARKE

NOTE: BEFORE DIGGING NOTIFY --  
DIG SAFELY NEW YORK 1-800-962-7962

NOTE:  
THIS MAP IS NOT A LEGAL SURVEY AND IS NOT  
INTENDED AS SUCH. BUILDING STAKE OUT SHOULD BE  
BASED ON THE LABELED DIMENSIONS AND AN  
ACCURATE INSTRUMENT SURVEY.

AARON B.  
TILLER

COMMERCIAL, INDUSTRIAL, RESIDENTIAL  
CAD SERVICES

5 PINE STREET  
ALLEGANY, NEW YORK 14706  
716-307-3684  
AARONTILLER@GMAIL.COM

PROPOSED  
SITE PLAN

DOCUMENT STATUS

DATE: 4-13-2023

NOT FOR CONSTRUCTION

PROGRESS SET

PRELIMINARY

FINAL

ISSUED BY: ABT

RESIDENTIAL DESIGN  
FOR  
COURTNEY/STOLL  
RESIDENCE  
16 MECHANIC STREET  
ELLCOTTVILLE, NEW YORK 14731

REVISION DATE:

DRAWN BY:

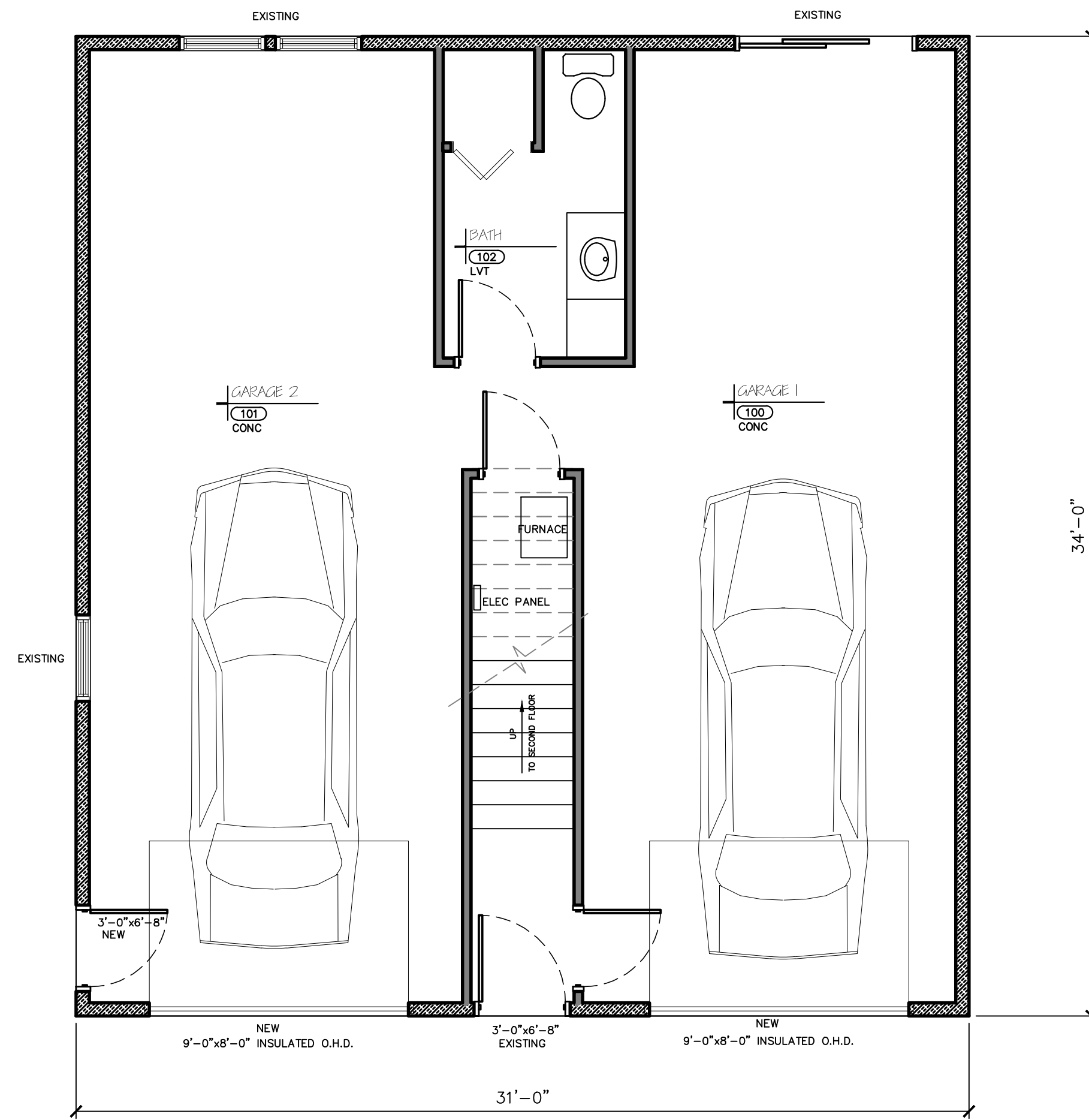
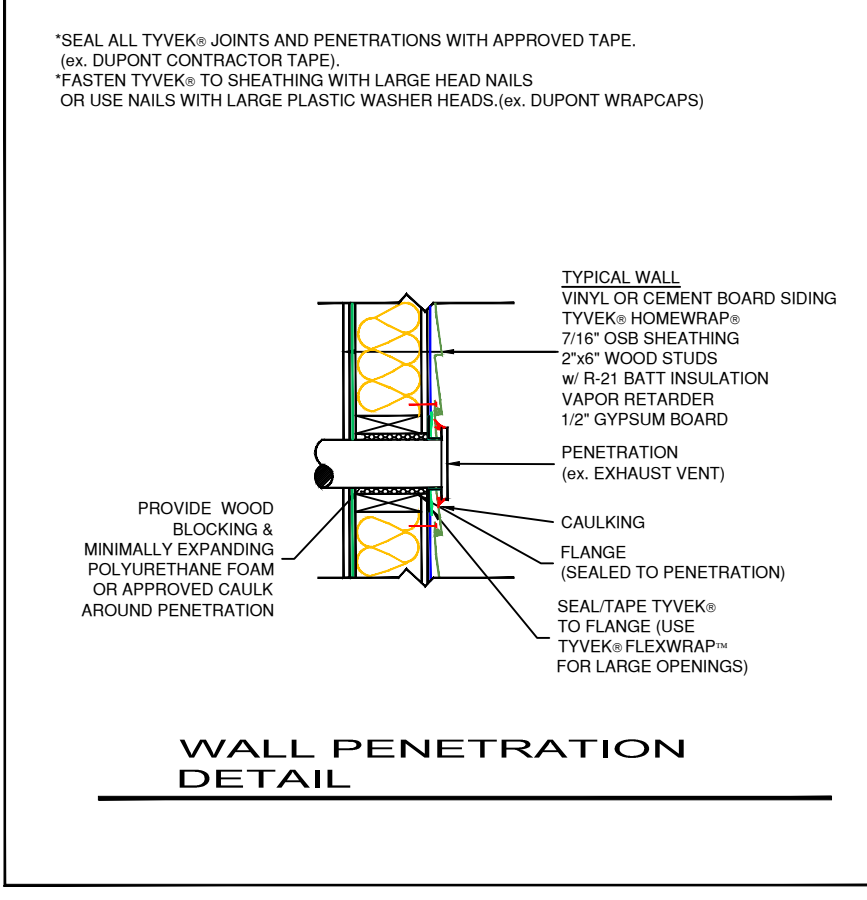
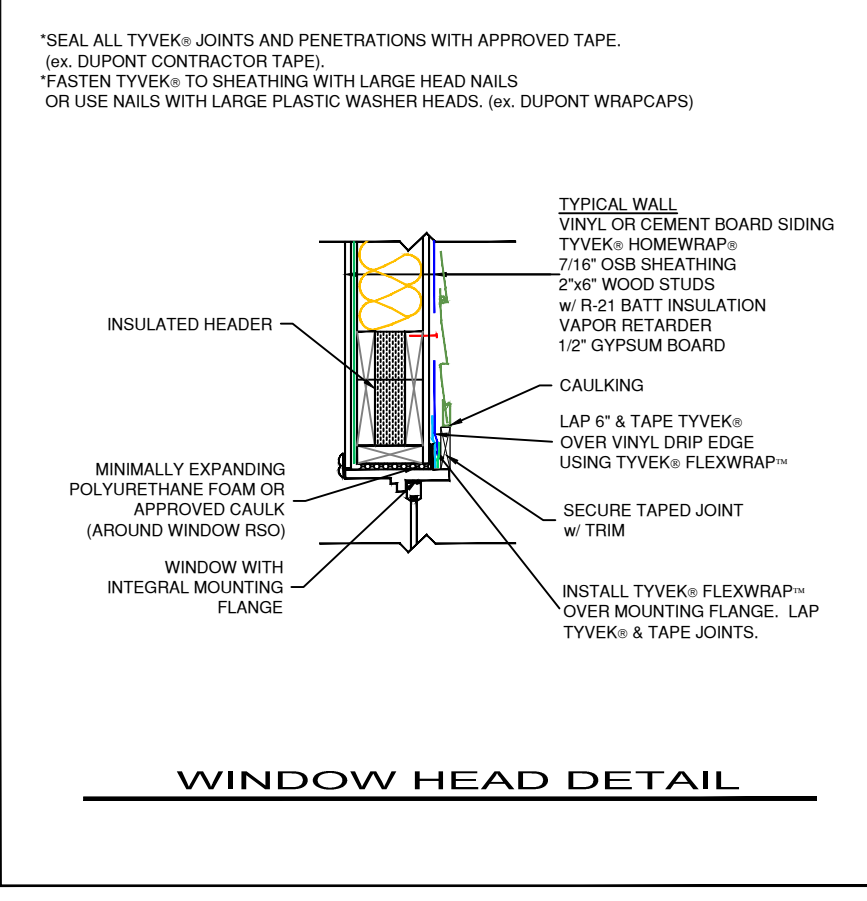
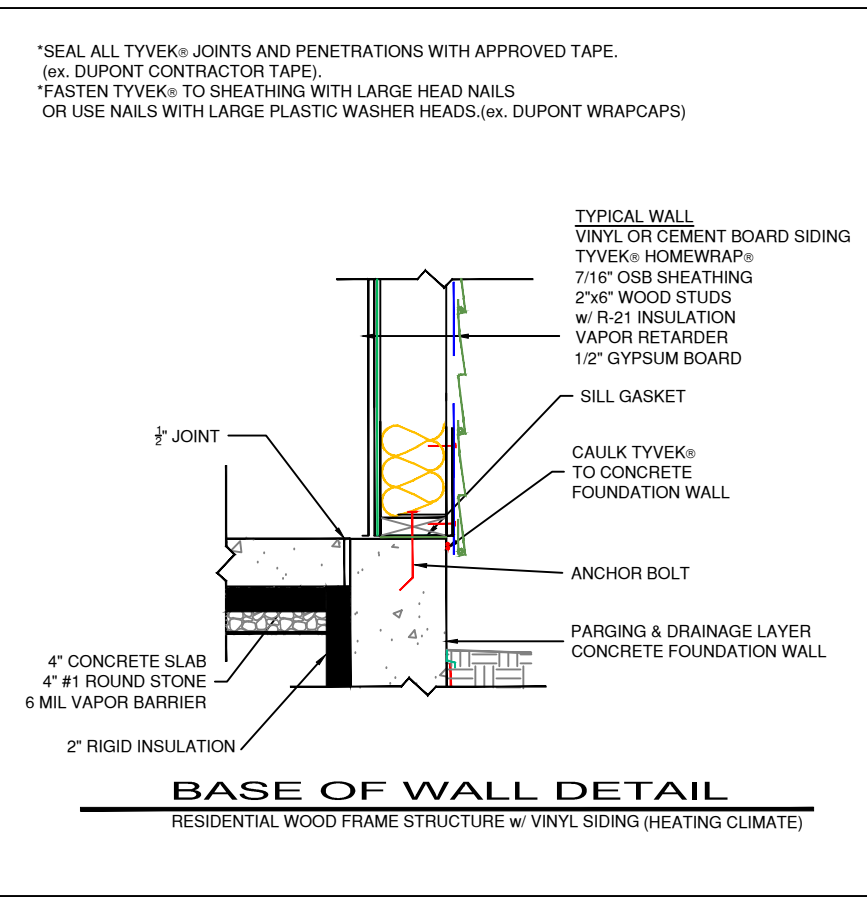
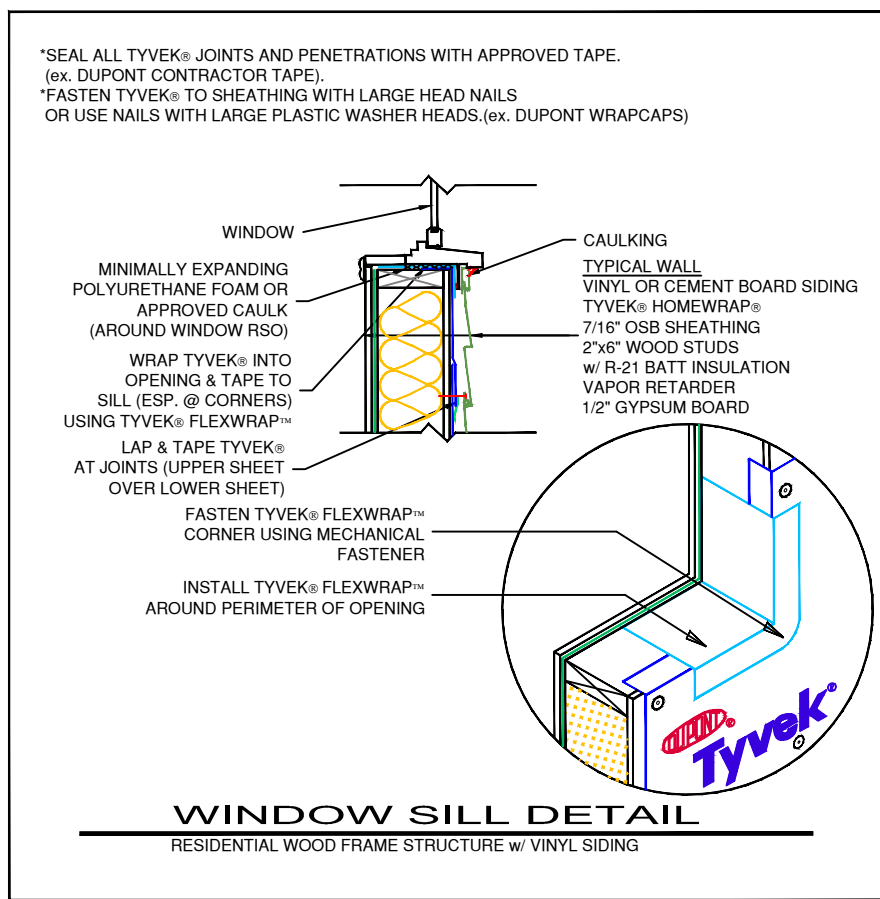
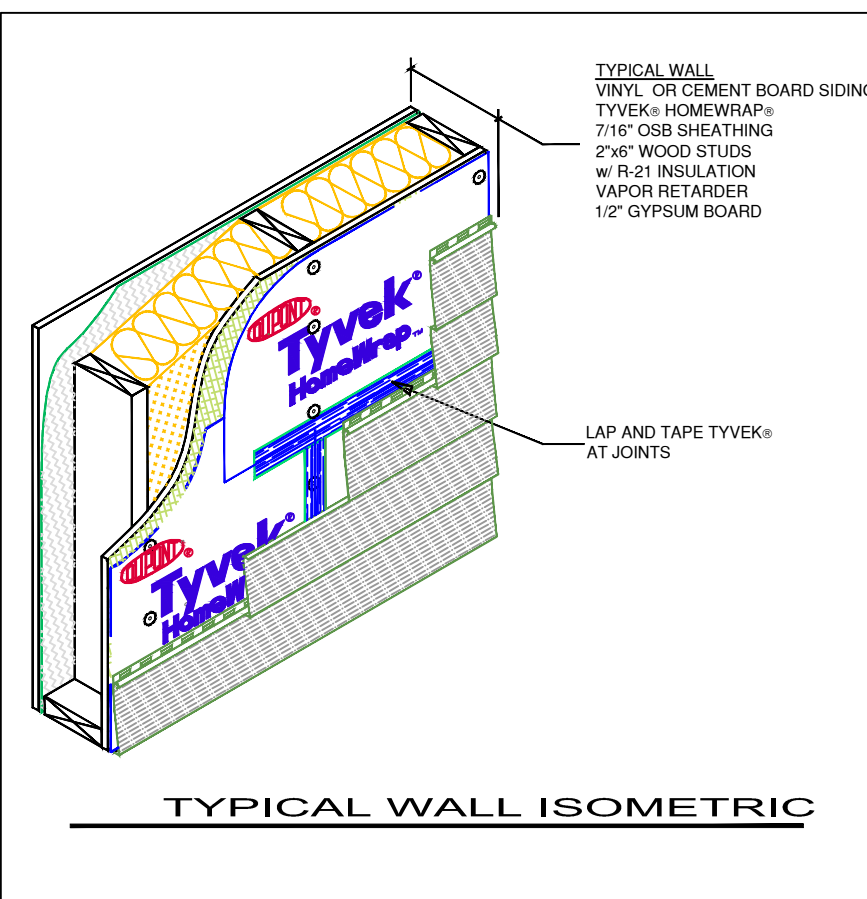
DATE:

4-13-2023

REVIEWED BY:

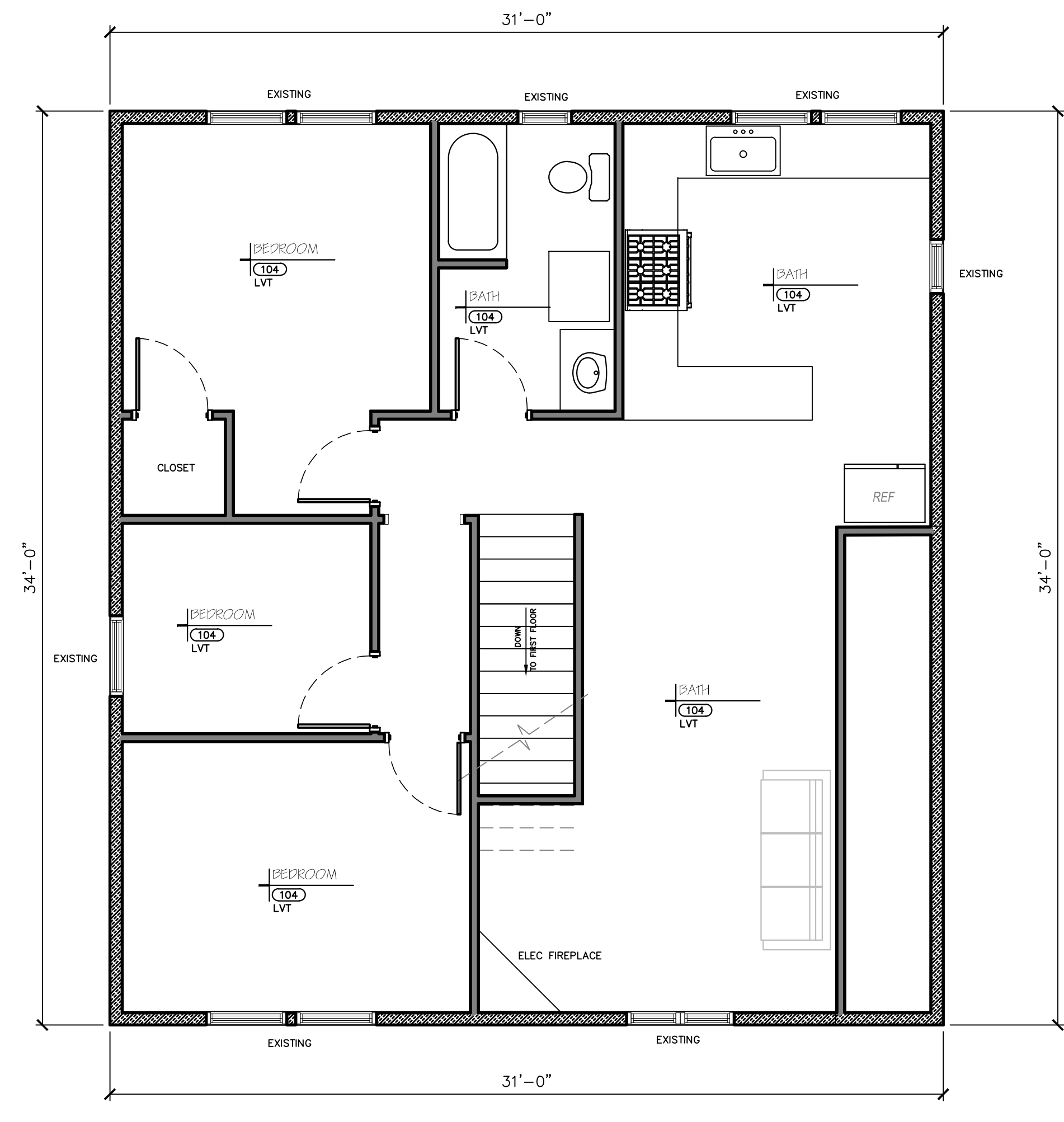
DRAWING NO:

C101



**PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4"=1'-0"  
FLOOR AREA =1054 SF



**EXISTING SECOND FLOOR PLAN**

SCALE: 1/4"=1'-0"  
FLOOR AREA =979 SF

**AARON B. TILLER**  
COMMERCIAL, INDUSTRIAL, RESIDENTIAL CAD SERVICES  
5 PINE STREET  
ALLEGANY, NEW YORK 14706  
716-307-3684  
AARONTILLER@GMAIL.COM

**PROPOSED FLOOR PLANS**

**DOCUMENT STATUS**  
DATE: 4-14-2023  
 NOT FOR CONSTRUCTION  
 PROGRESS SET  
 PRELIMINARY  
 FINAL  
ISSUED BY: ABT

**COURTNEY/STOLL RESIDENCE**  
RESIDENTIAL DESIGN FOR  
16 MECHANIC STREET  
ELLCOTTVILLE, NEW YORK 14731

REVISION DATE:	DRAWN BY:
DATE: 4-14-2023	REVIEWED BY:
DRAWING NO: <b>A101</b>	

GENERAL NOTES:

- 1. ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE NEW YORK STATE RESIDENTIAL CODE AND/OR ANY APPLICABLE COUNTY OR LOCAL JURISDICTION.
2. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION. OWNER/CONTRACTOR SHALL VERIFY WITH LOCAL BLDG. DEPT. WHICH CLIMATE ZONE THE PROJECT WILL BE BUILT IN.
3. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
4. DESIGN LOADS: ROOF (L.L.) 33 PSF
ROOF (L.L. + D.L.) (SHAKE/COMP) 48 PSF
ROOF (L.L. + D.L.) 48 PSF
FLOOR (L.L. + D.L.) 100 PSF
STAIRS (L.L. + D.L.) 100 PSF
GARAGE FLOOR (L.L.) (2,000# POINT) 50 PSF
DECKS (L.L. + D.L.) 50 PSF
BALCONIES (EXT.) (L.L. + D.L.) 70 PSF
ATTIC STORAGE (CLG JST) (L.L. + D.L.) 30 PSF

(IF YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS CONSULT WITH A LOCAL QUALIFIED PROFESSIONAL TO DETERMINE THE APPROPRIATE REVISIONS.)

5. THIS PLAN IS DESIGNED TO MEET 2020 NYS RESIDENTIAL ENERGY CODE UNDER PRESCRIPTIVE ENVELOPE REQUIREMENTS FOR RESIDENTIAL BLDGS. IN ADDITION TO PRESCRIPTIVE ENVELOPE REQUIREMENTS AN ADDITIONAL MEASURE MUST BE SELECTED. SEE ADDITIONAL MEASURE BELOW.

PRESCRIPTIVE ENVELOPE REQUIREMENTS

Table with columns for insulation types (ROOF VAULTED CEILING, ROOF FLAT CEILING, EXTERIOR WALLS, etc.) and their corresponding R-values (R-49, R-38, R-21, etc.).

6. ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING NOT TO EXCEED 25. A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450, WHEN TESTED IN ACCORDANCE WITH ASTM E 84, AND CRITICAL RADIANT FLUX NOT LESS THAN 0.12 WATTS PER SQUARE CENTIMETER.

7. INSULATE ALL ACCESS DOOR/HATCHES TO CRAWLSPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR, OR CEILING THROUGH WHICH THEY PENETRATE.

8. ALL WINDOWS WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE), AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE FLOOR OR WALKING SURFACE SHALL HAVE TEMPERED GLAZING.

9. SKYLIGHTS ARE ASSUMED TO BE PRE-MANUFACTURED UNIT SKYLIGHTS. UNIT SKYLIGHTS SHALL BE COMPLIANT WITH THE REQUIREMENTS OF D.R.S.C. SECTION NF112.

10. ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2" IN. DEAD BOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10' FT. (VERTICAL) OF GRADE.

11. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS & SHOWERS, AND IN ANY PART OF A BUILDING WALL ENCLLOSING THESE COMPARTMENTS, WHERE BOTTOM EDGE OF GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE, TO BE TEMPERED GLAZING.

12. BASEMENTS AND EVERY SLEEPING ROOM TO HAVE MIN. WINDOW OPENING OF 5.7 SQ. FT. WITH A MIN. WIDTH OF 20" IN. AND A SILL HGT. NOT MORE THAN 44" IN. ABOVE FIN. FLOOR.

13. SMOKE DETECTORS SHALL BE INSTALLED IN EA. SLEEPING ROOM, OUTSIDE THE IMMEDIATE VICINITY OF EACH SLEEPING AREA AND ON EACH STORY OF THE DWELLING. ALL DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS AND WILL BE AUDIBLE IN ALL SLEEPING AREAS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.

14. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE (N.E.C.) REQUIREMENTS.

15. INTERIOR & EXTERIOR STAIRS SHALL HAVE A MEANS TO ILLUMINATE THE STAIRS, INCLUDING LANDINGS & TREADS. INTERIOR STAIRS OF 6 STEPS OR MORE SHALL HAVE THE REQUIRED LIGHTING IN THE IMMEDIATE VICINITY OF THE TOP & BOTTOM OF THE STAIRS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDINGS OF STAIRS. EXTERIOR STAIRS LEADING FROM GRADE TO BASEMENT SHALL HAVE AN ARTIFICIAL LIGHT SOURCE IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDINGS OF STAIRS. LIGHTING FOR INTERIOR STAIRS SHALL BE CONTROLLED FROM TOP & BOTTOM OF EA. STAIR.

16. PROVIDE COMBUSTION AIR VENTS (W/ SCREEN AND BACK DAMPER) FOR FIREPLACES, WOOD STOVES, AND ANY APPLIANCES WITH AN OPEN FLAME.

17. BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MIN. 80 CFM INTERMITTENT. ROOMS W/ BATHING OR SPA FACILITIES SHALL BE CONTROLLED BY A DEHUMIDISTAT, TIMER OR SIMILAR MEANS OF AUTOMATIC CONTROL. DRYERS & RANGE HOODS ARE ALSO TO BE VENTED TO EXTERIOR.

18. SPECIFIC MANUFACTURES AND MATERIALS DERICATED ON THESE PLANS ARE AN INDICATION OF QUALITY AND STRENGTH. VERIFY ALL CONSTRUCTION MATERIAL SUBSTITUTIONS WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PRIOR TO INSTALLATION/SUBSTITUTION.

10. NAILING SCHEDULE:

Table listing nailing schedules for various components: JOIST TO SILL OR ORDER (3-8d TOE NAIL), BRIDGING TO JOIST (3-8d TOE NAIL), 2" SUBFLOOR TO ORDER (2-16d BLIND & FACE), etc.

SPAN TABLES

Table with columns for JOISTS (19# L.L.), FLOOR (19# L.L.), CEILING (19# L.L.), RAFTERS (19# D.L.), TILE (19# D.L.), and COMP./SHAKE (10# D.L.). It provides span limits for different joist and rafter sizes and spacings.

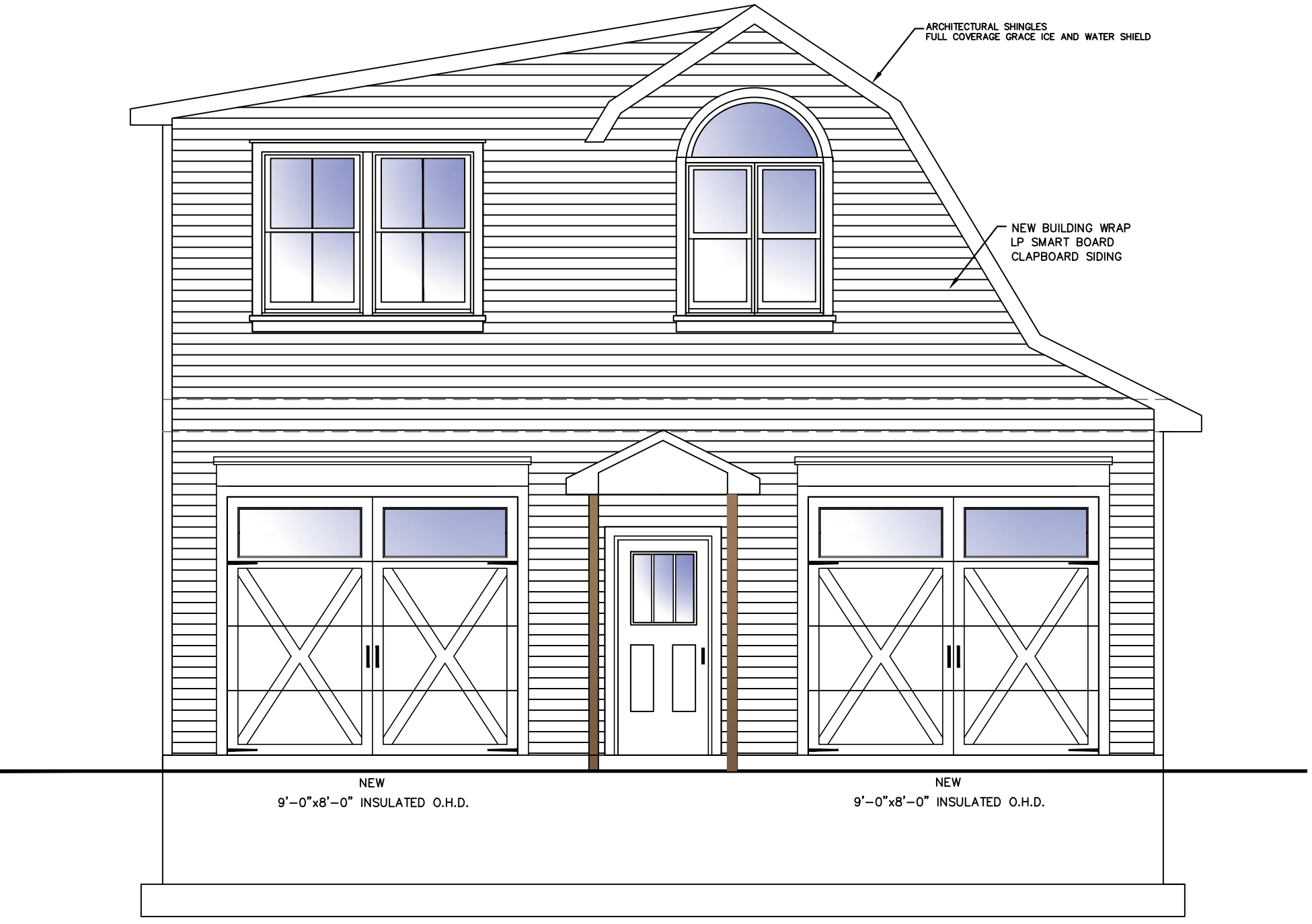
ENERGY CONSERVATION CODE

- 1. RESIDENTIAL BUILDING REGULATED BY 2018 IECC ENERGY CONSERVATION CODE.
2. TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATION ARE IN COMPLIANCE WITH THE ENERGY CODE.
3. THE BUILDING IS LOCATED IN CATTARAUGUS COUNTY, WHICH IS CLIMATE ZONE 6
4. THE BUILDING HAS FOLLOWED THE CODE USING RESCHECK.
5. THE BUILDING SHALL HAVE THE FOLLOWING MIN COMPONENT UNLESS NOTED. IN THE RESCHECK REVIEW.
A. FENESTRATION 0.31 U-FACTOR
B. SKYLIGHTS 0.55 U-FACTOR
C. CEILING R-10
D. WOOD FRAME WALL 20+5 OR 13+10 R-VALUE
E. MASS WALL 15/20 R-VALUE
F. FLOOR 30 R-VALUE
G. BASEMENT WALL 15/19 R-VALUE
H. SLAB 10 R-VALUE TO 4"
I. CRAWL SPACE 15/19 R-VALUE
6. A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE BUILDER AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED IN THE UTILITY ROOM. THE CERTIFICATE SHALL LIST THE R-VALUES, U-FACTORS AND RESULTS FROM REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING. THE CERTIFICATE SHALL LIST THE TYPES OF AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT.
7. WINDOW, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT, WHEN TESTED ACCORDING TO NFRC 400 OR AAMA/WDMA/CSA 101/1.S.2/A440 BY AN ACCREDITED, INDEPENDANT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.
8. BUILDING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.
9. PROVIDE A BLOWER DOOR TEST PER SECTION R402.4.1.2
10. A MINIMUM OF 75% OF LAMPS SHALL BE HIGH EFFICACY.
11. PROVIDE WHOLE HOUSE MECHANICAL VENTILATION PER TABLE M1507.3.3(1)

FRAMING NOTES:

- 1. ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE (2)X 10 HEADERS UNLESS OTHERWISE INDICATED.
2. ALL EXTERIOR WALLS TO BE BUILT OF 2 X 6 STUDS @ 16" O.C. TYPICALLY UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS ARE TO BE BUILT OF 2 X 4 STUDS @ 16" O.C. TYPICALLY UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS SUPPORTING TWO OR MORE FLOORS AND 1 OR MORE ROOF/CEILING ASSEMBLIES SHALL BE 2 X 6 STUDS @ 16" O.C.
3. ALL METAL CONNECTORS TO BE "SIMPSON" OR EQUIVALENT. U.N.O. JOISTS HUNG ON FLUSH BEAMS TO BE ATTACHED WITH L2210 OR EQUIVALENT. MULTIPLE JOISTS USE U210-2/U210-3 AS REQUIRED. USE OF 10# X 1-1/2" NAILS ARE ALLOWED WITH THESE TYPE OF HANGERS UNLESS NOTED ON THE PLANS. SEE NAIL CONVERSION CHART FROM CURRENT SIMPSON CATALOG FOR OTHER NOTES AND RESTRICTIONS THAT MAY APPLY.
4. PROVIDE MIN DOUBLE JOISTS UNDER ALL BEARING WALLS ABOVE. RUNNING PARALLEL TO JOISTS AND SOLID BLOCKING BELOW ALL BEARING WALLS RUNNING PERPENDICULAR TO FLOOR JOISTS.
5. PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER SPACE AT VAULTED O.G. AREAS, AND INSULATION BATTLES AT EAVE VENTING BETWEEN RAFTERS. RAFTER VENTILATION IS ALSO REQUIRED AT BLOCKING LOCATIONS ABOVE THE PLATE.
6. PROVIDE FIRE BLOCKING, DRAFT STOPS, & FIRE STOPS AS PER NYS RESIDENTIAL CODE.
7. HIPS, VALLEYS AND RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END CUT OF THE RAFTER.
8. UNLESS NOTED OTHERWISE, POST TO BEAM CONNECTIONS REQUIRE "SIMPSON" BE SERIES CAP/BASE (OR APPROVED EQUAL) CONNECTORS. EXTERIOR APPLICATIONS REQUIRE "SIMPSON" EPB SERIES BASES U.N.O. AND INTERIOR GARAGE POSTS REQUIRE "SIMPSON" CB SERIES BASES.

LUMBER SPECIES table with columns A-J for different structural components like posts, joists, studs, and blocking, listing required lumber grades like NO. 2 DOUGLAS FIR and STUD GRADE S.P.F.



PROPOSED FRONT ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED LEFT ELEVATION

SCALE: 1/4"=1'-0"

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PROPOSED ELEVATIONS

DOCUMENT STATUS
DATE: 4-14-2023
[ ] NOT FOR CONSTRUCTION
[ ] PROGRESS SET
[ ] PRELIMINARY
[ ] FINAL
ISSUED BY: ABT

RESIDENTIAL DESIGN FOR
COURTNEY/STOLL RESIDENCE
16 MECHANIC STREET
ELLICOTTVILLE, NEW YORK 14731

REVISION DATE: DRAWN BY:
DATE: 4-14-2023 REVIEWED BY:
DRAWING NO: A201

**FRAMING NOTES**

- THE FOLLOWING IS A LIST OF PROCEDURES TO ACCOMPANY STANDARD BUILDING PRACTICES AND SHOULD BE FOLLOWED DURING THE FRAMING OF THE STRUCTURE:
- A. ALL FRAME WALLS SHALL HAVE STUD FRAMING PLACED AT 16" O.C. EXCEPT WHERE NOTED OTHERWISE.
  - B. TOP PLATES SHALL BE DOUBLED ON ALL WALLS EXCEPT WHERE NOTED OTHERWISE.
  - C. JACK STUDS UNDER ALL HEADERS SHALL BE CONTINUOUS TO SOLE PLATE.
  - D. DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOISTS UNLESS NOTED OTHERWISE, ALSO UNDER KITCHEN CABINETS AND BATHTUBS PARALLEL WITH JOISTS.
  - E. BLOCK ALL STUD WALLS AS REQUIRED FOR SHEATHING.
  - F. SOLID BLOCKING BETWEEN ALL JOISTS AND RAFTERS AT SUPPORTING WALLS AND BEAMS EXCEPT AT RIM JOISTS.
  - G. DOUBLE RIM JOISTS AT ALL WALLS PARALLEL TO JOISTS.
  - H. BEAMS, GIRDERS AND JOISTS SUPPORTING BEARING WALLS OR CONCENTRATED LOADS SHALL NOT BE NOTCHED OR DRILLED WITH HOLES LARGER THAN 1" DIA.
  - I. ALL RAFTERS SHALL BE NOTCHED TO PROVIDE FULL BEARING AT SUPPORTS.
  - J. THE ENDS OF ALL JOISTS SHALL BEAR ON NOT LESS THAN 1 1/2" WOOD OR METAL AND NOT LESS THAN 3" ON MASONRY. THE ENDS OF ALL BEAMS OR GIRDERS BEAR NOT LESS THAN 3".
  - K. LAP JOISTS 3" MIN. (24" MAX.) AT ALL INTERIOR BEARING SUPPORTS.
  - L. MUD SILLS AND LEDGER BOARDS AT CONCRETE WALLS SHALL HAVE ANCHOR BOLTS OF THE SIZE AND SHAPE SHOWN ON THE DRAWING. EACH BOARD SHALL BE SECURED WITH AT LEAST TWO BOLTS AND EACH BOARD SHALL HAVE A BOLT WITHIN 12" OF EACH END.
  - M. PROVIDE DOUBLE FRAMING AT ALL ROOF AND FLOOR DIAPHRAGM PENETRATIONS, UNLESS OTHERWISE NOTED.
  - N. CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AT ALL PORTIONS OF THE STRUCTURE UNTIL ALL MEMBERS HAVE BEEN PERMANENTLY JOINED TOGETHER.
  - O. ALL ROOF TRUSSES SHALL BE DESIGNED BY A REGISTERED ENGINEER FOR THE TRUSS MANUFACTURER. SUBMIT SEALED TRUSS ENGINEERING DRAWINGS TO THE LOCAL BUILDING DEPT. INDICATING BRACING, ETC. THAT MAY BE REQUIRED.
  - P. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED WITH A WATER BORNE PRESERVATIVE.
  - Q. ALL MECHANICAL HOLES THROUGH ANY STRUCTURAL MEMBER SHALL BE AT THE CENTER LINE OF THE MEMBER IN COMPLIANCE WITH THE LATEST EDITION OF THE WOOD STRUCTURAL DESIGN DATA SPECS.

**WINDOW AND DOOR REQUIREMENTS**

- A. ALL WINDOWS ARE NOTED BY ANDERSEN CATALOG # IN PLAN AND ELEVATION, WITH SPECIFIC MANUFACTURER SELECTION BY OWNER AND/OR CONTRACTOR. CONTRACTOR MUST VERIFY ALL ROUGH FRAMING OPENINGS.
- B. BEDROOMS AND SLEEPING AREAS MUST HAVE AT LEAST ONE WINDOW W/ SILL HEIGHT NO MORE THAN 44" ABOVE THE FLOOR WHICH WILL MEET LOCAL CODE EMERGENCY EGRESS REQUIREMENTS. MINIMUM NET CLEAR OPENING OF 5.7 SF. GRADE FLOOR MIN. 5.0 SF. MIN OPENING WIDTH=20", MIN OPENING HEIGHT=24"
- C. ALL WINDOWS, DOORS, & PATIO DOORS W/ GLASS SHALL BE DOUBLE GLAZED, INSULATED UNITS WITH WOOD OR ALUMINUM FRAME AND SASH.
- D. EXTERIOR DOORS ARE TO BE FOAM CORE INSULATED STEEL DOORS UNLESS OTHERWISE NOTED.
- E. ALL DOORS BETWEEN GARAGE AND LIVING AREAS SHALL BE 3/4 HOUR FIRE RATED ASSEMBLIES W/ 1-3/4" SOLID WOOD CORE (OR CODE APPROVED EQUAL) WITH SELF CLOSING MECHANISM.

**MISCELLANEOUS**

- A. PLUMBING DIAGRAMS OR DRAWINGS SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR.
- B. HEATING/COOLING DUCTS DRAWINGS SHALL BE PROVIDED BY THE H.V.A.C. CONTRACTOR.
- C. HEAT LOSS OR ENERGY USE CALCS. TO BE PROVIDED BY THE HVAC CONTRACTOR AS REQUIRED BY REGULATIONS.
- D. ALL FIREPLACES WILL BE U.L. APPROVED ZERO-CLEARANCE FIREPLACES WITH A TRIPLE WALL METAL FLUE, U/L/ APPROVED SPARK ARRESTOR CHIMNEY CAP W/ RAIN CAP. ALL FIREPLACE OPENINGS SHALL BE PROVIDED WITH TEMPERED GLASS DOORS. PROVIDE OUTSIDE COMBUSTION AIR FOR FIREPLACES, WOOD STOVE, AND LIQUID FUEL HEATING APPLIANCES (U.B.C. 3707(1)) UNLESS OTHERWISE SPECIFIED. MASONRY FIREPLACES SHALL BE CONSTRUCTED PER R1001 AND R1003 OF NYS BUILDING CODE.
- E. SMOKE DETECTORS SHALL BE CONNECTED TO HOUSE POWER AND ALL DETECTORS SHALL BE INTERCONNECTED.
- F. TUB AND TUB/SHOWER ENCLOSURES ARE TO HAVE 1/2" WATER RESISTANT GYP. BOARD AND A HARD, MOISTURE RESISTANT SURFACE 6'-0" MIN. ABOVE THE FLOOR.
- G. ALL EXHAUST FANS, RANGE HOODS, AND DRYERS SHALL VENT TO OUTSIDE THROUGH SHEET METAL DUCTS. CAULK AROUND ALL PENETRATIONS THROUGH EXT. ENVELOPE.
- H. PROVIDE 5/8" TYPE "X" FIRE RATED, GYPSUM BOARD BETWEEN GARAGE AND LIVING AREAS INCLUDING GARAGE CEILING AND UNDER STAIRS WHERE STORAGE SPACE IS PROVIDED.
- I. CONTRACTOR IS RESPONSIBLE FOR SITE LOCATION OF ALL FOUNDATION AND SLAB PENETRATIONS.
- J. STAIR TREADS AND RISERS SHALL BE WITHIN CODE REQUIRED DIMENSIONS.
- K. ALL STAIRS W/ 3+ RISERS MUST HAVE HANDRAIL.
- L. A VAPOR-PERMEABLE AIR INFILTRATION BARRIER, SUCH AS TYVEK, IS TO BE INSTALLED BETWEEN WALL SHEATHING AND SIDING.
- M. BEFORE STARTING CONSTRUCTION, THE USER OF THESE PLANS MUST VERIFY THE AVAILABILITY OF THE PRODUCTS SUGGESTED OR SPECIFIED, HEREIN.
- N. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, ETC., IN ACCORDANCE W/ MANUF. REPRESENTATIVES IN WRITING.
- O. STRUCTURE IS DESIGNED TO CARRY THE LOAD OF COMPOSITION ROOF SHINGLES OR SHAKES. SHOULD SUBSTANTIALLY HEAVIER ROOF MATERIALS BE CONTEMPLATED, THE STRUCTURE WILL NEED TO BE REDESIGNED ACCORDINGLY.
- P. ALL GLASS WITHIN 12" OF A DOOR AND/OR 18" OF THE FLOOR SHALL HAVE TEMPERED GLAZING.
- Q. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE BRACING OR TO OTHERWISE SUPPORT ALL PORTIONS OF THE STRUCTURE UNTIL THE MEMBERS HAVE BEEN PERMANENTLY JOINED.

**STRUCTURAL & MISC. METAL**

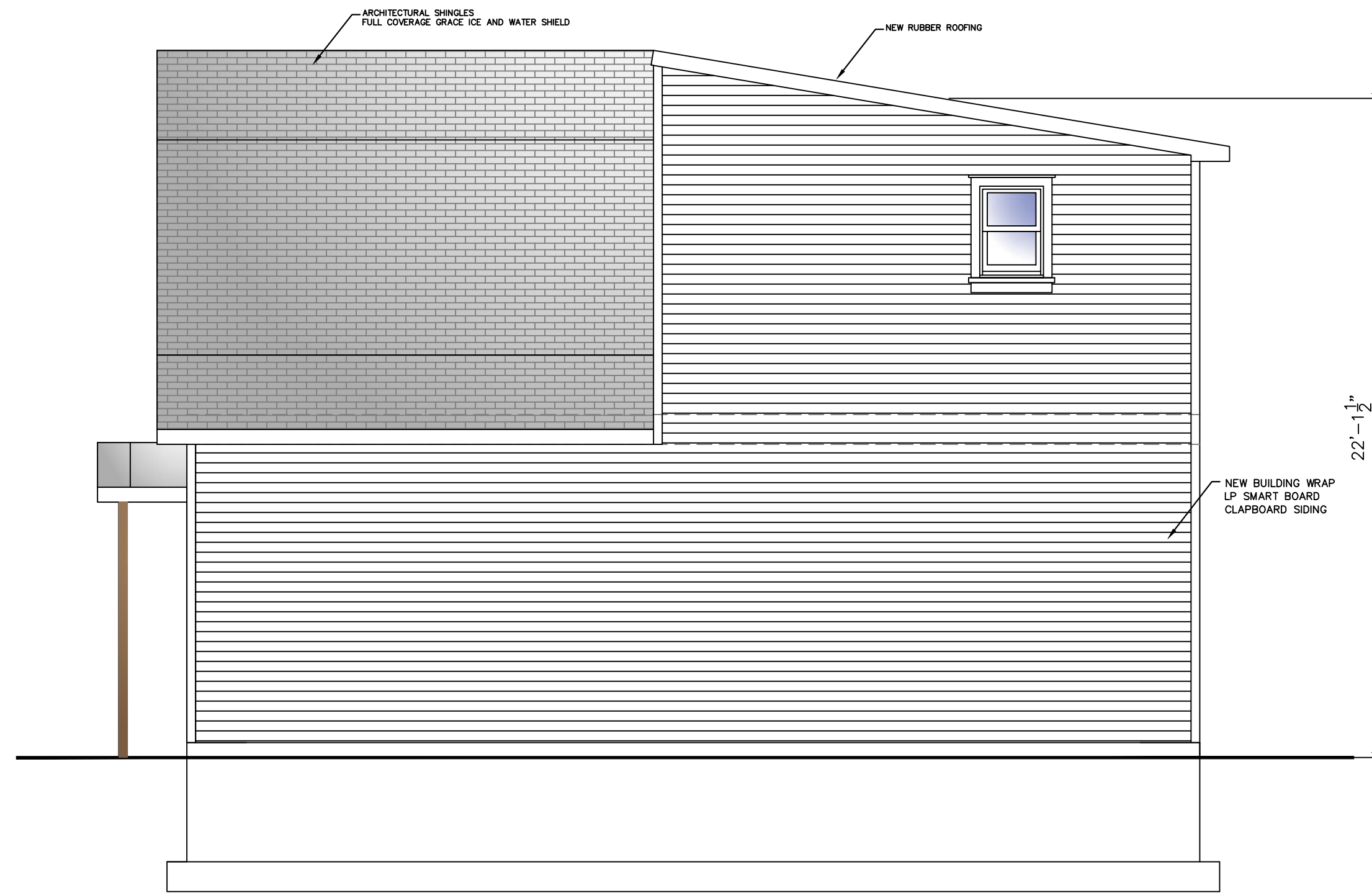
- A. STRUCTURAL SHAPES, BARS AND PLATES SHALL BE STEEL, MEETING ASTM STANDARD A36. PIPE COLUMNS SHALL BE STANDARD WEIGHT, MEETING ASTM A53, TYPE S, UNLESS OTHERWISE NOTED.
- B. DESIGN AND FABRICATION SHALL CONFORM TO AISC SPECIFICATIONS. EXPOSED WELDS SHALL BE GROUND SMOOTH AND FLUSH. REINFORCEMENT SHALL BE BENT COIL AND SHALL NOT BE WELDED. ALL ITEMS EXCEPT THOSE TO BE ENCASED IN CONCRETE, SHALL BE SHOP PAINTED W/ RUST INHIBITING PRIMER. ERECTION SHALL CONFORM TO AISC SPECS.

**FLASHING**

INSTALL FLASHING AND COUNTER-FLASHING OF 26 GAUGE GALVANIZED METAL OR ALUMINUM WHEREVER DISSIMILAR BUILDING MATERIALS JOIN OR INTERSECT AT THE ROOF OF THE STRUCTURE. THIS INCLUDES ALL INTERSECTIONS OF THE ROOF WITH VERTICAL WALLS, CHIMNEYS, AND DORMERS, AND AS OTHERWISE SHOWN ON THE DRAWINGS. FLASHING MUST ALSO BE INSTALLED ABOVE WINDOWS AND DOORS, AND AT ALL HORIZONTAL JOINTS IN SHEET SIDING.

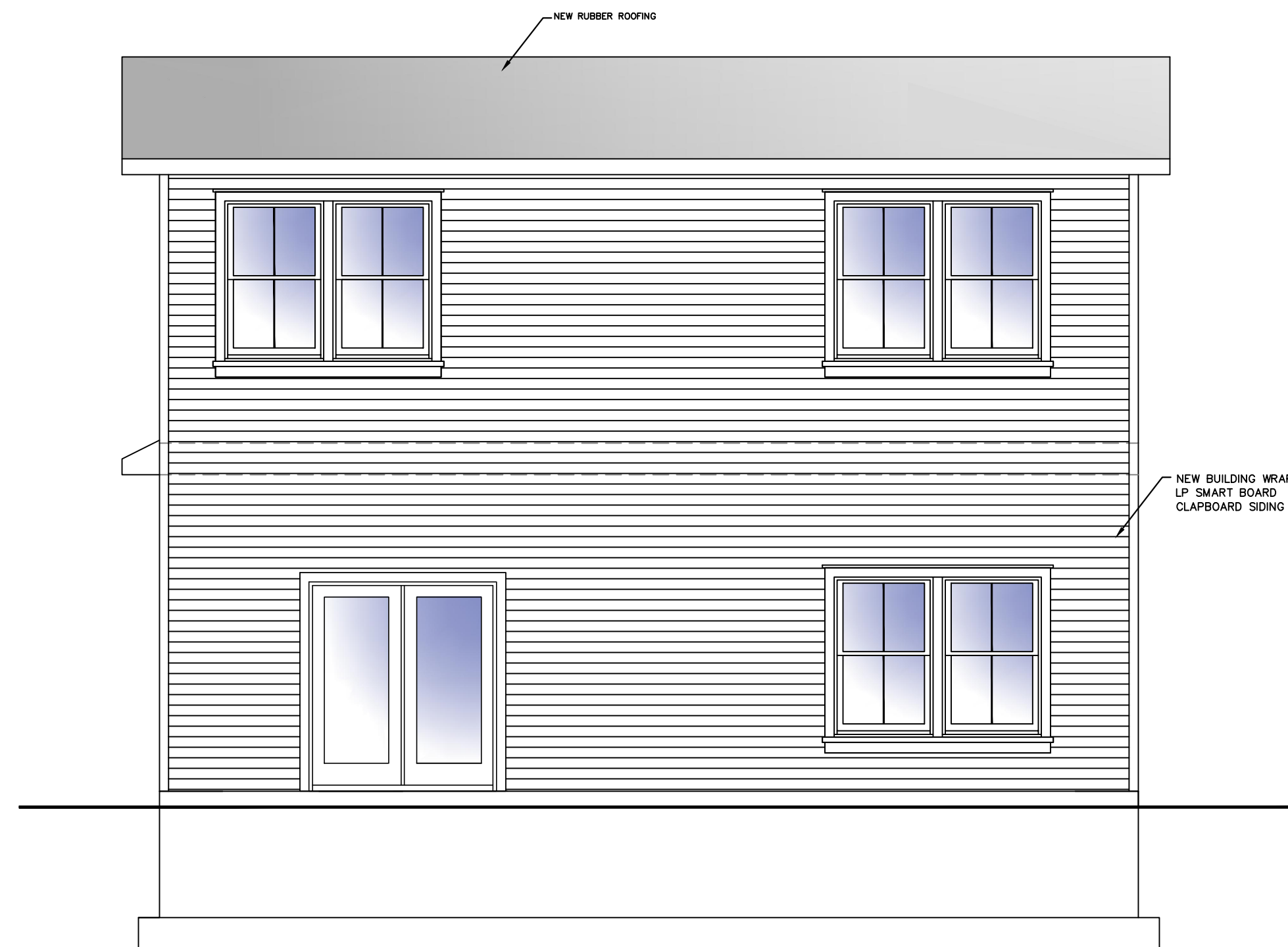
**GUTTERS**

ALL GUTTERS SHALL BE CONTINUOUS WITHOUT SEAMS AND MADE OF ALUMINUM OR AS OTHERWISE SHOWN ON DRAWINGS. GUTTERS SHOULD BE SECURED A MIN. 4'-0" O.C. W/ APPROVED FASTENERS.



**PROPOSED RIGHT ELEVATION**

SCALE: 1/4"=1'-0"



**PROPOSED REAR ELEVATION**

SCALE: 1/4"=1'-0"



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