



Engineering • Design • Consulting

April 12, 2024

Mr. Greg Keyser
Town and Village of Ellicottville Planner
1 West Washington Street
Ellicottville, New York 14731

RE: Crosby's Convenient Store
Route 242 & US Route 219
Ellicottville, NY 14731

SUBJ: Engineering Review of Site Plan Application

FILE: 2556.001.001

Dear Mr. Keyser:

This is a response to the November 22, 2023, Barton & Loguidice, D.P.C. (B&L) Review letter.

Site Plan Drawings


General Site Design Comments:

1. Subsequent submissions should include all relevant details and cross sections, including but not limited to; pavement, sidewalks, dumpster enclosure, storm water, erosion and sediment control, utility trenches, landscaping, etc.

Response: Details of the proposed improvements have been added to the plans in the applicable sections.

2. There are two proposed parking stalls directly adjacent to the patio seating area that appear would conflict with the parking stalls adjacent to them. Turn movements in and out of those two stalls will be problematic not only with the adjacent parking stalls, but also with the drive-thru aisle. B&L recommends removing or relocating those stalls to minimize vehicular movement conflicts and to address safety concerns.

Response: Parking stalls adjacent to the patio have been removed

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3. The trash enclosure at the northwest corner of the site appears to create a conflict with the drive-thru aisle. Please clarify how and when trash removal will occur. It is assumed that a garbage truck would have to back down the one-way drive-thru aisle to pull up to the enclosure, and then pull out forward in a direction that conflicts with the circulation plan. Also, please label the trash enclosure on the plans to confirm its location. Lastly, if a garbage truck is to use the drive-thru lane pursuant to the circulation plan, please provide turn movements for that vehicle class to ensure it can navigate that turn.

Response: The trash enclosure has been rotated 90 degrees so the garbage truck will no longer need to access dumpsters via drive-through.

4. Please include the sequence of construction on the site plan drawings.

Response: The Soil Erosion and Sediment Control Construction Schedule has been added to the Stormwater Pollution Prevention Details on Sheet C-6.1.

Site Grading Plan (Sheet 4 of 23):

5. The plans label the proposed storm water pond area to be utilized for snow storage. It is recommended that snow storage areas be labeled up gradient of storm water management practices so that snow melt runoff can be captured and treated.

Response: Additional snow storage areas have been labeled throughout the site as shown.

Site Utility Plan (Sheet 5 of 23):

6. The utility plan should include proposed electrical and gas utility connections.

Response: The proposed electric and gas service routings have been added to the Site Utility Plan, sheet C-5.0, as shown.


7. Please include all proposed water and sanitary sewer rim elevations and invert elevations on the utility plan.

Response: All proposed rim and invert elevations have been added to the Site Utility Plan, sheet C-5.0 as shown.

Stormwater Pollution Prevention Plan (Sheet 6 of 23):

8. Please label all proposed pretreatment practices, storm water management practices, and subsurface pipes on the storm water pollution prevention plan sheet.

Response: These items have been labeled on the revised Stormwater Pollution Prevention Plan, sheet C-6.0.

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9. There are several sections of silt fence shown proposed across contours. Silt fence should be installed along contours per NYS Standards and Specifications for Erosion and Sediment Control (November 2016). Alternative erosion and sediment control practice(s) may need to be utilized in some areas.

Response: The originally proposed silt fence detail has been replaced with the NYS Standard reinforced silt fence detail as shown on the Stormwater Pollution Prevention Details, Sheet C-6.1.

Lighting Proposal (Sheet 11 of 23):

10. There are areas along the northeastern site boundary where illumination levels are proposed above 0.1 foot-candles. Per Town Zoning Law 12.2.C.1.h, the maximum light level allowed at a point within five (5) feet of the adjacent property is 0.1 foot-candles.

Response: Updated Information has been resubmitted.

Landscape Plan (Sheet 12 of 23):

11. Per Section 3.6.E.3 of the Town Zoning Law, the landscaped buffer should be a minimum of 20 feet wide. This requirement has not been met in the southeastern or northeastern front yards.

Response: Updated Information has been resubmitted. Working with Mr. Keyser on what is required.

12. Per Town Zoning Law Section 3.6.G, 30% of the site area must be maintained as open space. The plans currently show 26.9% as open space.

Response: Working with Mr. Keyser, the plan meets the threshold.

Utilities and Services

13. Please provide a breakdown of the water/sewer flow calculations for estimated flow rates and peak flow factors, and indicate source for peaking factors used.

Response: An Estimated Population Equivalent calculation is included within this submittal.

14. Provide a letter from the Town of Ellicottville Water and Sewer Departments Acknowledging receipt of the Site Plan Drawings and confirming that ample capacity exists to service the project site (i.e. will serve letters).

Response: Mr. Keyser, please advise if you will facilitate and forward this information to the appropriate Departments or if you can provide introductions/contacts.

15. The Applicant should provide evidence from service providers that adequate service can be provided to the expanded site (i.e., gas, telecommunications, power). Connection locations and proposed modifications should be indicated on the Plans.

Response: The location has water, sewer, gas and electric available. When the development is approved, Reid Petroleum will work with their general contractor and applicable utility suppliers to define the proposed connection locations.

16. Please provide details for the proposed electrical vehicle charging stations.

Response: Electric vehicle charging stations are a future coordination item. The plan would be to run conduit to the spots and cap the conduit flush with the concrete allowing a possible addition of EV chargers in the future. The note has been updated to indicate "FUTURE ELECTRIC VEHICLE CHARGING"

Storm water Pollution Prevention Plan (SWPPP)

17. The submitted SWPPP appears to follow the National Pollutant Discharge Elimination System (NPDES) Construction General Permit (CGP) for Storm water Discharges from Construction Activities. However, it should be ensured that the SWPPP for the project is in accordance with the requirements of NYSDEC State Pollutant Discharge Elimination System (SPDES) General Permit for Storm water Discharges from Construction Activity (GP-0-20-001).

Response: The SWPPP has been prepared in accordance with the NYSDEC SPDES General Permit.

In addition to all the required SWPPP components detailed in Part III of the SPDES permit, please include the following:

a. Soil testing results as required depending upon proposed storm water management practices.


Response: This information has been added to the Stormwater Management Report.

b. Hydrologic and hydraulic modeling demonstrating that post-development peak flows are equal to or less than pre-development peak flows for the 1-, 10-, and 100-year storm events.

Response: Hydrologic and Hydraulic modeling meeting the New York State Stormwater Management Design Manual requirements has been provided in the enclosed Stormwater Management Report.

c. Calculations showing that all water quality and runoff reduction volume requirements are met. Please use the green infrastructure worksheets available from the NYSDEC's website to complete these calculations and provide supplemental calculations and /or narrative as necessary.

Response: These calculations have been provided in the enclosed Stormwater Management Report.

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- d. Operation and maintenance manual for all permanent stormwater management practices.
Response: Operation and Maintenance requirements have been added to the enclosed Stormwater Management Report
 - e. Completed Notice of Intent (NOI).
Response: The completed NOI has been submitted to the State of New York. A copy of the submitted information is included in this submittal.
 - f. Construction Sequencing Plan, including Phasing Plan for land clearance, stabilization and installation/vegetation.
Response: A proposed Construction Sequence is included in the Stormwater Pollution Prevention Details on sheet C6.1.
 - g. NYSDEC guidelines for De-compaction.
Response: This information has been added to the enclosed Stormwater Management Report.
 - h. All correspondence between regulatory agencies regarding land disturbance.
Response: All correspondence will be forwarded upon receipt.

18. The SWPPP specifies on page 5 that the receiving waterbody from the site is an unnamed tributary to Great Valley Creek, but the site plan drawings label this waterbody as Crowley Creek. Revise as necessary for consistency.


Response: The SWPPP has been revised to list the waterbody as Crowley Creek.

19. It is noted that this site will be designated as a “hot spot” because it will be a gas station, and runoff must be treated accordingly, per Chapter 4.11 of the 2015 Storm water Management Design Manual (SWMDM).

Response: A Hydro International First Defense unit has been provided upstream of the proposed stormwater management facilities to capture any potential hydrocarbons in the site runoff prior to draining through the proposed infiltration and detention system as shown on the revised Site Utility Plan, sheet C-5.0.

20. The proposed Stormtrap Underground Detention Vault is not a NYSDEC recognized proprietary practice for WQv treatment. Please review the listed of accepted proprietary practices for new development on the NYSDEC’s website.

Response: The proposed Stormtrap will be used to provide the required detention storage, with an open bottom to promote infiltration, while an at grade basin is provided to meet the WQv treatment requirements.



21. Please provide a Letter of No Effect from SHPO upon receipt and update Appendix L of the SWPPP accordingly.

Response: This letter is included within this submittal.

22. The design for the proposed WQv pond should be in accordance with Chapter 6.1 of the 2015 SWMDM. This includes forebays, a permanent pool, an outlet structure to discharge water and maintain the permanent pool, safety and aquatic benches, etc.

Response: The proposed stormwater management system has been designed to meet these requirements as shown in the revised plans and the enclosed Stormwater Management Report.

23. It is noted that the final SWPPP will need to be signed and stamped by the Professional Engineer.

Response: The revised SWPPP has been signed and sealed as shown.

Traffic Impact Study

24. The Applicant has submitted a traffic impact study that will be reviewed by the NYS Department of Transportation. B&L recommends that NYSDOT acceptance and approval of this report be a condition of site approval.

Response: This information has been submitted.

Additional Information and Anticipated Permits/Coordination

In addition to the items noted in the comments above, B&L anticipates the following information and/or documents be submitted in support of the application:

25. Local and State Permits, as required, including for work performed within the highway or right of- way (i.e., NYSDOT driveway and ROW work permits, etc.).

Response: Reid Petroleum will work with the NYSDOT on procuring these permits once the project has cleared the planning and zoning process and is with the building department for review.

Please note, the DOT has offered their review of the proposed curb cuts, and they have no objection to the locations.

26. Correspondence with NYSDEC regarding Petroleum Bulk Storage Registration.

Response: Reid Petroekum will pursue a NYSDEC Petroleum Bulk Storage Registration when the project has been approved and is in building review. Reid's fuel team will work directly with the DEC to register the tanks for the site. This will be done a few months prior to tank install.

27. Provide a letter from the appropriate Fire Department acknowledging receipt of the Site Plan Drawings and verifying approval of proposed access for fire and emergency vehicles.

Response: Mr. Keyser, please advise if you will facilitate and forward this information to the Fire Department or if you can provide an introduction/contact.

If you need any additional information, please not hesitate to contact me at hlapin@wtgroup.com or via cell phone at 224.500.9440.

Respectfully Submitted,



**Heidi Lapin
WT Group
Project Manager**



CROSBY'S

ON THE CORNER OF ROUTE 242 & ROUTE 219
ELLICOTTVILLE, NY 14731



DRAWING INDEX

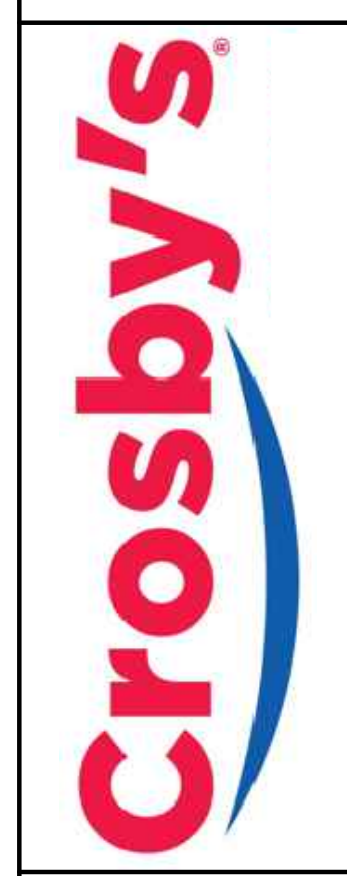
GENERAL	
G001	COVER SHEET
SITE	
T-1.0	TITLE SHEET
C-1.0	SITE GEOMETRIC PLAN
C-2.0	SITE GRADING PLAN
C-3.0	SITE UTILITY PLAN
C-3.1	CONSTRUCTION DETAILS
C-4.0	STORMWATER POLLUTION PREVENTION PLAN
C-5.0	SITE UTILITY PLAN
C-5.1	SITE UTILITY DETAILS
C-5.2	SITE UTILITY DETAILS
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C-6.0	STORMWATER POLLUTION PREVENTION PLAN
C-6.0	STORMWATER POLLUTION PREVENTION DETAILS
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CIR-1.0	SITE CIRCULATION PLAN
CIR-2.0	CAR QUEUE EXHIBIT
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1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY (BY CONTROL POINT ASSOCIATES INC PC)
1 OF 1	LIGHTING PROPOSAL
L001	LANDSCAPE PLAN
A001	SITE PLAN
A002	SIGNAGE PLAN
A003	SIGNAGE ELEVATIONS
A004	CANOPY ELEVATIONS
ARCHITECTURAL	
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS

DATE	BY	MA
7/12/2023	LR	MA
8/1/2023	LR	LR
8/16/2023	LR	LR
10/2/2023	LR	LR
4/12/2024	PJ	PJ

NO.	REVISIONS
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2	ZONING
3	ZONING
4	ZONING
5	TO TOWN OF ELLICOTTVILLE

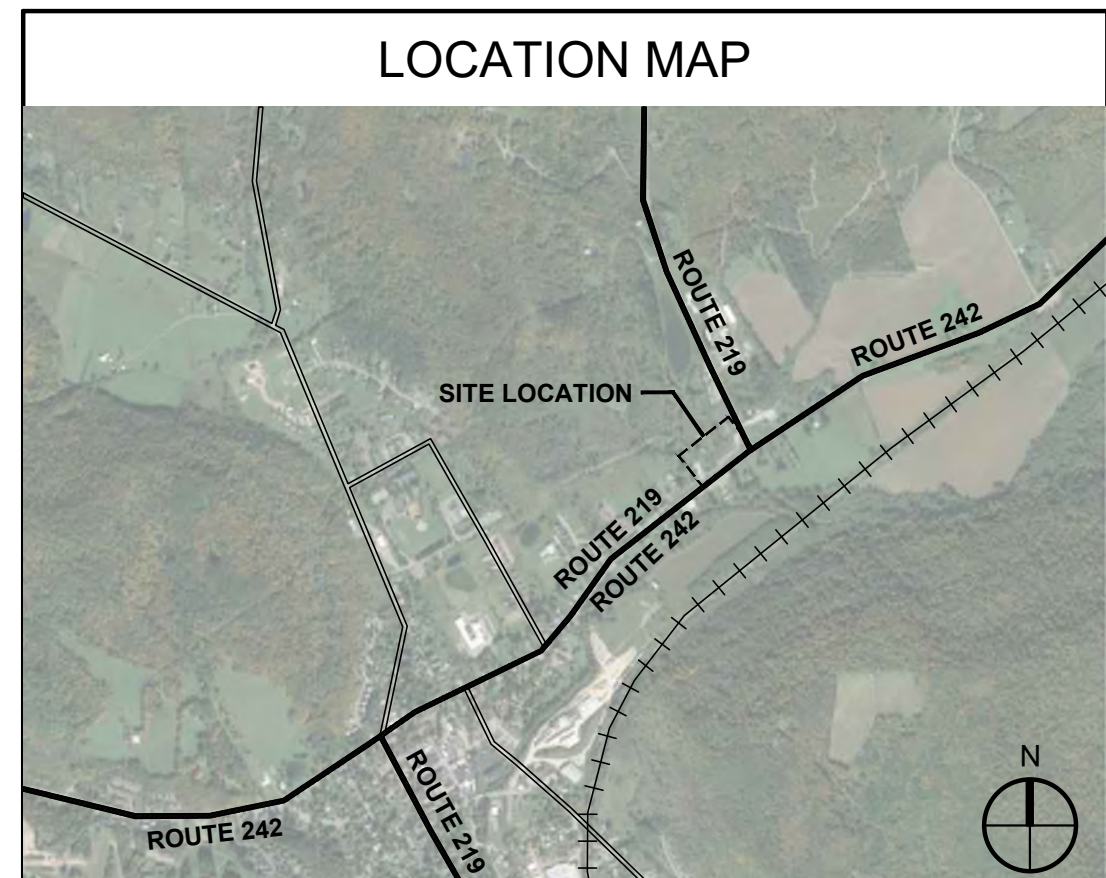
RYAN R TRIPHAHN DESIGN, PLLC
CONTACT: RYAN R. TRIPHAHN
2875 PRATUM AVENUE, SUITE 200
HOFFMAN ESTATES, IL 60192
PH: 847-452-7278
EMAIL: RTTRIPHAHNDESIGN@GMAIL.COM

PROPOSED C-STORE
CROSBY
N.Y. ROUTE 242 & U.S. ROUTE 219
ELLICOTTVILLE, NY 14731



PROJECT DIRECTORY

<p>OWNER</p> <p>THE REID GROUP ATTN: STEVEN REID 100 WEST GENESEE ST. LOCKPORT, NY 14095</p> <p>ARCHITECT</p> <p>RYAN R. TRIPHAHN DESIGN, PLLC ATTN: RYAN R. TRIPHAHN 2875 PRATUM AVENUE, SUITE 200 HOFFMAN ESTATES, IL 60192 224.293.6444</p> <p>LANDSCAPE</p> <p>EVERGREEN DESIGN GROUP ATTN: 1650 MARKET STREET, SUITE 3600 PHILADELPHIA, PA 19103 800.680.6630 WWW.EvergreenDesignGroup.COM</p>	<p>LIGHTING</p> <p>LSI INDUSTRIES ATTN: 10000 ALLIANCE ROAD, CINCINNATI, OH 45242 513.793.3200</p>
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GENERAL BUILDING INFORMATION

ELLICOTTVILLE, NY ADOPTED CODES

- 2020 BUILDING CODE OF NEW YORK STATE (2018 IBC)
- 2020 MECHANICAL CODE OF NEW YORK STATE (2018 IMC)
- 2020 PLUMBING CODE OF NEW YORK STATE (2018 IPC)
- 2017 NATIONAL ELECTRICAL CODE
- 2009 ACCESSIBILITY AND USABLE BUILDINGS AND FACILITIES OF NEW YORK STATE (2009 A117.1)
- 2020 FIRE CODE OF NEW YORK STATE (2018 IFC)
- 2020 FUEL GAS CODE OF NEW YORK STATE (2018 IFGC)
- 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (2018 IECC)

CURRENT CITY OF ELLICOTTVILLE, NEW YORK ZONING ORDINANCE

BUILDING DATA

ZONING CLASSIFICATION: GC - GENERAL COMMERCIAL
+ GAS/ SPECIAL USE

OCCUPANCY: M

CONSTRUCTION TYPE: V-B

NUMBER OF STORIES: 1

BUILDING AREA: 4,105 SQ.FT.

SCOPE OF WORK

THIS IS A NEW-BUILD CONVENIENCE STORE WITH A DRIVE-THRU AND GAS STATION.

ORIGINATED:	10-2-2023
DRAWN:	PL, LR
CHECK:	MA
JOB:	D23000115
SHEET:	G001 COVER SHEET

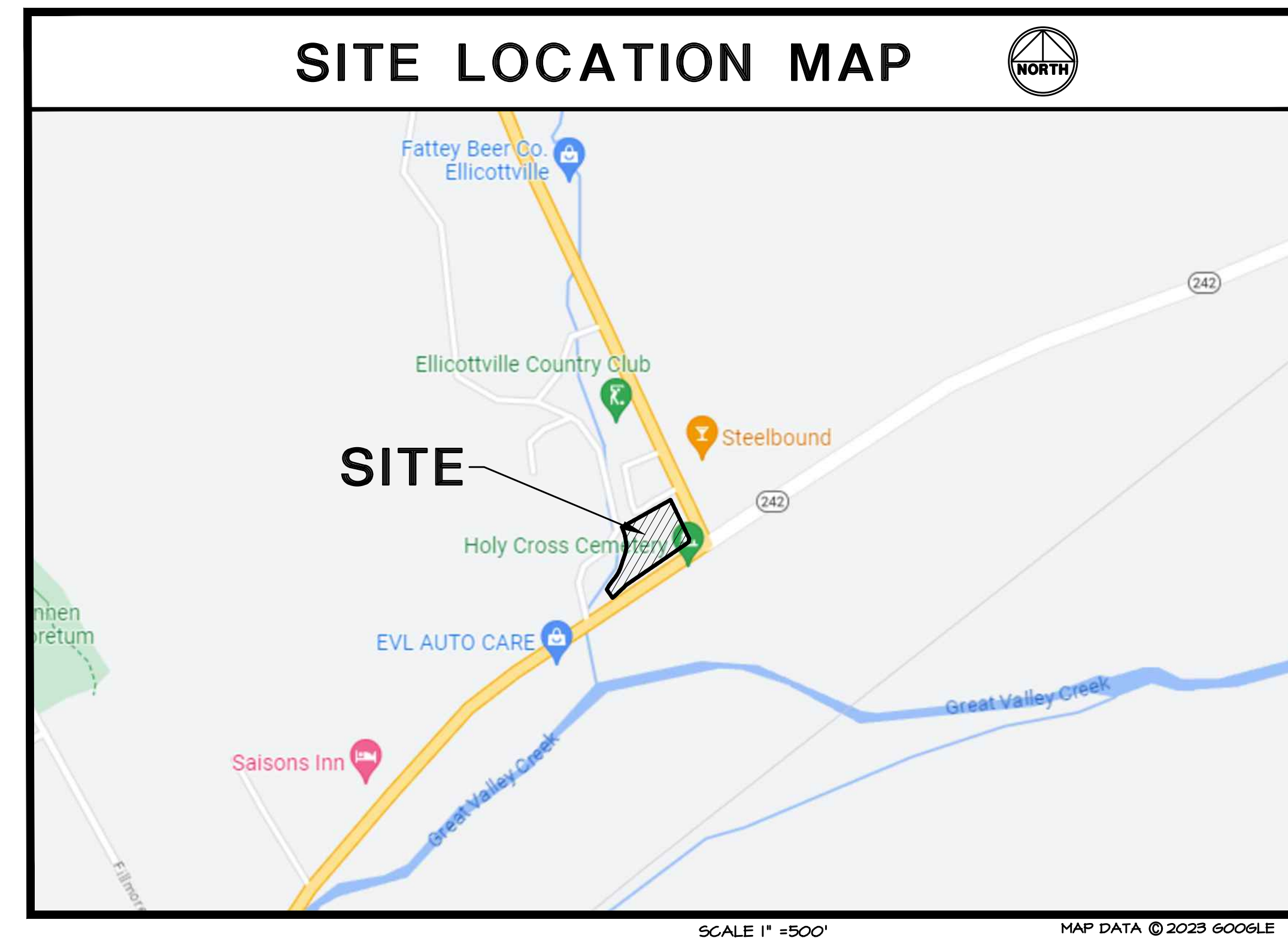
CROSBY

ROUTE 242 & US ROUTE 219

ELLICOTTVILLE, NY 14731

DRAWING INDEX		
SHEET	DESCRIPTION	DATE
T-1.0	TITLE SHEET	4-12-24
C-1.0	SITE DEMOLITION PLAN	4-12-24
C-2.0	SITE GEOMETRIC PLAN	4-12-24
C-3.0	SITE DEVELOPMENT PLAN	4-12-24
C-3.1	SITE DEVELOPMENT DETAILS	4-12-24
C-4.0	SITE GRADING PLAN	4-12-24
C-5.0	SITE UTILITY PLAN	4-12-24
C-5.1 - C-5.3	SITE UTILITY DETAILS	4-12-24
C-6.0	STORMWATER POLLUTION PREVENTION PLAN	4-12-24
C-6.1	STORMWATER POLLUTION PREVENTION DETAILS	4-12-24
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EX-4.0	STORMWATER MANAGEMENT PLAN	4-12-24
1	BOUNDARY & TOPOGRAPHIC SURVEY (PREPARED BY CONTROL POINT ASSOCIATES INC PC)	7-6-23

SITE BENCHMARK:
 SITE BENCHMARK-A- BOX-CUT SET IN NE CORNER OF THE BRIDGE DECK.
 ELEVATION = 1552.97'
 SITE BENCHMARK-B- BOX-CUT SET IN NW BONNET-BOLT OF HYDRANT.
 ELEVATION = 1553.20'
 SITE BENCHMARK-C- BOX-CUT SET IN EAST BONNET-BOLT OF HYDRANT.
 ELEVATION = 1560.63'



CIVIL ENGINEERING STATEMENT AND SEAL

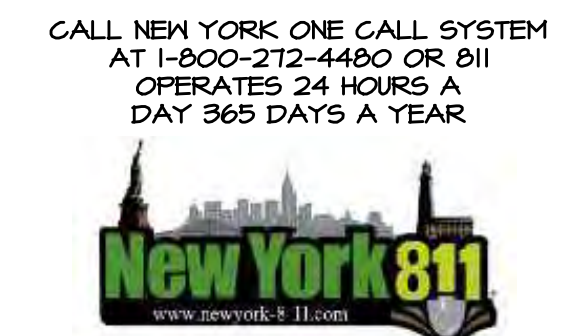
I, JAMES P. GLASCOTT, P.E., DULY LICENSED IN THE STATE OF NEW YORK DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF DOES CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 1209 OF THE NEW YORK STATE EDUCATION LAW.

James P. Glascott DATE: 4/12/2024

JAMES P. GLASCOTT, P.E. #107553 - EXPIRATION MARCH 31, 2026
 SOLE PROPRIETOR

NOTE: SIGNED AND SEALED FOR SHEETS T-1.0 THROUGH C-7.0



CALL
 1-800-272-4480 OR 811
 48 HOURS BEFORE
 YOU DIG
 CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK

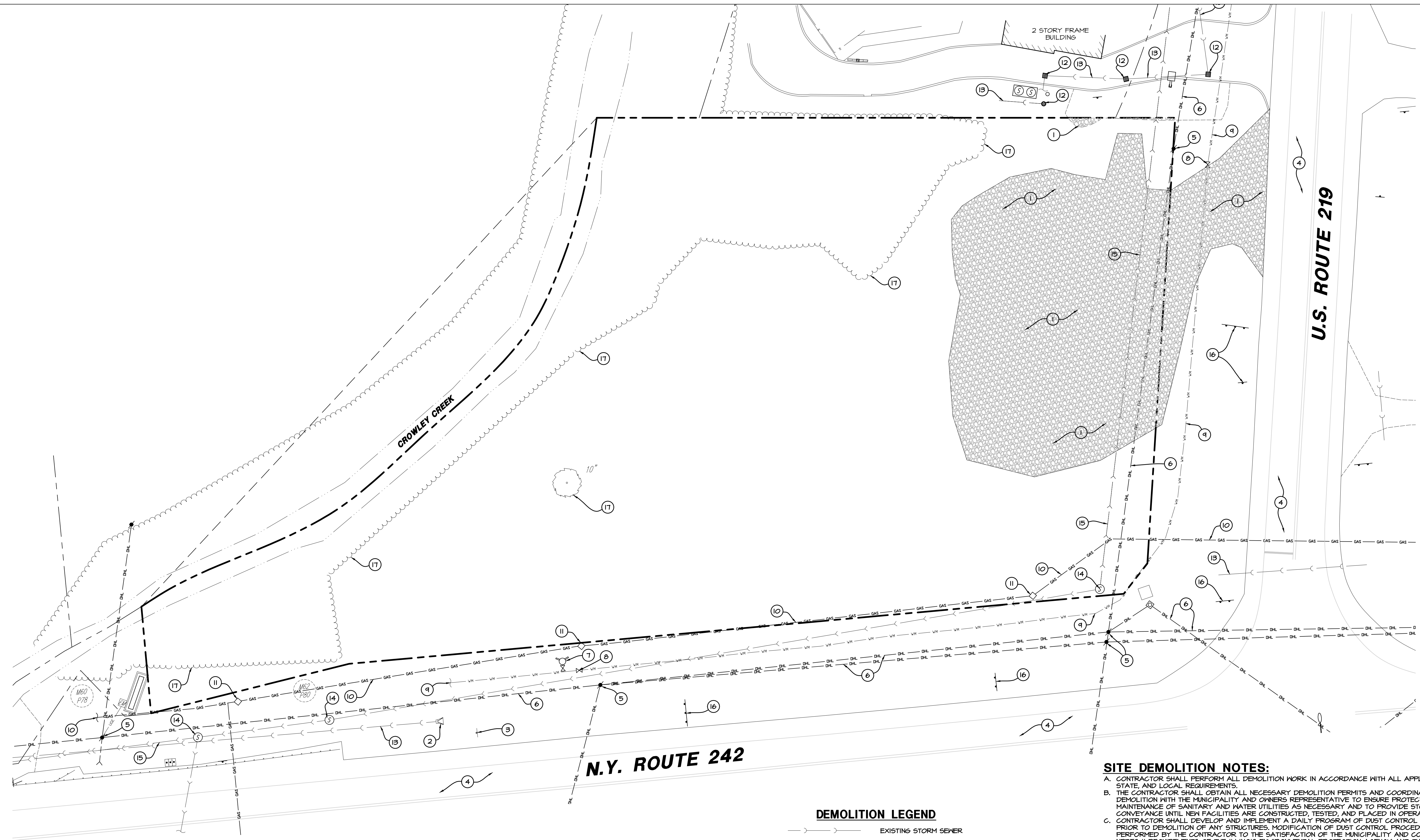
NO.	REVISIONS	DATE	BY
1	TO TOWN OF ELLICOTTVILLE	8-15-23	JFG
2	TO TOWN OF ELLICOTTVILLE	9-14-23	JFG
3	TO TOWN OF ELLICOTTVILLE	4-12-24	JFG

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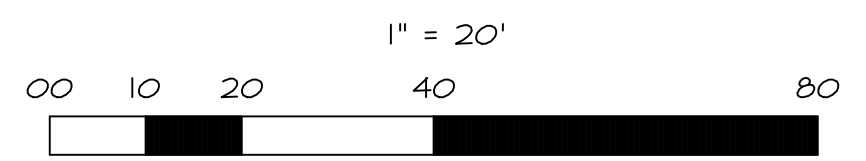
ORIGINATED: 7-18-2023
 DRAWN: VE
 CHECK: JFG
 JOB: D2300115
 SHEET: **T-1.0**
 TITLE SHEET



- PROJECT NOTES:**
1. EXISTING GRAVEL AREA TO BE REMOVED.
 2. EXISTING CULVERT TO BE REMOVED.
 3. EXISTING SIGN TO BE REMOVED.
 4. EXISTING ASPHALT TO REMAIN.
 5. EXISTING UTILITY POLE TO REMAIN.
 6. EXISTING OVERHEAD LINES TO REMAIN.
 7. EXISTING FIRE HYDRANT TO REMAIN.
 8. EXISTING WATER VALVE TO REMAIN.
 9. EXISTING WATER MAIN TO REMAIN.
 10. EXISTING GAS MAIN TO REMAIN.
 11. EXISTING GAS LINE VALVE TO REMAIN.
 12. EXISTING STORM STRUCTURE TO REMAIN.
 13. EXISTING STORM SEWER TO REMAIN.
 14. EXISTING SANITARY STRUCTURE TO REMAIN.
 15. EXISTING SANITARY SEWER TO REMAIN.
 16. EXISTING SIGN TO REMAIN.
 17. EXISTING LANDSCAPING TO BE REMOVED.

DEMOLITION LEGEND

- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING GAS LINE
- EXISTING OVERHEAD LINES
- EXISTING CATCH BASIN
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING GRAVEL TO BE REMOVED FULL DEPTH



SITE DEMOLITION NOTES:

- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
- C. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND COMPLY WITH THE NPDES II REQUIREMENTS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
- D. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- E. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24' THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- F. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURBS AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR. CONTACT GAS COMPANY PRIOR TO DEMOLITION. LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
- G. ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
- H. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
- I. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- J. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORINGS AS NECESSARY TO MEET OSHA AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- K. ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE.
- L. PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF ROLL SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT.
- M. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY & TOPOGRAPHIC SURVEY LAST DATED 7-6-23, PREPARED BY CONTROL POINT ASSOCIATES INC. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- N. SEE SHEET 1 BOUNDARY & TOPOGRAPHIC SURVEY FOR ALL EXISTING LOCATED UTILITY DATA.
- O. CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- P. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- Q. EXISTING PAVEMENT AGGREGATE BASE COURSE SHALL NOT BE RE-USED AS AGGREGATE BASE COURSE FOR THE NEW PAVEMENT SECTION.

NO.	REVISIONS	DATE	BY
1	TO TOWN OF ELLICOTTVILLE	8-15-23	JFG
2	TO TOWN OF ELLICOTTVILLE	9-14-23	JFG
3	TO TOWN OF ELLICOTTVILLE	4-12-24	JFG

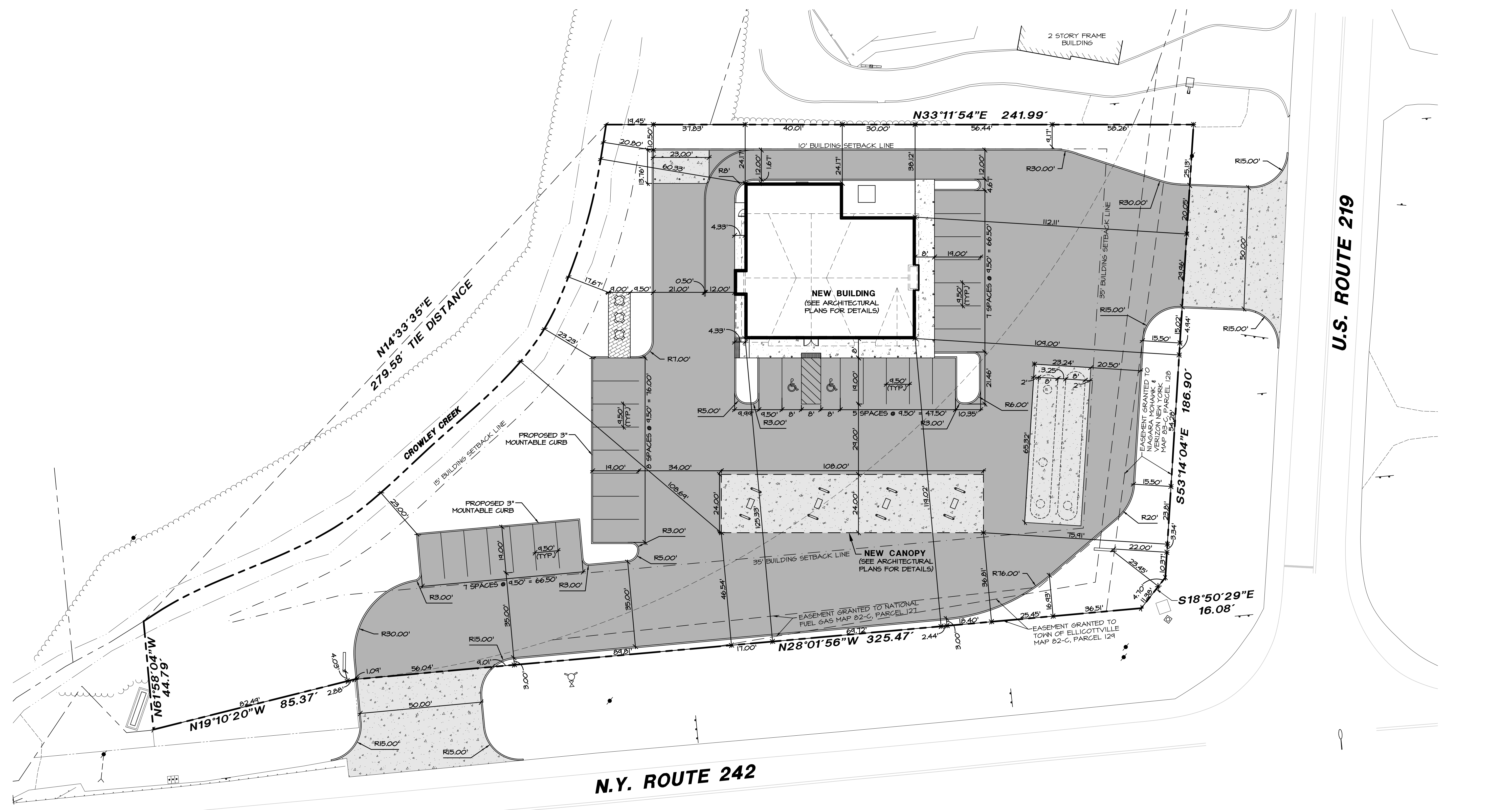
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PROPOSED C-STORE
 CROSBY
 ROUTE 242 & US ROUTE 219
 ELLICOTTVILLE, NY 14731



ORIGINATED: 7-18-2023
 DRAWN: VE
 CHECK: JPG
 JOB: D2300115
 SHEET:

C-1.0
 SITE DEMOLITION PLAN

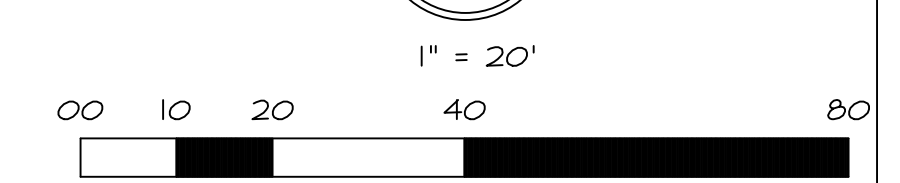


PAVEMENT SECTIONS

- NEW 5" CONCRETE SIDEWALK
- NEW 6" CONCRETE PAVEMENT
- NEW BRICK PAVERS
- NEW FULL DEPTH ASPHALT PAVEMENT

SITE GEOMETRIC NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY AND TOPOGRAPHIC SURVEY LAST DATED 7-06-23 PREPARED BY CONTROL POINT ASSOCIATES INC. PC. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
- C. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- D. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- G. CONTRACTOR SHALL CONTACT NEW YORK 811, INC. 811 OR 800-212-4480 AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING NYSDOT STANDARD SPECIFICATIONS.
- I. ALL PAINTED CURB ON SITE TO BE REPAINTED FOLLOWING RESURFACING OF THE PARKING LOT. MATCH EXISTING COLOR, REPAINT WITH HIGH QUALITY PAINT.
- J. THIS LAYOUT IS PARALLEL TO THE NORTH PROPERTY LINE N33°11'54"E.



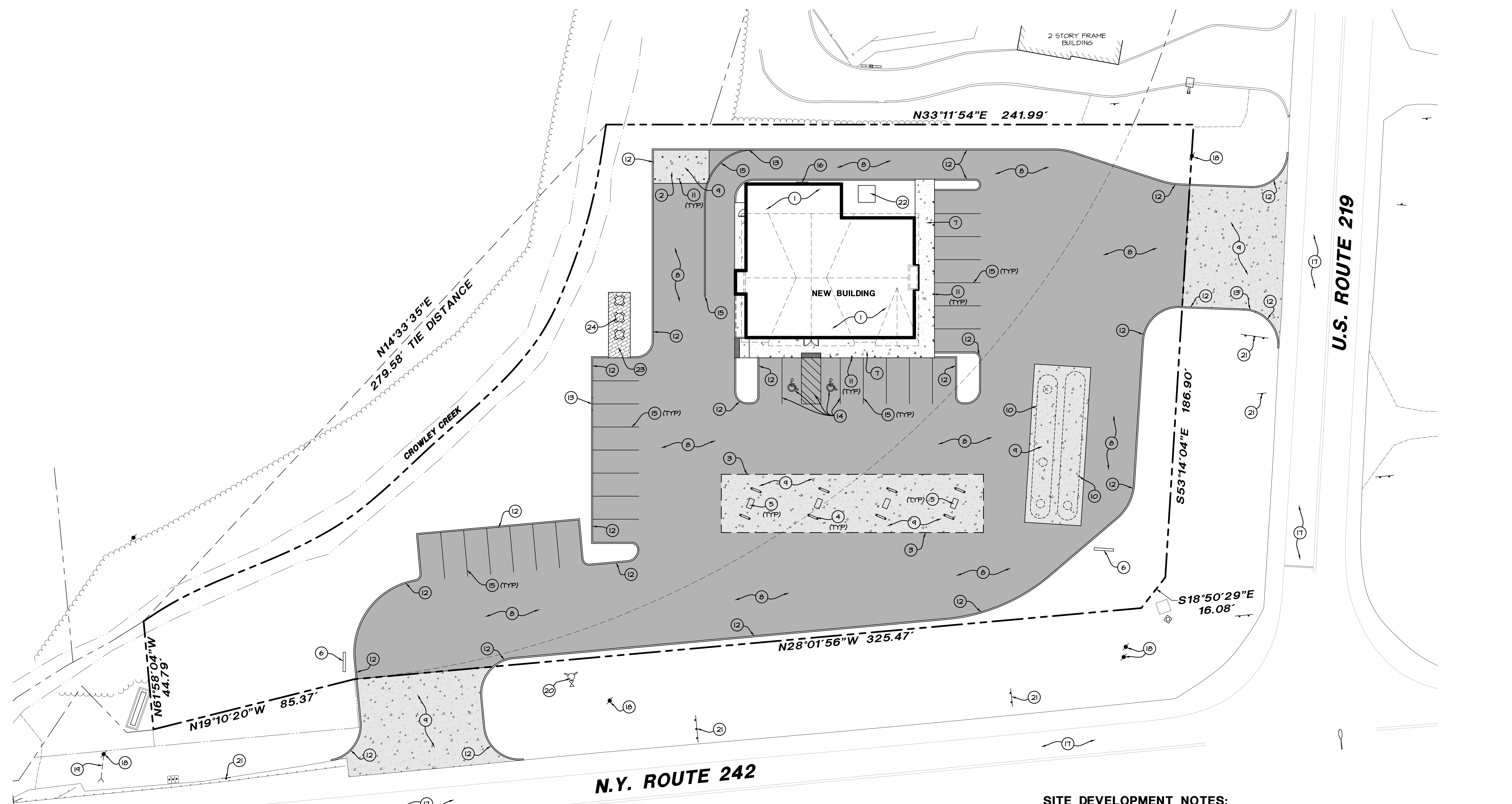
NO.	REVISIONS	DATE	BY
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PROPOSED C-STORE
 CROSBY
 ROUTE 242 & US ROUTE 219
 ELLICOTTVILLE, NY 14731



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 SITE GEOMETRIC PLAN



PAVEMENT SECTIONS

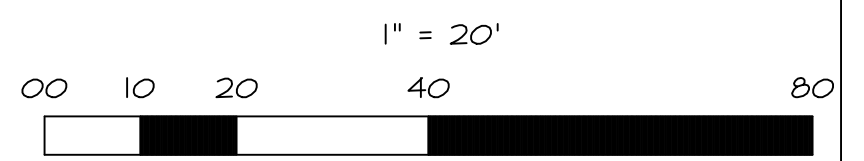
NEW 5" CONCRETE SIDEWALKS	
NEW 6" CONCRETE PAVEMENT	
NEW BRICK PAVERS	
NEW FULL DEPTH ASPHALT PAVEMENT	

PROJECT NOTES:

1. NEW BUILDING. (SEE ARCHITECTURAL PLANS FOR DETAILS).
2. NEW TRASH ENCLOSURE AREA. (SEE ARCHITECTURAL PLANS FOR DETAILS).
3. NEW FUEL CANOPY. (SEE ARCHITECTURAL PLANS FOR DETAILS).
4. NEW CANOPY COLUMN AND BOLLARDS. (SEE ARCHITECTURAL PLANS FOR DETAILS).
5. NEW FUEL DISPENSER. (SEE ARCHITECTURAL PLANS FOR DETAILS).
6. NEW MAIN ID SIGN. (SEE ARCHITECTURAL PLANS FOR DETAILS).
7. NEW 5" CONCRETE SIDEWALK. (HEATED SIDEWALKS AROUND THE BUILDING. SEE MECHANICAL PLANS FOR DETAILS).
8. NEW FULL DEPTH ASPHALT PAVEMENT.
9. NEW 6" CONCRETE PAVEMENT.
10. NEW UNDERGROUND FUEL TANK. (SEE ARCHITECTURAL PLANS FOR DETAILS).
11. NEW CONCRETE BOLLARD. (SEE ARCHITECTURAL PLANS FOR DETAILS).
12. NEW B3.12 MOUNTABLE CURB AND GUTTER.
13. NEW 5' WIDE CURB CUT.
14. NEW ACCESSIBLE PARKING STRIPING, SIGN AND SYMBOL.
15. NEW 4" WIDE YELLOW PAINTED STRIPING.
16. NEW MENU BOARD. (SEE ARCHITECTURAL PLANS FOR DETAILS).
17. EXISTING ASPHALT PAVEMENT TO REMAIN.
18. EXISTING UTILITY POLE TO REMAIN.
19. EXISTING GUY WIRE TO REMAIN.
20. EXISTING FIRE HYDRANT TO REMAIN.
21. EXISTING SIGN TO REMAIN.
22. NEW ELECTRIC GENERATOR. (SEE ELECTRICAL PLANS FOR DETAILS).
23. NEW BRICK PAVERS. (SEE ARCHITECTURAL PLANS FOR DETAILS).
24. NEW SITE FURNITURE. (SEE ARCHITECTURAL PLANS FOR DETAILS).

SITE DEVELOPMENT NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY AND TOPOGRAPHIC SURVEY LAST DATED 7-06-23 PREPARED BY CONTROL POINT ASSOCIATES INC. PC. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- C. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- D. CONTRACTOR SHALL COORDINATE ALL LANDSCAPING IMPROVEMENTS WITH LANDSCAPE PLANS.
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- G. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO PENNDOT STANDARD SPECIFICATIONS.
- I. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH (6" OF TOPSOIL, SEED, AND EROSION CONTROL BLANKET).
- J. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- K. CONTRACTOR SHALL RE-STRIPE ALL STRIPING DISTURBED WITHIN THE EXISTING ROADWAYS/PARKING LOT TO MATCH EXISTING.
- L. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- M. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- N. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- O. EXISTING PAVEMENT AGGREGATE BASE COURSE SHALL NOT BE RE-USED AS AGGREGATE BASE COURSE FOR THE NEW PAVEMENT SECTION.



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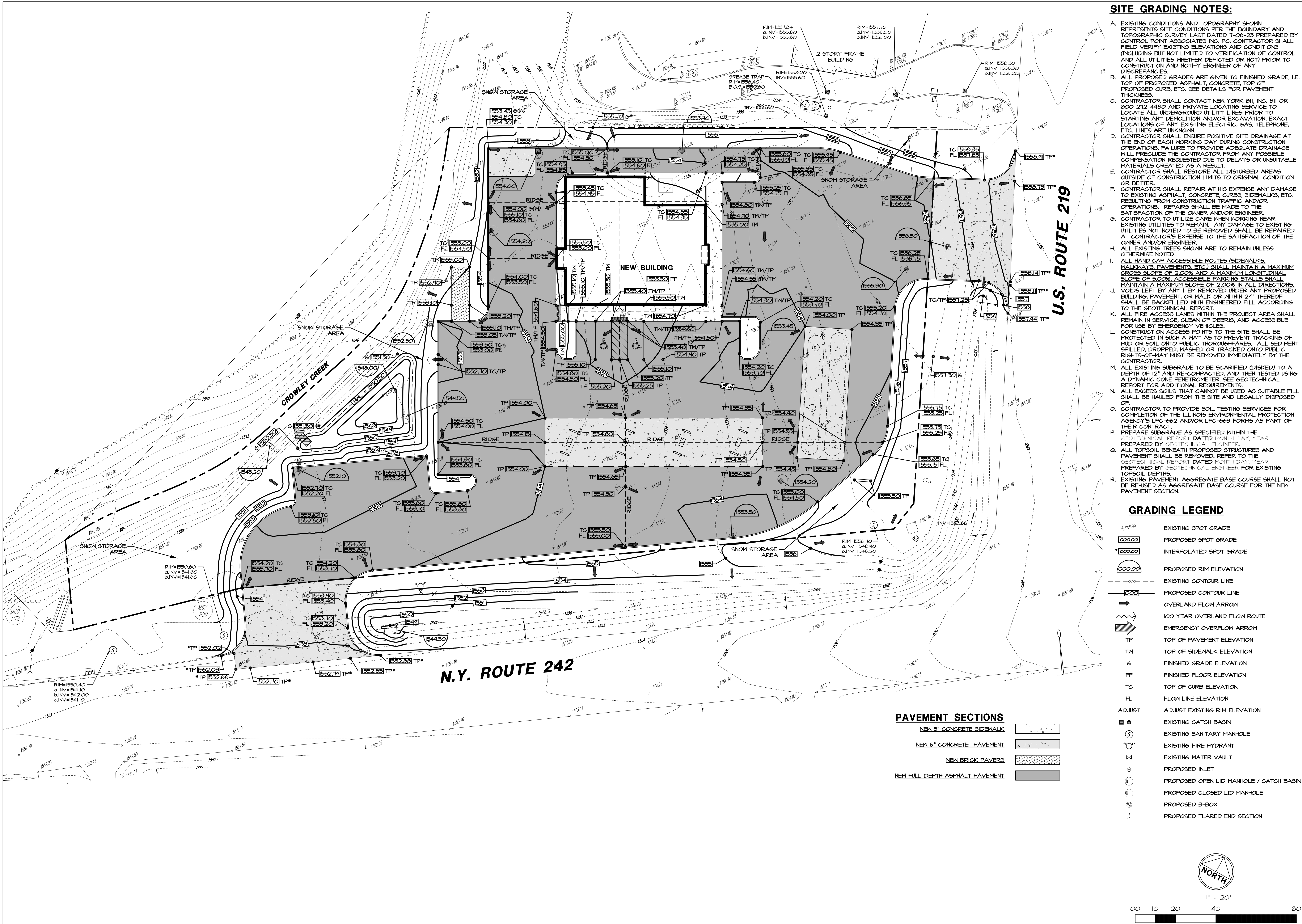
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 SITE DEVELOPMENT PLAN



SITE GRADING NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY AND TOPOGRAPHIC SURVEY LAST DATED 7-06-23 PREPARED BY CONTROL POINT ASSOCIATES INC. P.C. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. ALL PROPOSED GRADES ARE GIVEN TO FINISHED GRADE, I.E. TOP OF PROPOSED ASPHALT, CONCRETE, TOP OF PROPOSED CURB, ETC. SEE DETAILS FOR PAVEMENT THICKNESS.
- C. CONTRACTOR SHALL CONTACT NEW YORK 811, INC. 811 OR 800-212-4480 AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- D. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
- E. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- G. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- H. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- I. ALL HANDICAP ACCESSIBLE ROUTES (SIDEWALKS, WALKWAYS, PAVEMENTS, ETC.) SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE PARKING SPOTS SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
- J. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24' THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- K. ALL ACCESS LINES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE. CLEAN UP DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- L. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL BEHIND PROPOSED STRUCTURES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- M. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- N. ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
- O. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LPC-662 AND/OR LPC-663 FORMS AS PART OF THEIR CONTRACT.
- P. PREPARE SUBGRADE AS SPECIFIED WITHIN THE GEOTECHNICAL REPORT DATED MONTH DAY, YEAR PREPARED BY GEOTECHNICAL ENGINEER.
- Q. ALL TOPSOIL BENEATH PROPOSED STRUCTURES AND PAVEMENT SHALL BE REMOVED. REFER TO THE GEOTECHNICAL REPORT DATED MONTH DAY, YEAR PREPARED BY GEOTECHNICAL ENGINEER FOR EXISTING TOPSOIL DEPTHS.
- R. EXISTING PAVEMENT AGGREGATE BASE COURSE SHALL NOT BE RE-USED AS AGGREGATE BASE COURSE FOR THE NEW PAVEMENT SECTION.

GRADING LEGEND

- +000.00 EXISTING SPOT GRADE
- 0000.00 PROPOSED SPOT GRADE
- 0000.00 INTERPOLATED SPOT GRADE
- 0000.00 PROPOSED RIM ELEVATION
- EXISTING CONTOUR LINE
- - - PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- TP TOP OF PAVEMENT ELEVATION
- TW TOP OF SIDEWALK ELEVATION
- G FINISHED GRADE ELEVATION
- FF FINISHED FLOOR ELEVATION
- TC TOP OF CURB ELEVATION
- FL FLOW LINE ELEVATION
- ADJUST ADJUST EXISTING RIM ELEVATION
- ⊠ EXISTING CATCH BASIN
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VAULT
- ⊙ PROPOSED INLET
- ⊙ PROPOSED OPEN LID MANHOLE / CATCH BASIN
- ⊙ PROPOSED CLOSED LID MANHOLE
- ⊙ PROPOSED B-BOX
- ⊙ PROPOSED FLARED END SECTION

PAVEMENT SECTIONS

- NEW 5" CONCRETE SIDEWALK
- NEW 6" CONCRETE PAVEMENT
- NEW BRICK PAVERS
- NEW FULL DEPTH ASPHALT PAVEMENT

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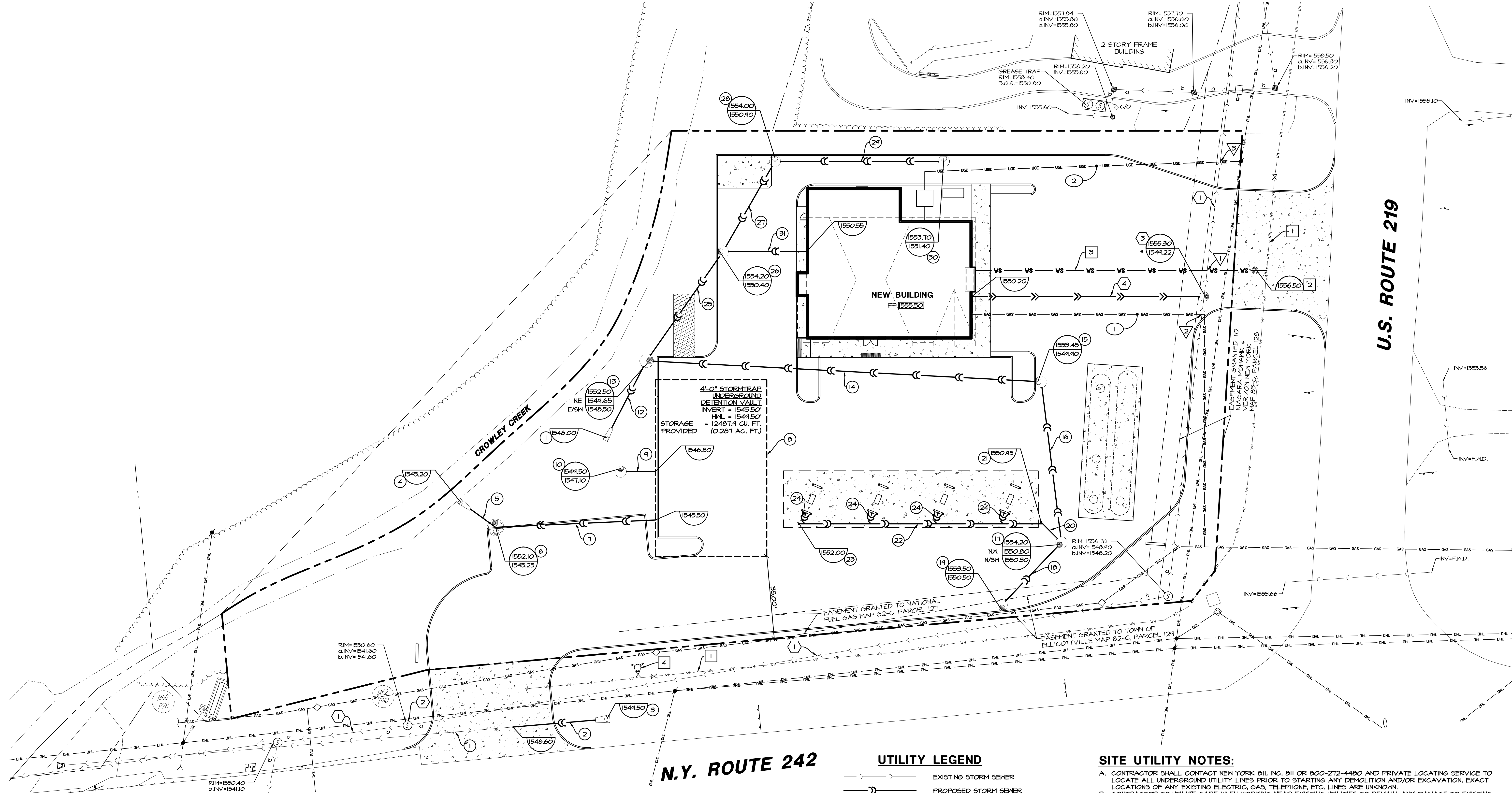
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 SITE GRADING PLAN



1" = 20'





PROJECT NOTES:

STORM SEWER

- EXISTING STORM SEWER TO REMAIN.
- NEW 18" RCP, 40 L.F. @ 2.25% SLOPE. CONNECT TO EXISTING STORM SEWER WITH ALL NECESSARY FITTINGS.
- NEW 18" DIA. PRECAST CONCRETE FLARED END SECTION WITH TRASH GRATE.
- NEW 15" DIA. PRECAST CONCRETE FLARED END SECTION WITH TRASH GRATE.
- NEW 15" RCP, 20 L.F. @ 0.25% SLOPE.
- NEW 12" DIA. PRECAST CONCRETE CATCH BASIN WITH 2.05' AND 2.75' RESTRICTORS. (SEE DETAIL ON SHEET C-5.3)
- NEW 12" RCP, 60 L.F. @ 0.37% SLOPE.
- NEW STORMTRAP UNDERGROUND DETENTION SYSTEM. (INSTALL PER MANUFACTURER'S SPECIFICATIONS)
- NEW 12" RCP, 15 L.F. @ 2.00% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE OPEN RIM MANHOLE.
- NEW 12" DIA. PRECAST CONCRETE FLARED END SECTION WITH TRASH GRATE.
- NEW 12" RCP, 36 L.F. @ 1.39% SLOPE.
- NEW 8" FDIC WATER QUALITY UNIT.
- NEW 12" RCP, 167 L.F. @ 0.84% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE CATCH BASIN.
- NEW 12" RCP, 64 L.F. @ 0.58% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE CATCH BASIN WITH CLOSED LID.
- NEW 12" RCP, 36 L.F. @ 0.53% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE CATCH BASIN.
- NEW 8" PVC SDR 26, 12 L.F. @ 1.25% SLOPE.
- NEW CLEANOUT.
- NEW 8" PVC SDR 26, 103 L.F. @ 1.02% SLOPE.
- NEW CLEANOUT.
- NEW 6" PVC SDR 26, 5 L.F. @ 1.00% SLOPE.
- NEW 12" RCP, 57 L.F. @ 1.32% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE CATCH BASIN.
- NEW 12" RCP, 44 L.F. @ 1.14% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE CATCH BASIN.
- NEW 12" RCP, 72 L.F. @ 0.84% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE CATCH BASIN.
- NEW 8" PVC SDR 26, 35 L.F. @ 0.43% SLOPE.

SANITARY SEWER

- EXISTING SANITARY SEWER TO REMAIN. VERIFY SIZE AND DEPTH IN FIELD AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- EXISTING SANITARY STRUCTURE TO REMAIN. VERIFY SIZE AND DEPTH IN FIELD AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- NEW 48" DIA. PRECAST CONCRETE SANITARY DROP MANHOLE TO BE INSTALLED ON EXISTING SANITARY SEWER.
- NEW 6" PVC SDR 26, 90 L.F. @ 1.00% SLOPE. (SEE PLUMBING PLANS FOR CONTINUATION INSIDE OF BUILDING).

WATER

- EXISTING WATERMAIN TO REMAIN.
- NEW B-BOX WITH ALL NECESSARY FITTINGS.
- NEW 2" TYPE K COPPER WATER SERVICE, 124 L.F. WITH ALL NECESSARY FITTINGS. (SEE PLUMBING PLANS FOR CONTINUATION INSIDE OF BUILDING).
- EXISTING FIRE HYDRANT AND AUXILIARY VALVE TO REMAIN.

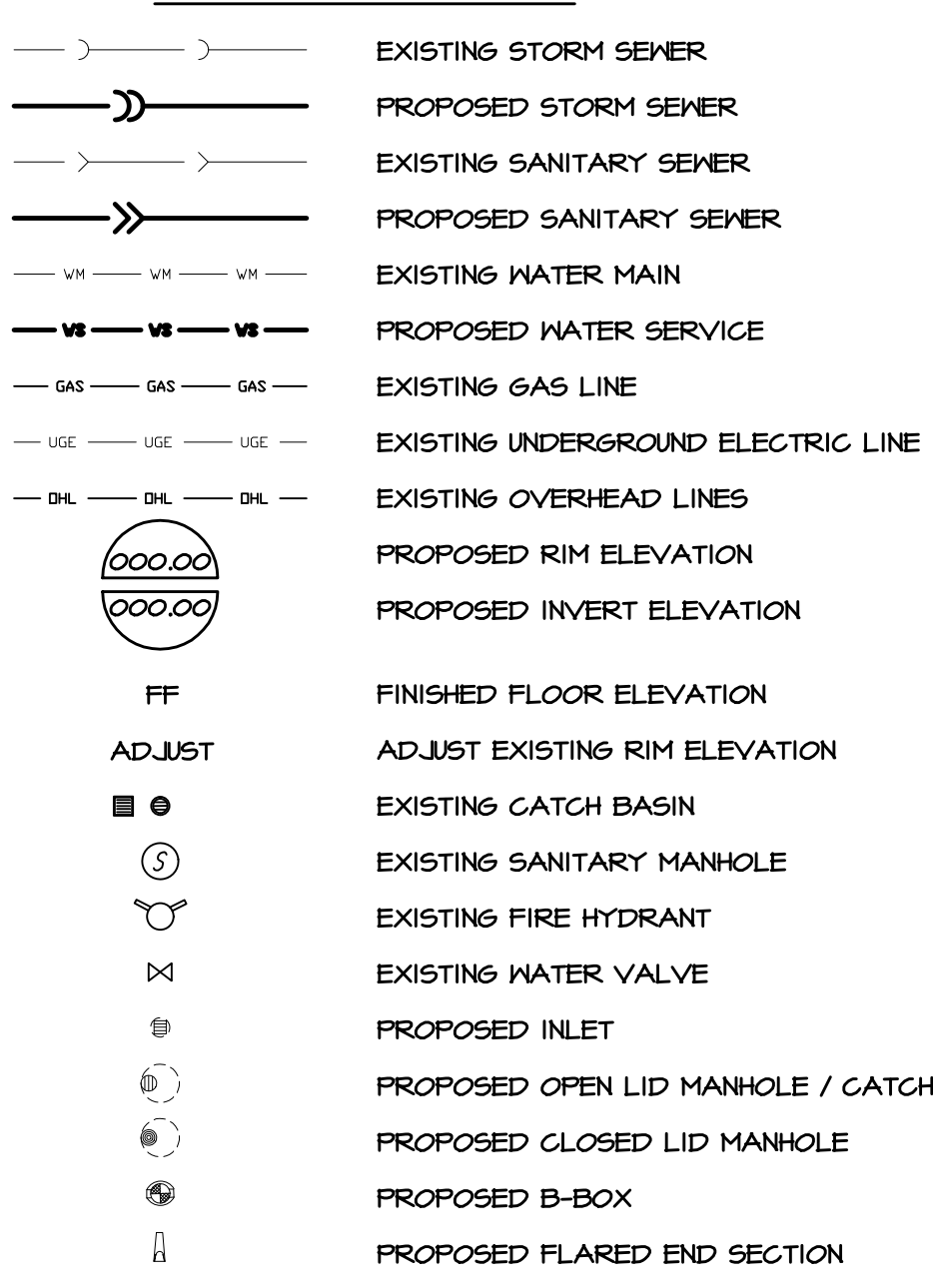
MISCELLANEOUS NOTES

- NEW 1.25" GAS LINE FROM METER TO NEW TAP. COORDINATE INSTALLATION WITH GAS COMPANY.
- NEW ELECTRIC SERVICE. (SEE SITE ELECTRICAL PLANS FOR DETAILS).

PIPE CROSSING

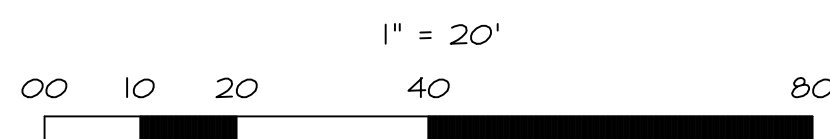
- BOTTOM OF SANITARY = 1541.20' +/- TOP OF WATER = 1541.10' MAX.
- PROVIDE 18" MINIMUM SEPARATION BETWEEN EXISTING SANITARY SEWER AND PROPOSED GAS LINE.
- PROVIDE 18" MINIMUM SEPARATION BETWEEN EXISTING SANITARY SEWER AND PROPOSED ELECTRIC LINE.

UTILITY LEGEND



SITE UTILITY NOTES:

- CONTRACTOR SHALL CONTACT NEW YORK 811, INC. @ 800-272-4480 AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL EXCAVATE AND VERIFY IN FIELD ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- REFER TO THE GENERAL NOTES AND SPECIFICATION SHEETS FOR ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- CONTRACTOR SHALL VERIFY IN FIELD EXACT SIZE, MATERIAL, INVERT, PIPE ROUTING, AND SLOPE OF ALL EXISTING UTILITIES AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF UTILITY TRENCHES DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING AND BRACING AS NECESSARY TO MAINTAIN STABILITY UNTIL CONSTRUCTION OF THE UTILITY IS COMPLETE IN ORDER TO MEET OSHA AND LOCAL CODES, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- ALL RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS IV, PER ASTM C-76 WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C-443 AND SECTION 31-1.02 OF THE "STANDARD SPECIFICATIONS".
- TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY (ASTM D-1557) OVER ALL UNDERGROUND UTILITIES WHICH ARE CONSTRUCTED UNDER OR WITHIN 2 FEET OF ANY PROPOSED OR EXISTING PAVEMENT OR SIDEWALKS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ADJUST RIM ELEVATIONS OF EXISTING STRUCTURES IN PAVEMENT AS NECESSARY TO MEET PROPOSED FINISHED GRADE.
- CONTRACTOR TO COORDINATE ALL CONNECTIONS TO CITY UTILITIES AND STORM SEWERS WITH THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR TO USE CAUTION WHEN EXCAVATING AT EXISTING UTILITY LINES.
- ALL STORM MANHOLES SHALL HAVE OPEN LIDS UNLESS OTHERWISE SPECIFIED.
- PROVIDE RUBBER MISSION COUPLING OR SIMILAR CONNECTION BETWEEN PIPES OF DISSIMILAR SIZE OR MATERIAL.



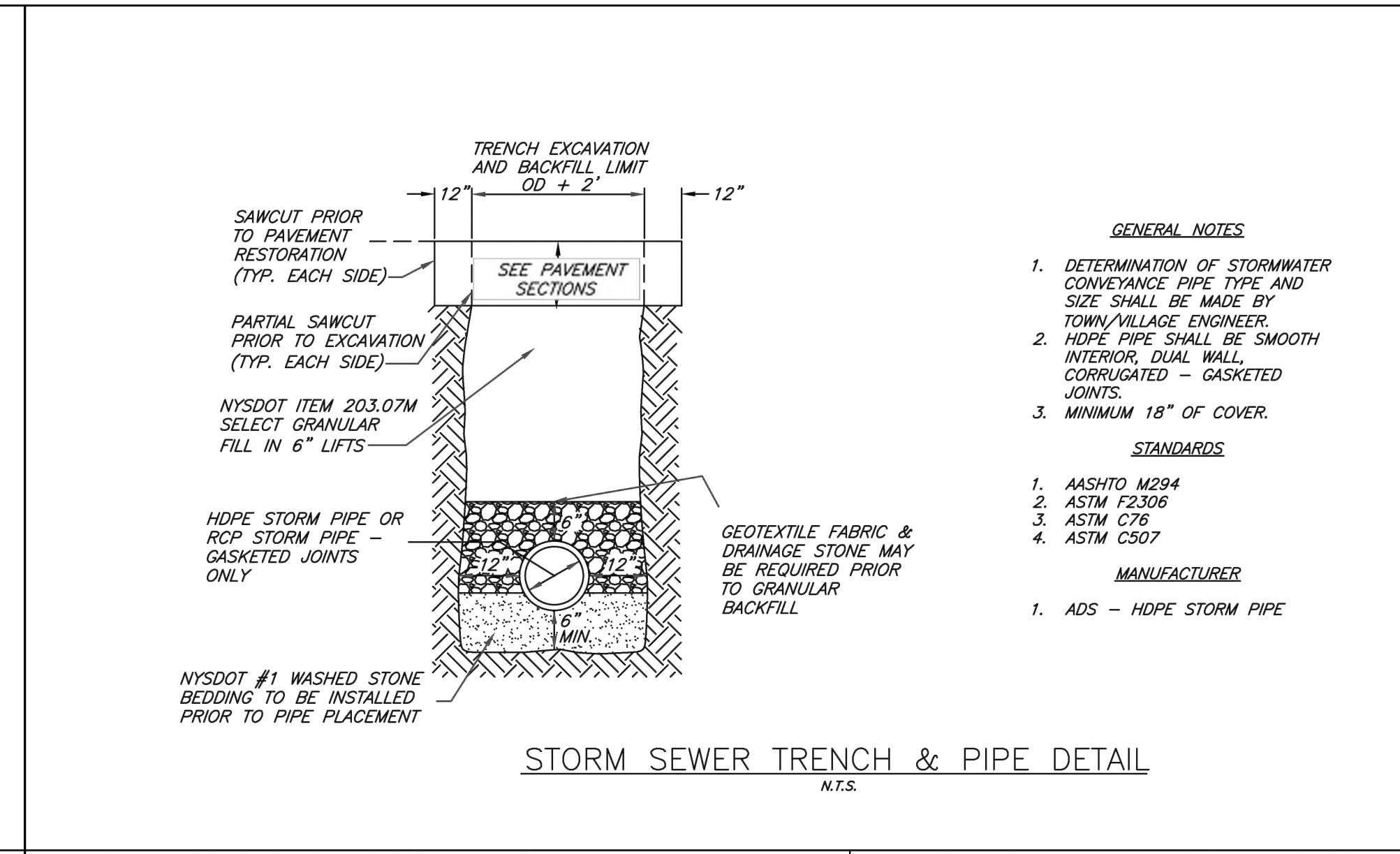
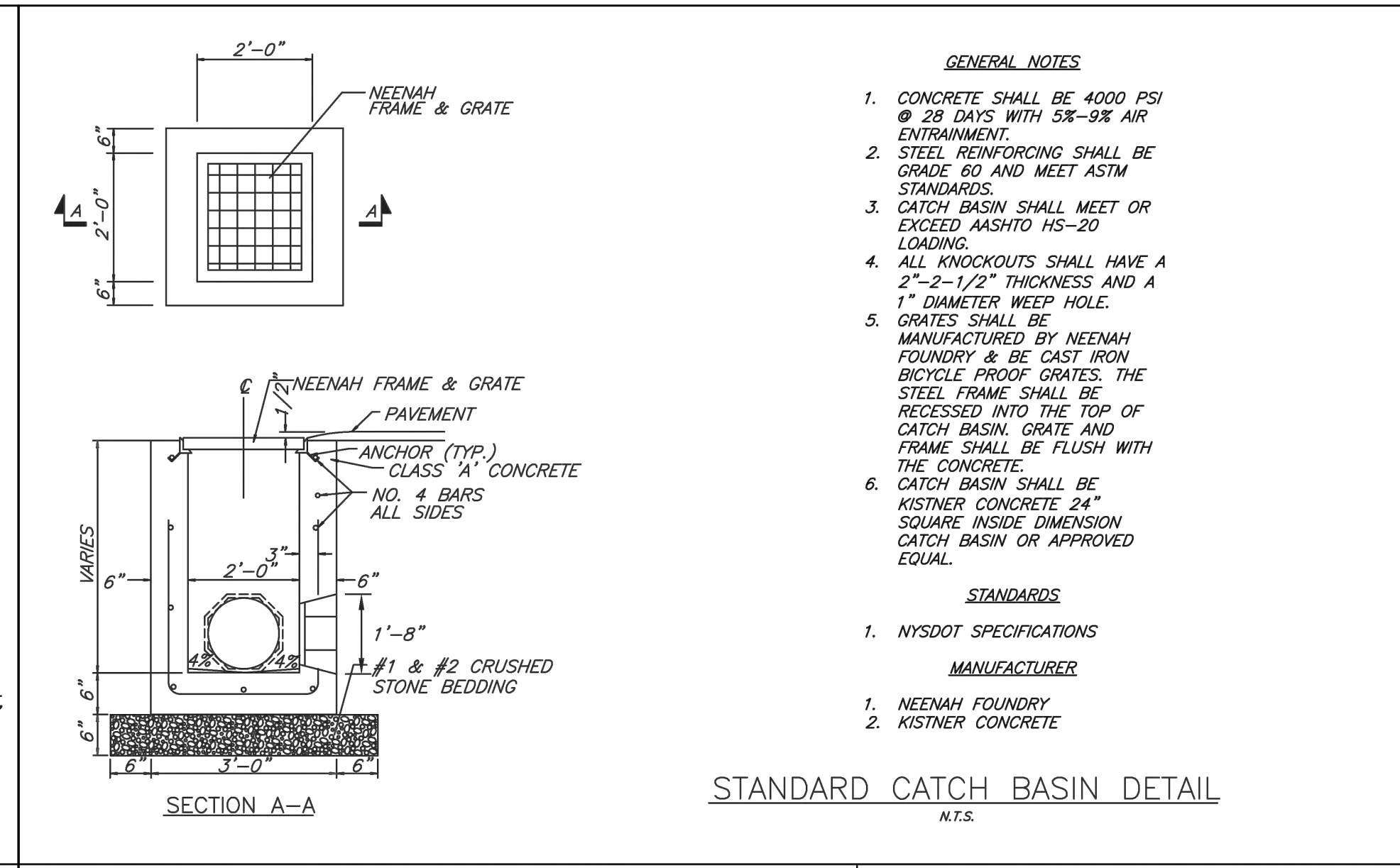
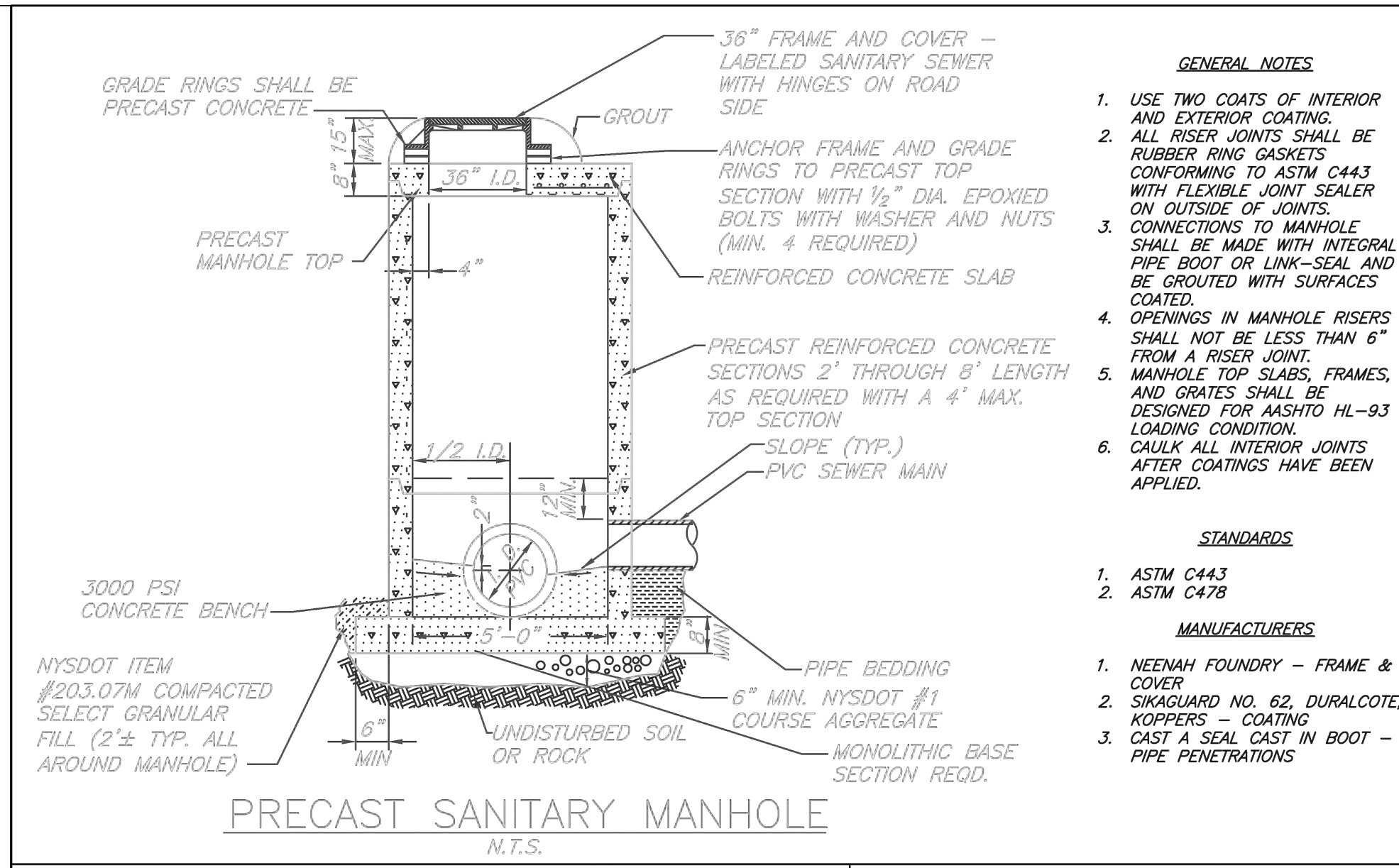
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 SITE UTILITY PLAN



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TOWN & VILLAGE OF ELLICOTTVILLE

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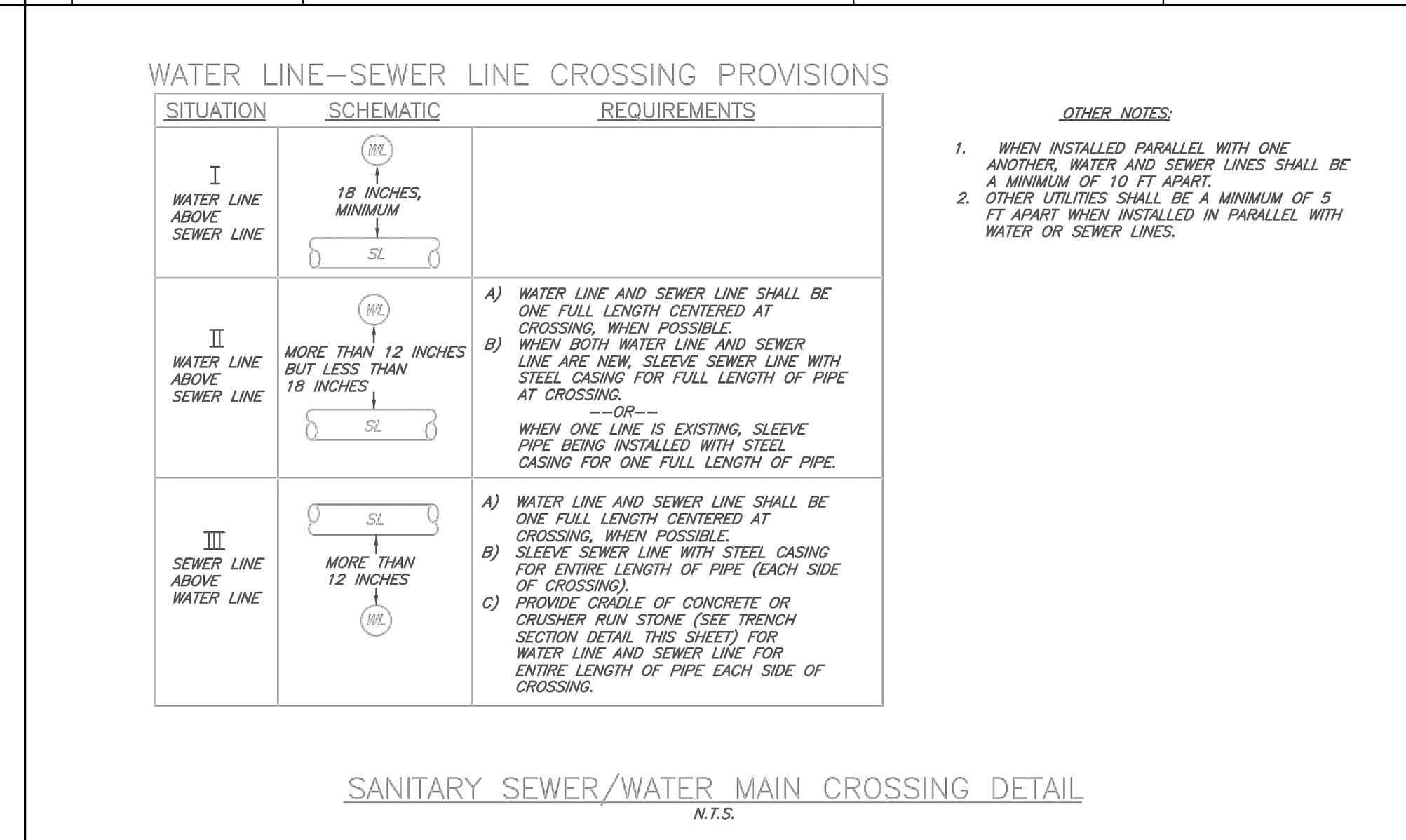
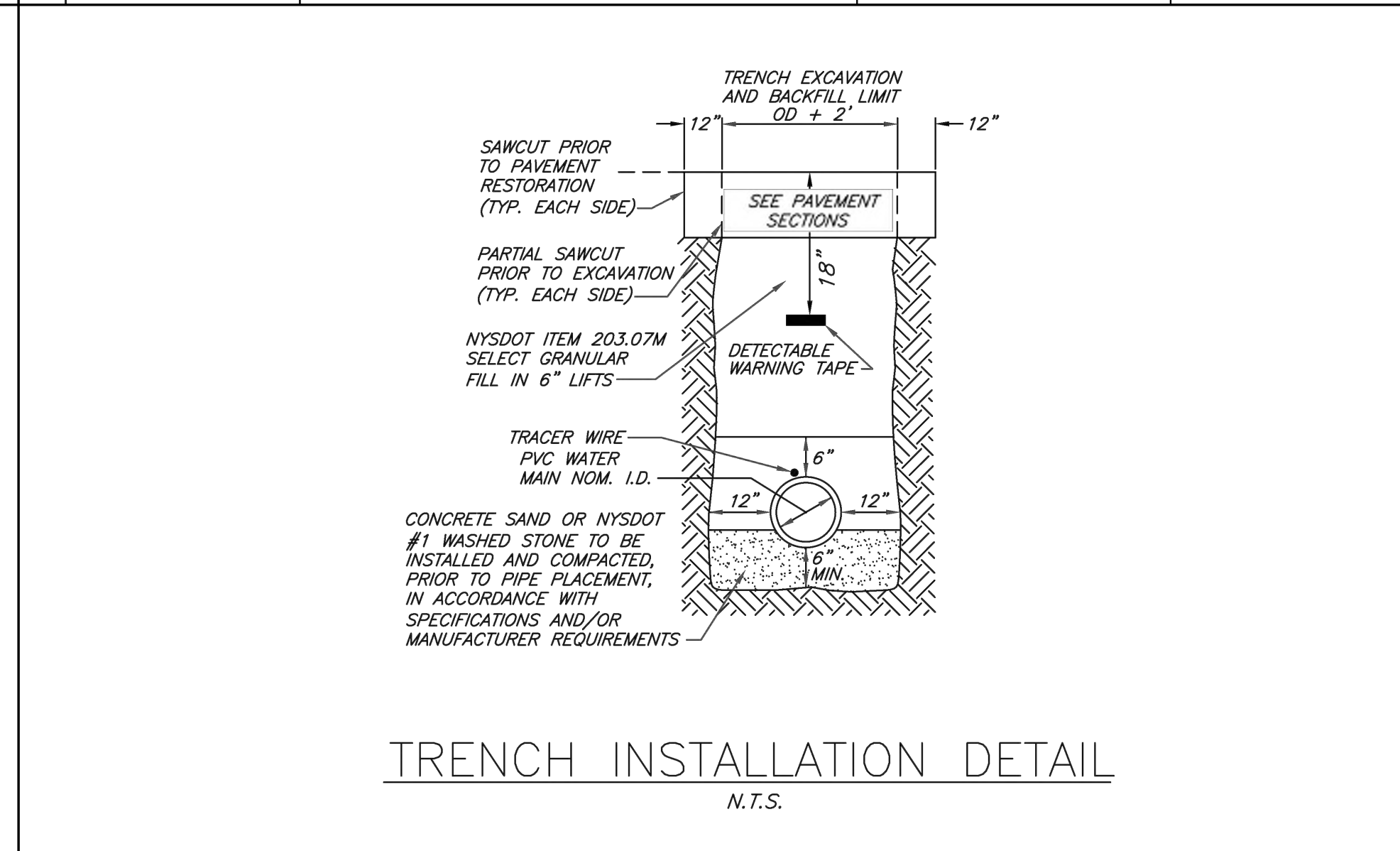
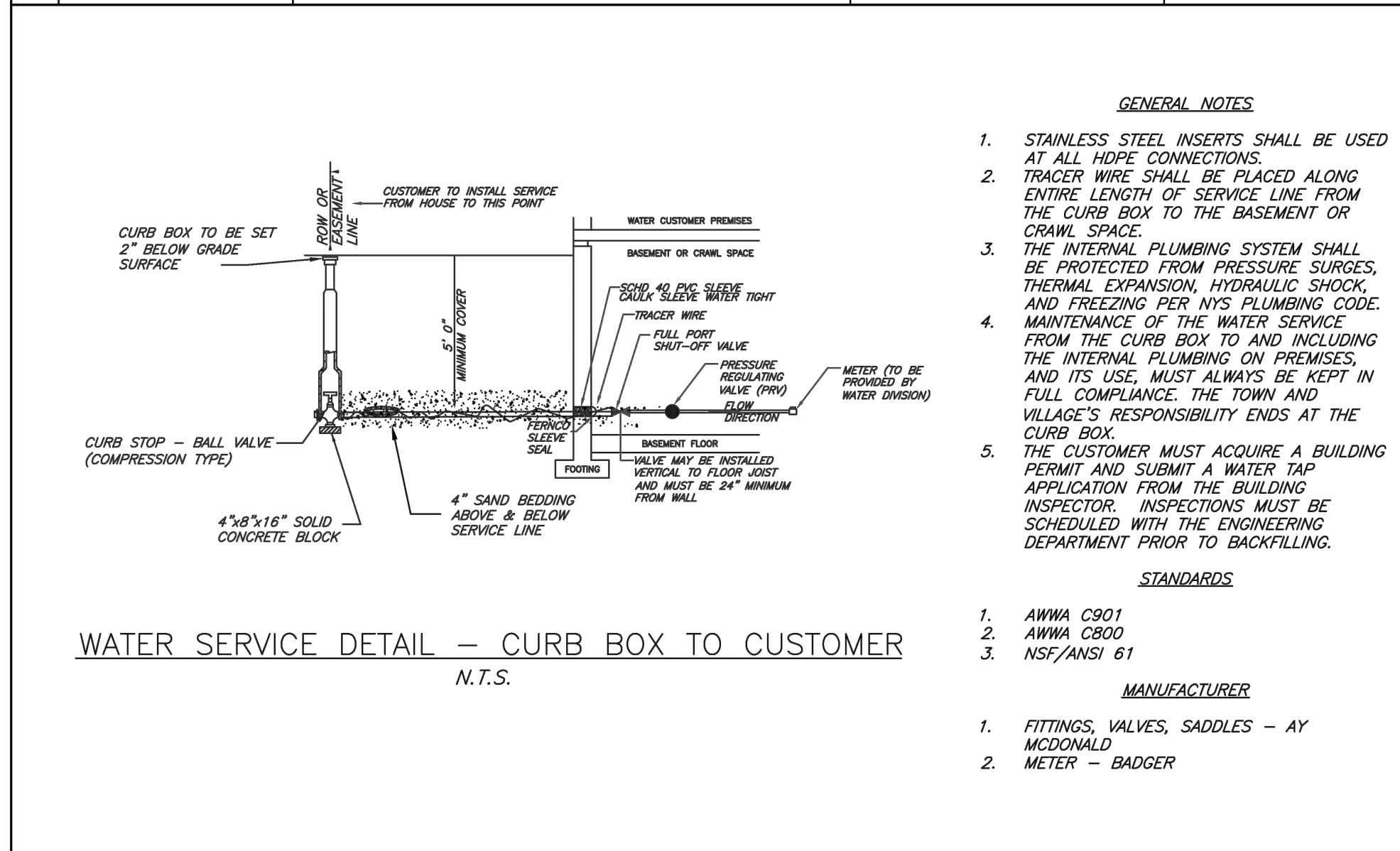
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STORM - ST-01	

ISSUE DATE: SEPTEMBER 2018

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REVISIONS	DATE	COMMENTS

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WATER - W-04	

ISSUE DATE: SEPTEMBER 2018

REVISIONS	DATE	COMMENTS

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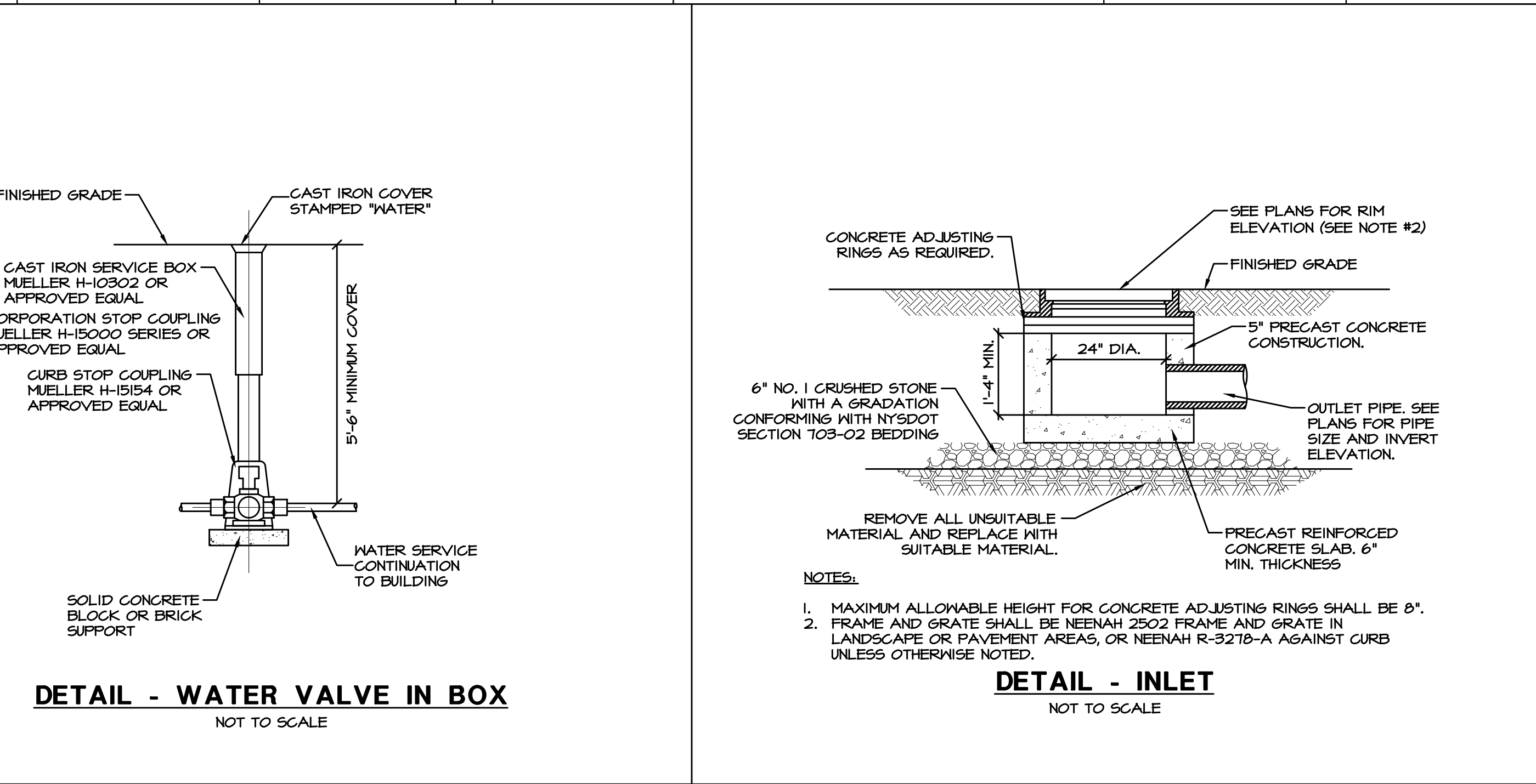
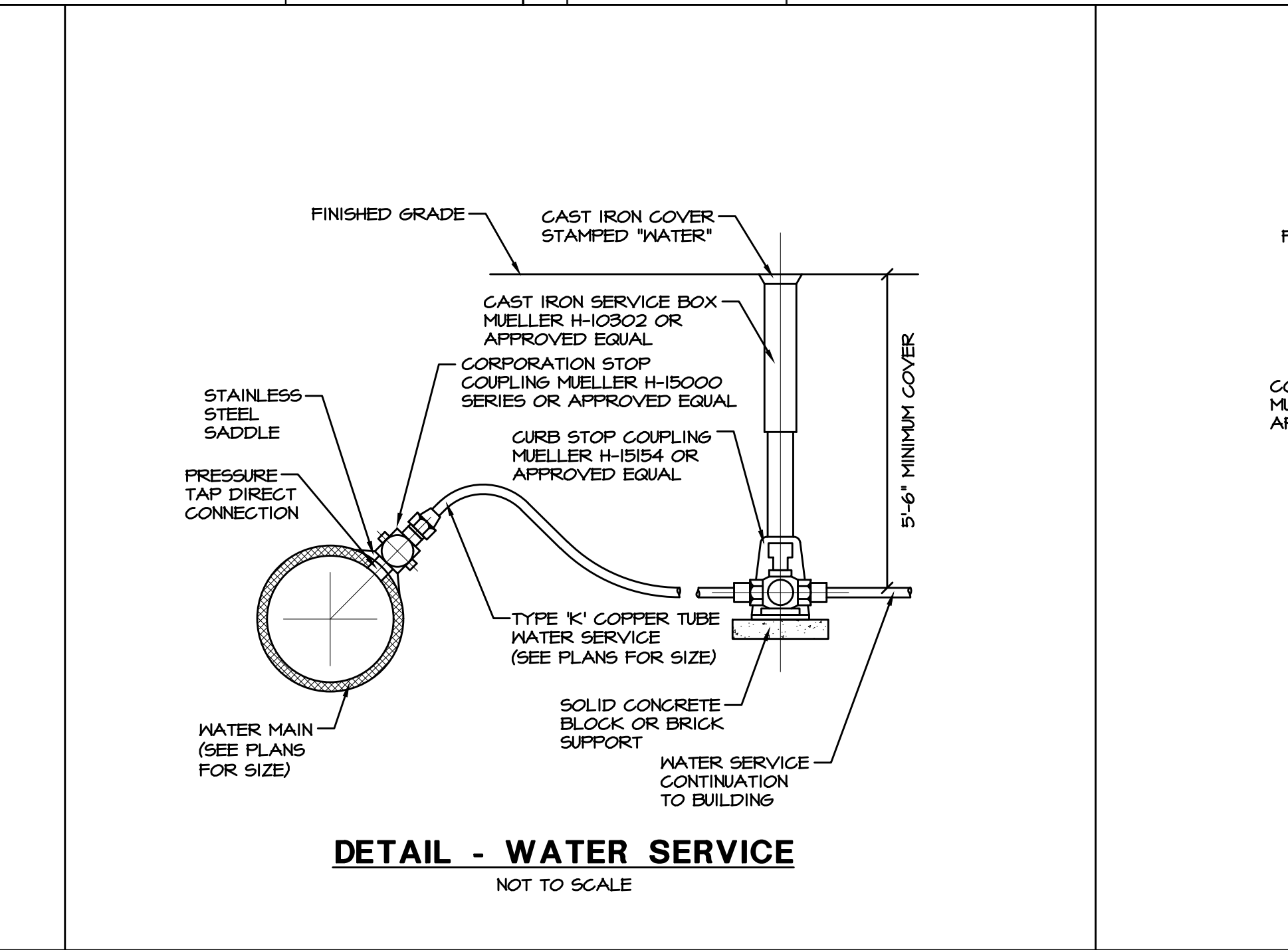
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REVISIONS

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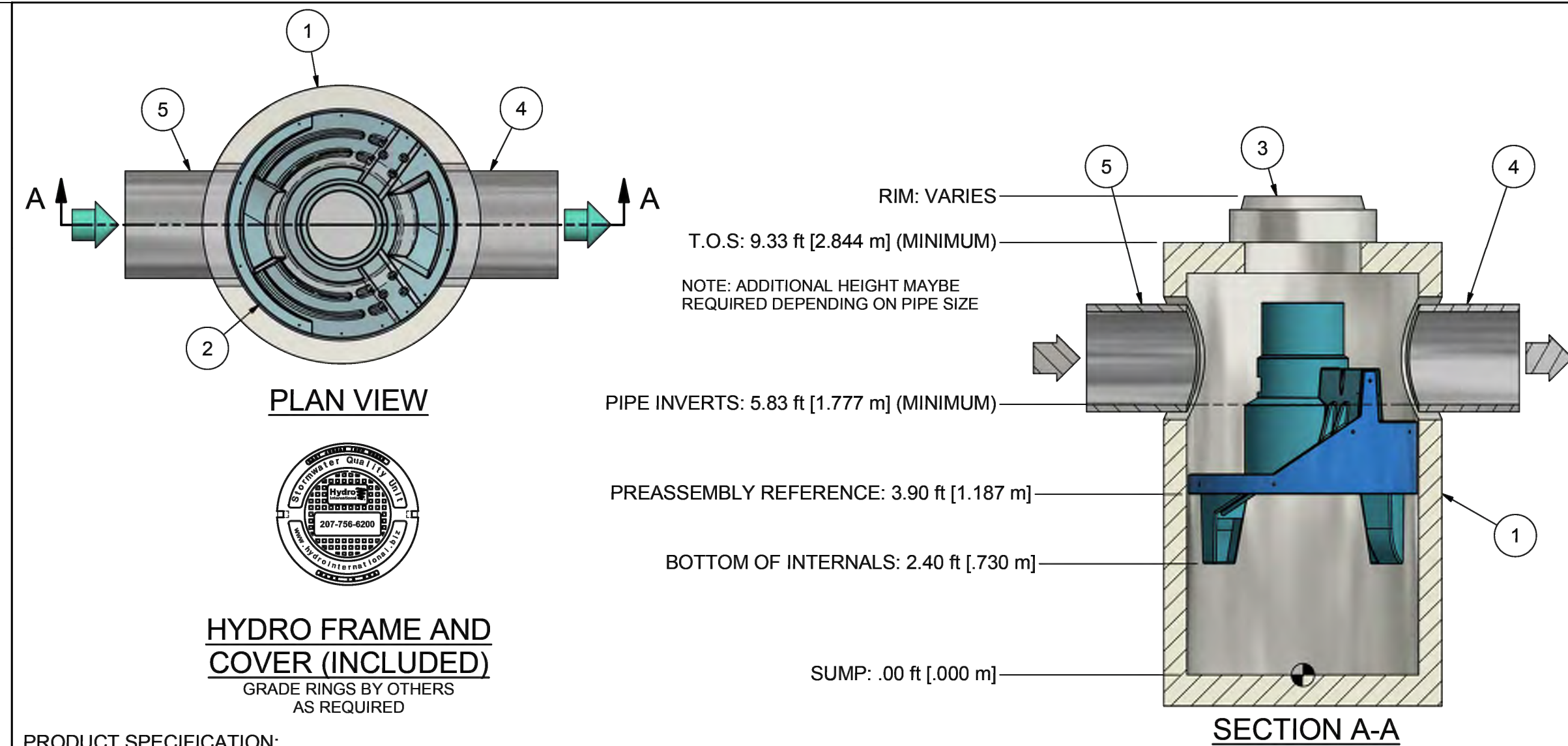
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SITE UTILITY DETAILS

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HYDRO FRAME AND COVER (INCLUDED)
GRADE RINGS BY OTHERS AS REQUIRED

PRODUCT SPECIFICATION:

1. PEAK HYDRAULIC FLOW: 20.0 cfs (568 l/s)
2. MIN SEDIMENT STORAGE CAPACITY: 1.1 cu. yd. (0.8 cu. m.)
3. OIL STORAGE CAPACITY: 300 gal. (1135 liters)
4. MAXIMUM INLET/OUTLET PIPE DIAMETERS: 24 in. (600 mm)
5. THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTEX TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.
6. NJCAT VERIFIED FOR GREATER THAN 85% TSS AT 2.94 cfs (83.2 l/s) FOR OK 110 (50-150 MICRONS)
7. NJCAT VERIFIED FOR GREATER THAN 90% TSS AT 2.34 cfs (66.4 l/s) FOR DOWN TO 50 MICRONS (50-1,000 MICRONS)

GENERAL NOTES:

1. General Arrangement drawings only. Contact Hydro International for site specific drawings.
2. The diameter of the inlet and outlet pipes may be no more than 24".
3. Multiple inlet pipes possible (refer to project plan).
4. Inlet/outlet pipe angle can vary to align with drainage network (refer to project plan).
5. Peak flow rate and minimum height limited by available cover and pipe diameter.
6. Larger sediment storage capacity may be provided with a deeper sump depth.

ANY WARRANTY GIVEN BY HYDRO INTERNATIONAL WILL APPLY ONLY TO THOSE ITEMS SUPPLIED BY IT. ACCORDINGLY HYDRO INTERNATIONAL CANNOT ACCEPT ANY RESPONSIBILITY FOR ANY STRUCTURE, PLANT, OR EQUIPMENT (OR THE PERFORMANCE THERE OF) DESIGNED, BUILT, MANUFACTURED, OR SUPPLIED BY ANY THIRD PARTY. HYDRO INTERNATIONAL HAS A POLICY OF CONTINUOUS DEVELOPMENT AND RESERVE THE RIGHT TO AMEND THE SPECIFICATION. HYDRO INTERNATIONAL CANNOT ACCEPT LIABILITY FOR PERFORMANCE OF ITS EQUIPMENT, OR ANY PART THEREOF, IF THE EQUIPMENT IS SUBJECT TO CONDITIONS OUTSIDE ANY DESIGN SPECIFICATION. HYDRO INTERNATIONAL OWNS THE COPYRIGHT OF THIS DRAWING, WHICH IS SUPPLIED IN CONFIDENCE. IT MUST NOT BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SUPPLIED AND MUST NOT BE REPRODUCED, IN WHOLE OR IN PART, WITHOUT PRIOR PERMISSION IN WRITING FROM HYDRO INTERNATIONAL.

PARTS LIST			
ITEM	QTY	SIZE (in)	DESCRIPTION
1	1	60	I.D. PRECAST MANHOLE
2	1		INTERNAL COMPONENTS (PRE-INSTALLED)
3	1	30	FRAME AND COVER (ROUND)
4	1	24 (MAX)	OUTLET PIPE (BY OTHERS)
5	1	24 (MAX)	INLET PIPE (BY OTHERS)

PROJECTION

IF IN DOUBT ASK

COMMENTS:

1. MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
2. CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION PRIOR TO SETTING FIRST DEFENSE MANHOLE.
3. CONTRACTOR TO CONFIRM RIM, PIPE INVERTS, PIPE DIA. AND PIPE ORIENTATION PRIOR TO RELEASE OF UNIT TO FABRICATION.

DATE: 10/7/2019 SCALE: 1:30

DRAWN BY: ER CHECKED BY: MRJ APPROVED BY:

TSS: 5-R DIAMETER

FIRST DEFENSE HIGH CAPACITY

GENERAL ARRANGEMENT

Hydro International
hydro-int.com
HYDRO INTERNATIONAL

DO NOT SCALE DRAWING
STEEL FABRICATION TOLERANCES
(UNLESS OTHERWISE SPECIFIED)
DIMENSIONS ARE IN INCHES.

LINEAR: 000 - 012in ± 0.04in
012 - 024in ± 0.08in
024 - 048in ± 0.16in
048 - 120in ± 0.32in
120in >>> ± 0.20in

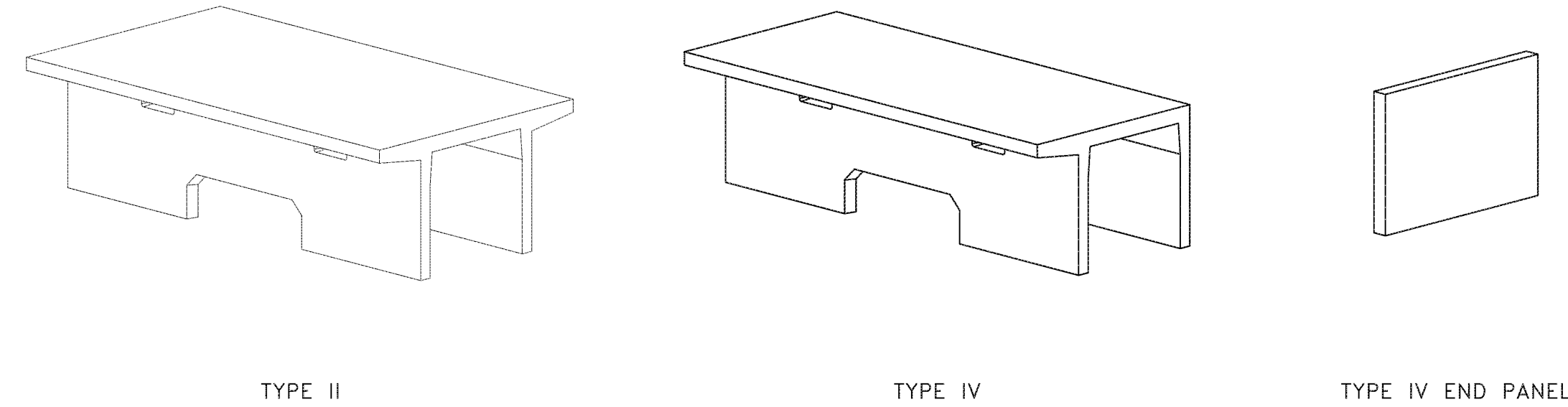
ANGULAR: 000 - 120in ± 1°
120 - 240in ± 0.25°
240in >>> ± 0.25°

WEIGHT: N/A MATERIAL:

STOCK NUMBER:

DRAWING NO.: DHG GA-5

SHEET SIZE: 1 OF 1



- NOTES:**
1. OPENING LOCATIONS AND SHAPES MAY VARY.
 2. SP - INDICATES A MODULE WITH MODIFICATIONS.
 3. P - INDICATES A MODULE WITH A PANEL ATTACHMENT.
 4. POCKET WINDOW OPENINGS ARE OPTIONAL.

StormTrap
NEENAH R-3218-A
1287 MINEHAM PARKWAY
SCARSDALE, IL 60448
PH: 815-441-6548 / FAX: 815-441-6547

ENGINEER INFORMATION:
WT Group - Hoffman Estates, IL - Corporate
Hoffman Estates, IL
PROJECT INFORMATION:
Crosby's C-Store

Elliotville, NY
CURRENT ISSUE DATE:
04/08/2024

ISSUED FOR:
PRELIMINARY

REV	DATE	ISSUED FOR	OWN BY
1	04/08/2024	PRELIMINARY	JH

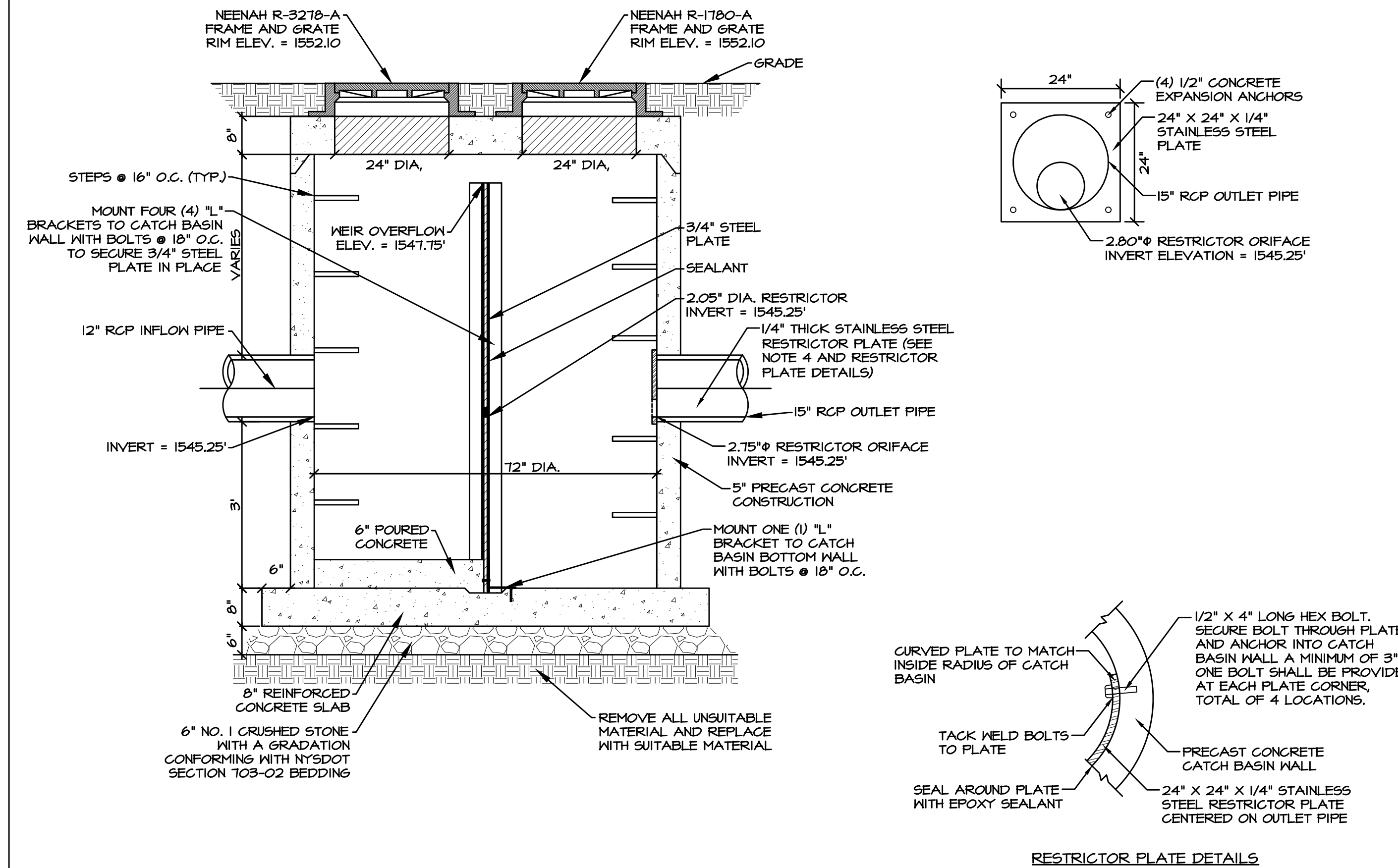
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SHEET TITLE:
SINGLETAP MODULE TYPES

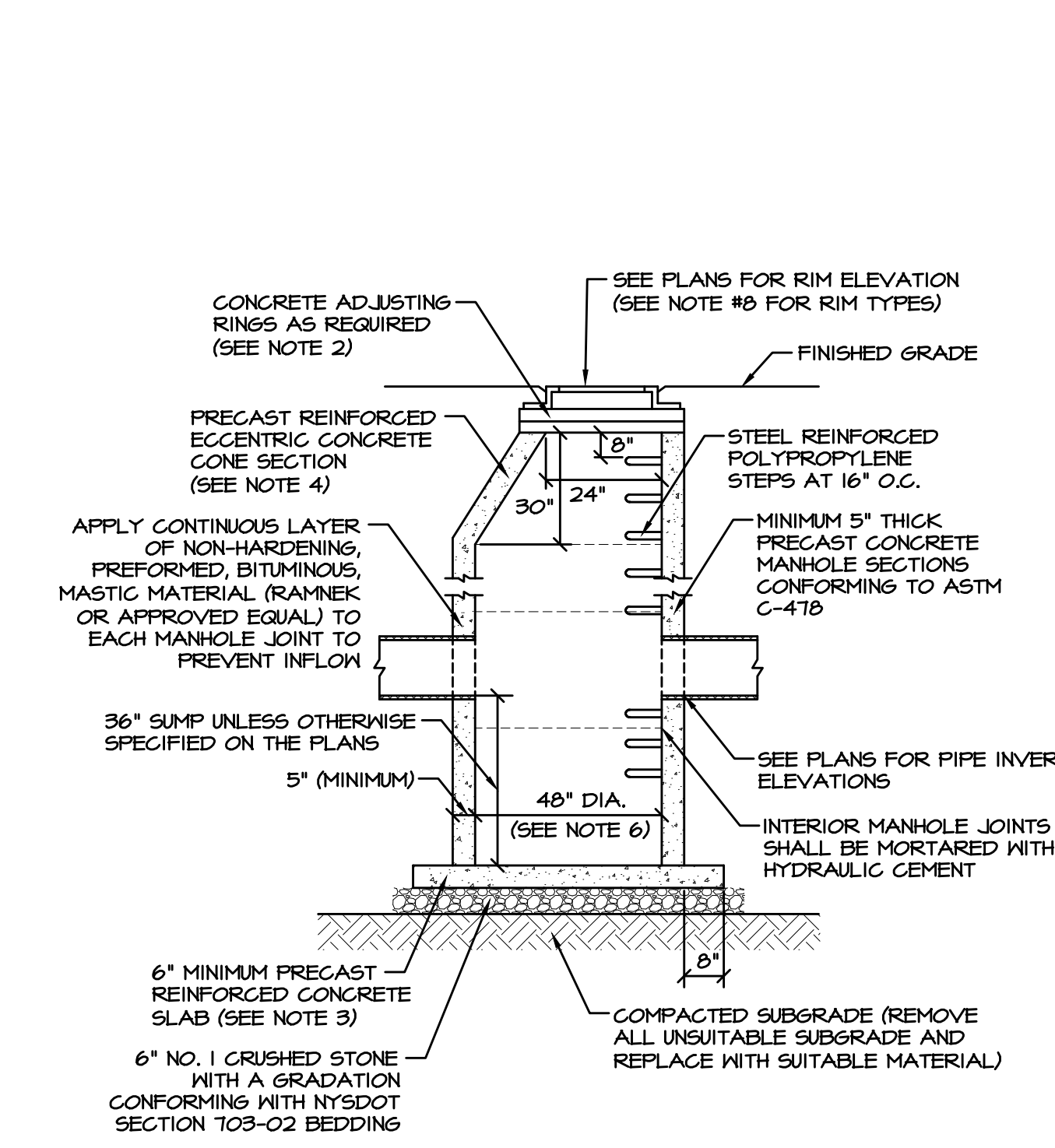
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DATE	BY	NO.	REVISIONS
8-15-23	JFG	1	TO TOWN OF ELLICOTTVILLE
9-14-23	JFG	2	TO TOWN OF ELLICOTTVILLE
4-12-24	JFG	3	TO TOWN OF ELLICOTTVILLE

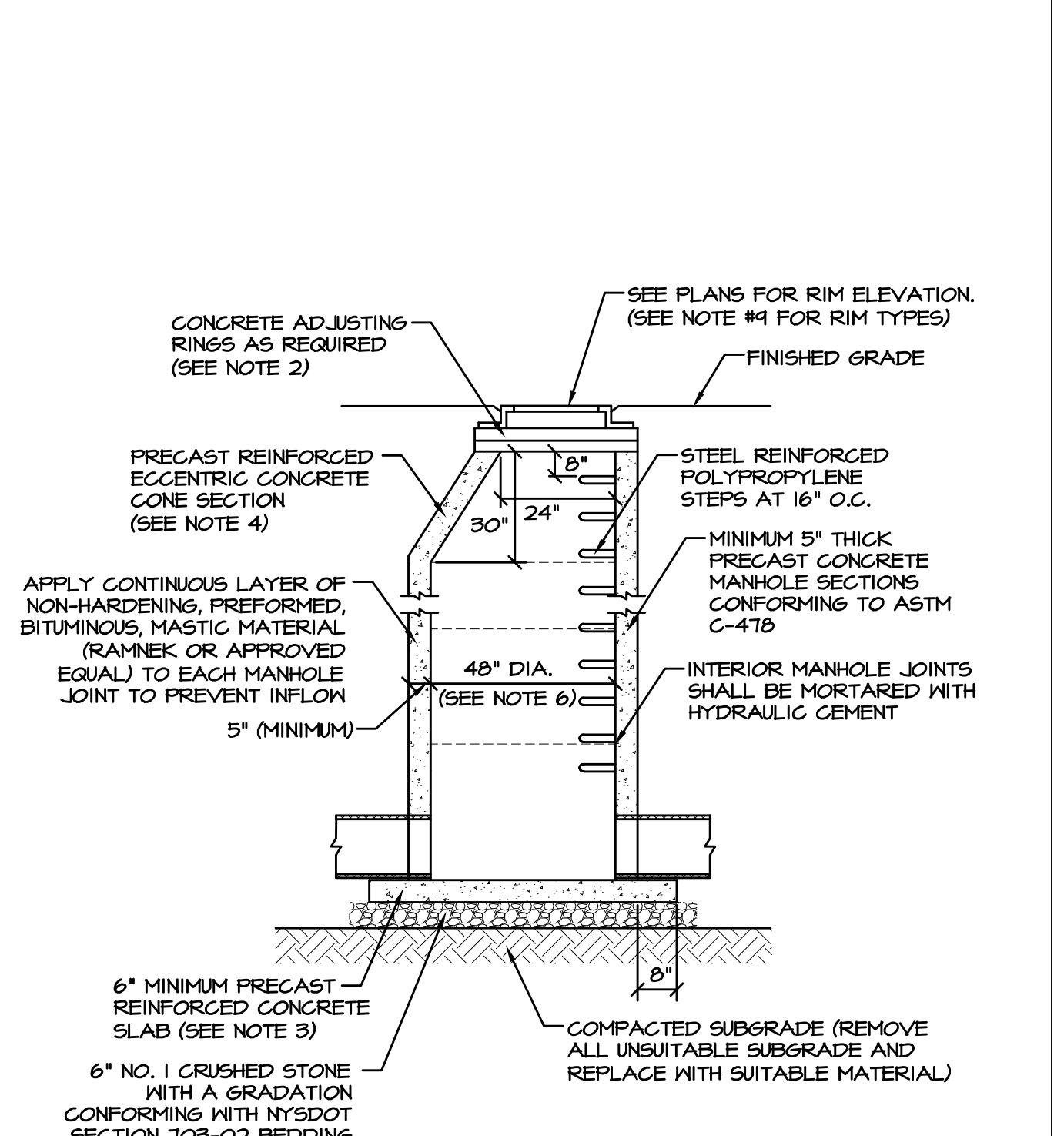
RYAN R TRIPHAHN DESIGN, PLLC
CONTACT: RYAN R. TRIPHAHN
2675 PRATUM AVENUE SUITE 200
HOFFMAN ESTATES, IL 60192
PH: 847-462-7278
EMAIL: RTRIPHAHNDESIGN@GMAIL.COM



DETAIL - SPECIAL 72" CATCH BASIN
NOT TO SCALE



DETAIL - CATCH BASIN
NOT TO SCALE



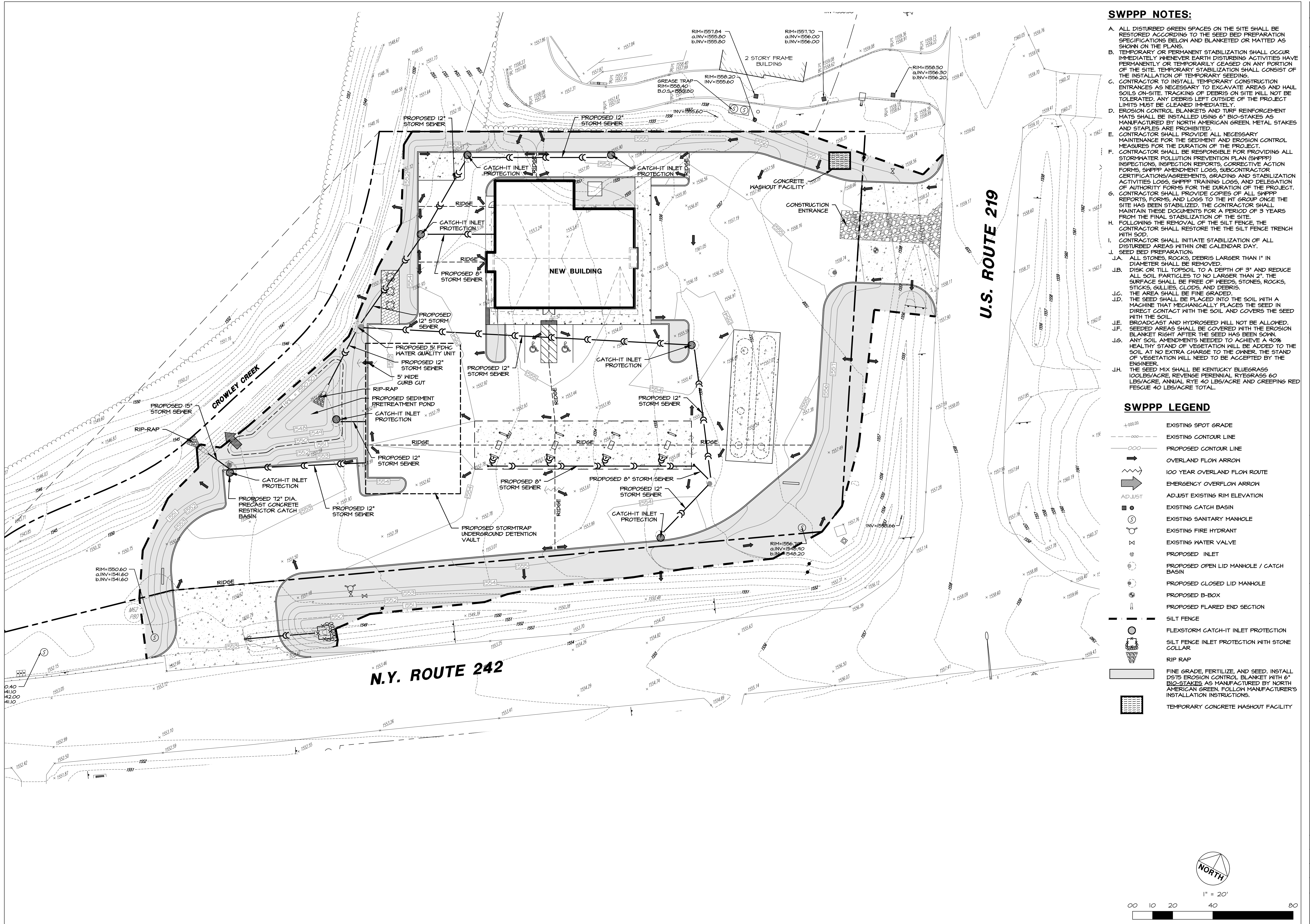
DETAIL - STORM MANHOLE
NOT TO SCALE

PROPOSED C-STORE
CROSBY
ROUTE 242 & US ROUTE 219
ELLICOTTVILLE, NY 14731



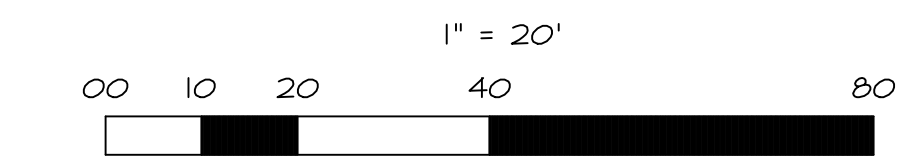
ORIGINATED: 7-18-2023
DRAWN: VE
CHECK: JFG
JOB: D2300115
SHEET:

C-5.3
SITE UTILITY DETAILS



- SWPPP NOTES:**
- ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLANS.
 - TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
 - CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO EXCAVATE AREAS AND HAUL SOILS ON-SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.
 - EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6" BIO-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. METAL STAKES AND STAPLES ARE PROHIBITED.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
 - CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE HST GROUP ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
 - FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR SHALL RESTORE THE SILT FENCE TRENCH WITH SOD.
 - CONTRACTOR SHALL INITIATE STABILIZATION OF ALL DISTURBED AREAS WITHIN ONE CALENDAR DAY.
 - SEED BED PREPARATION:
 - ALL STONES, ROCKS, DEBRIS LARGER THAN 1" IN DIAMETER SHALL BE REMOVED.
 - DISK OR TILL TOPSOIL TO A DEPTH OF 3" AND REDUCE ALL SOIL PARTICLES TO NO LARGER THAN 2". THE SURFACE SHALL BE FREE OF WEEDS, STONES, ROCKS, STICKS, GULLIES, CLODS, AND DEBRIS.
 - THE AREA SHALL BE FINE GRADED.
 - THE SEED SHALL BE PLACED INTO THE SOIL WITH A MACHINE THAT MECHANICALLY FLICATES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL.
 - BROADCAST AND HYDROSEED WILL NOT BE ALLOWED.
 - SEEDED AREAS SHALL BE COVERED WITH THE EROSION BLANKET RIGHT AFTER THE SEED HAS BEEN SOWN.
 - ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 90% HEALTHY STAND OF VEGETATION WILL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER.
 - THE SEED MIX SHALL BE KENTUCKY BLUEGRASS 100LBS/ACRE, REVERSE PERENNIAL RYEGRASS 60 LBS/ACRE, ANNUAL RYE 40 LBS/ACRE AND CREEPING RED FESCUE 40 LBS/ACRE TOTAL.

- SWPPP LEGEND**
- EXISTING SPOT GRADE
 - EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - OVERLAND FLOW ARROW
 - 100 YEAR OVERLAND FLOW ROUTE
 - EMERGENCY OVERFLOW ARROW
 - ADJUST EXISTING RIM ELEVATION
 - EXISTING CATCH BASIN
 - EXISTING SANITARY MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - PROPOSED INLET
 - PROPOSED OPEN LID MANHOLE / CATCH BASIN
 - PROPOSED CLOSED LID MANHOLE
 - PROPOSED B-BOX
 - PROPOSED FLARED END SECTION
 - SILT FENCE
 - FLEXSTORM CATCH-IT INLET PROTECTION
 - SILT FENCE INLET PROTECTION WITH STONE COLLAR
 - RIP RAP
 - FINE GRADE, FERTILIZE, AND SEED. INSTALL D575 EROSION CONTROL BLANKET WITH 6" BIO-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - TEMPORARY CONCRETE WASHOUT FACILITY



DATE	BY	REVISIONS
8-15-23	JFG	1. TO TOWN OF ELLICOTTVILLE
9-14-23	JFG	2. TO TOWN OF ELLICOTTVILLE
4-12-24	JFG	3. TO TOWN OF ELLICOTTVILLE

NO. 1
NO. 2
NO. 3

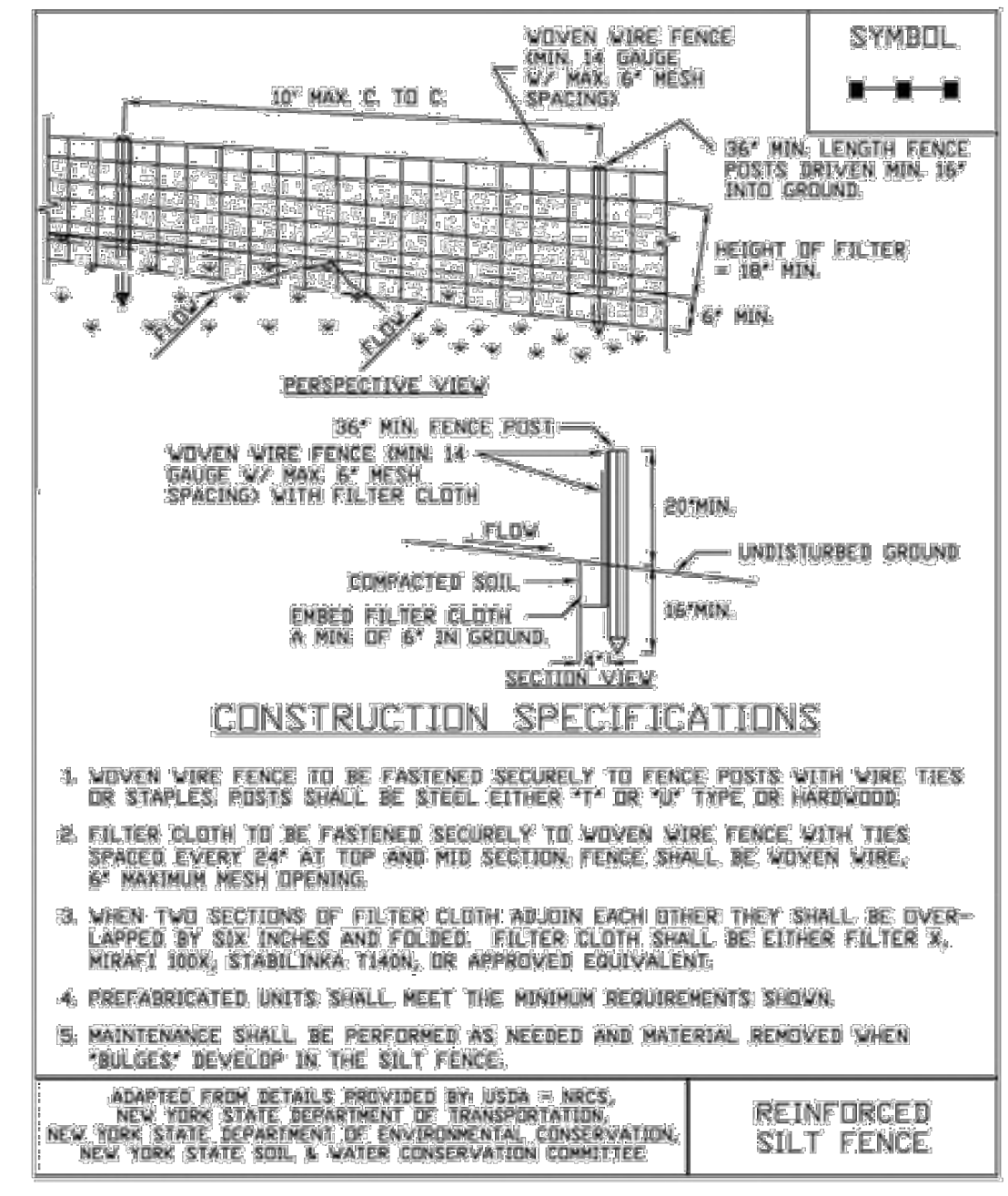
RYAN R TRIPHAHN DESIGN, PLLC
CONTACT: RYAN R. TRIPHAHN
2675 PRATUM AVENUE SUITE 200
HOFFMAN ESTATES, IL 60192
PH: 847-462-7278
EMAIL: RTTRIPHAHNDESIGN@GMAIL.COM

PROPOSED C-STORE
CROSBY
ROUTE 242 & US ROUTE 219
ELLCOTTVILLE, NY 14731



ORIGINATED: 7-18-2023
DRAWN: VE
CHECK: JFG
JOB: D2300115
SHEET: C-6.0
STORMWATER POLLUTION PREVENTION PLAN

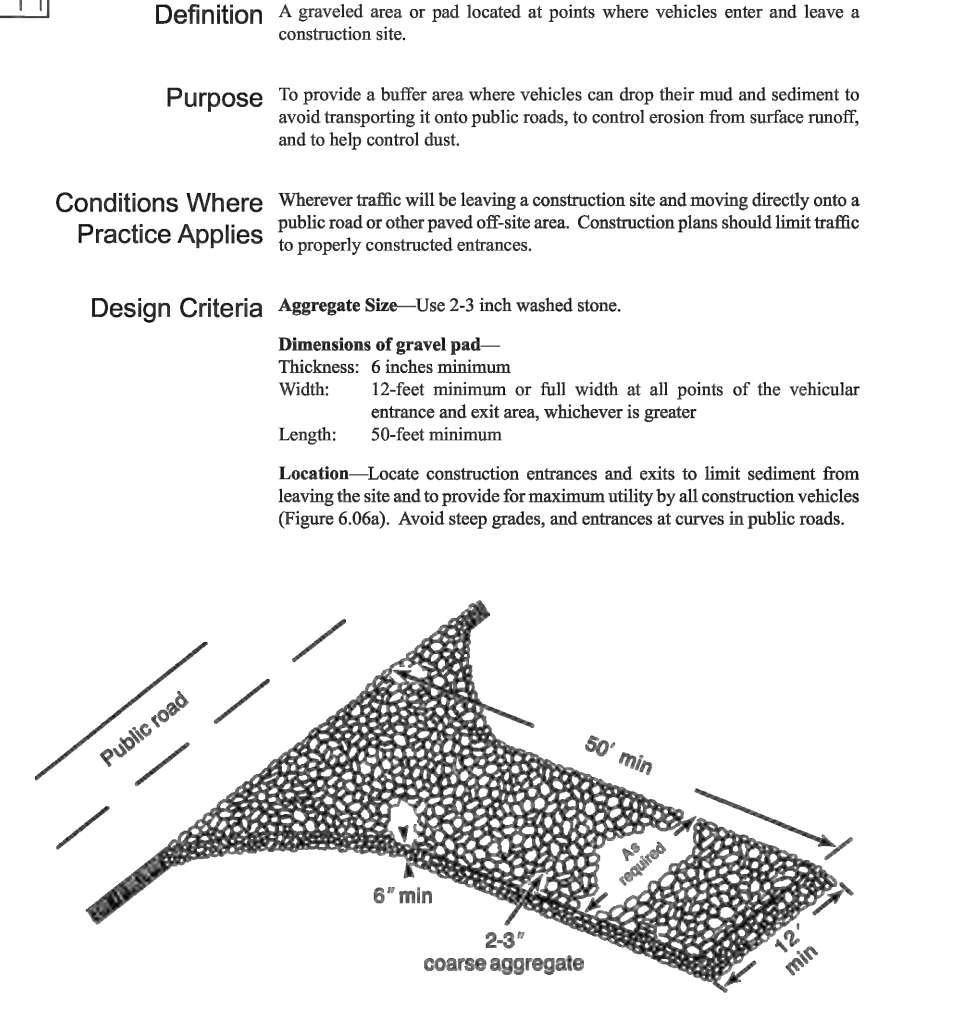
Figure 5.30 Reinforced Silt Fence



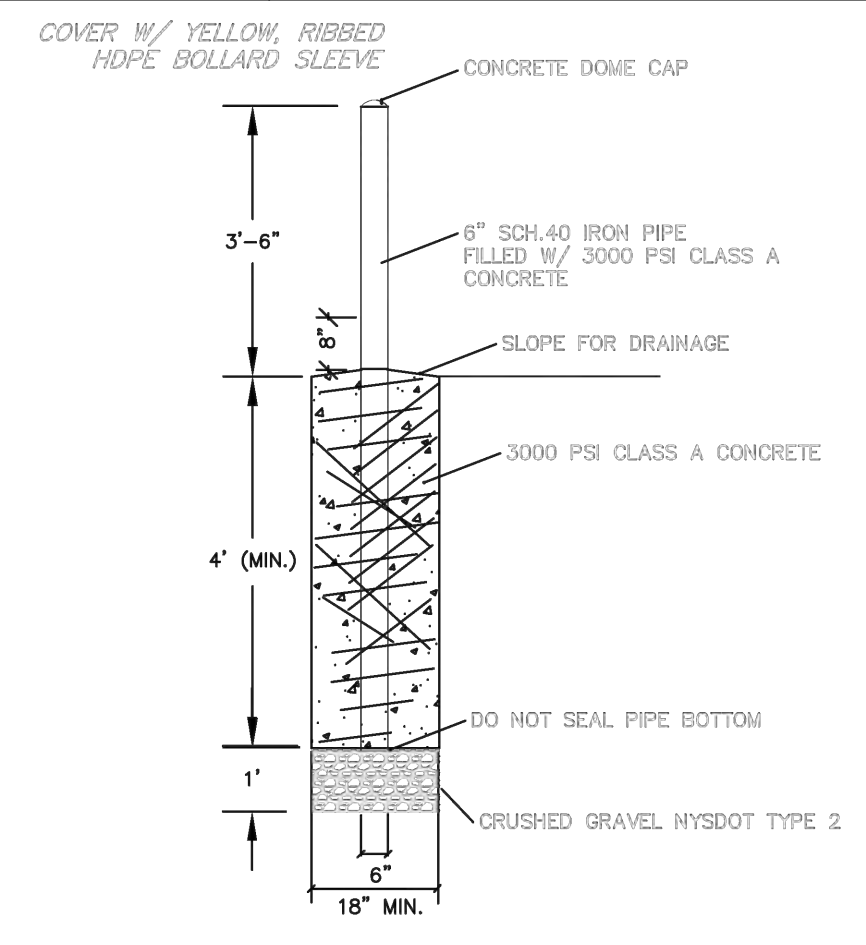
SILT FENCE
NOT TO SCALE

Practice Standards and Specifications

Code	Definition	Purpose	Conditions Where Practice Applies	Design Criteria
6.06	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT	To provide a buffer area where vehicles can drop their mud and sediment to avoid transporting it onto public roads, to control erosion from surface runoff, and to help control dust.	Whenever traffic will be leaving a construction site and moving directly onto a public road or other paved off-site area. Construction plans should limit traffic to properly constructed entrances.	Aggregate Size—Use 2-3 inch washed stone. Dimensions of gravel pad— Thickness: 6 inches minimum Width: 12-foot minimum or full width at all points of the vehicular entrance and exit area, whichever is greater Length: 50-foot minimum Location—Locate construction entrances and exits to limit sediment from leaving the site and to provide for maximum utility by all construction vehicles (Figure 6.06a). Avoid steep grades, and entrances at curves in public roads.



TEMPORARY CONSTRUCTION ENTRANCE
NOT TO SCALE



TYPICAL BOLLARD DETAIL
N.T.S.

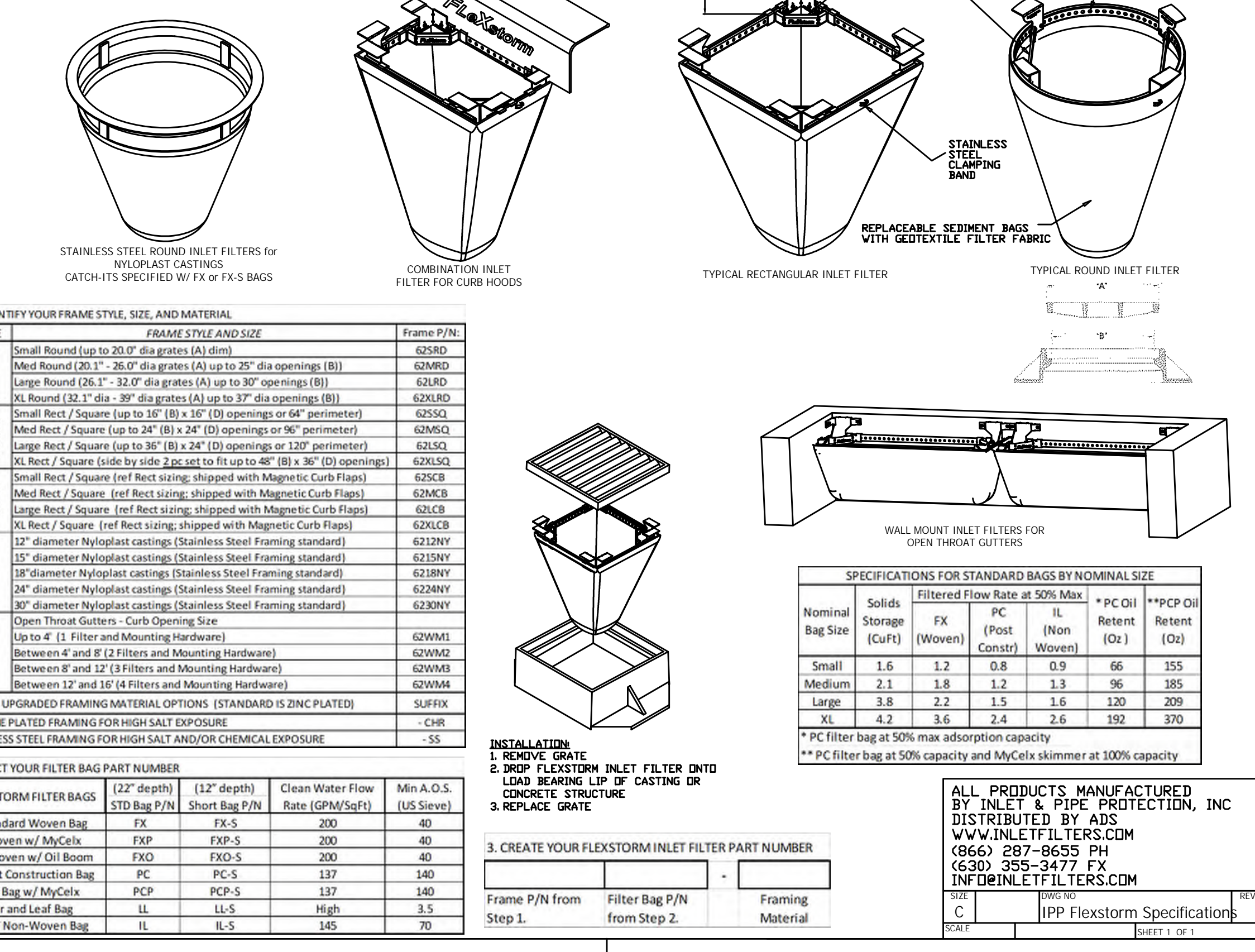
ISSUE DATE: JANUARY 2019

TOWN & VILLAGE OF ELLICOTTVILLE

REVISIONS	DATE	COMMENTS

EVL ENG DEPT.
HIGHWAY - H-II

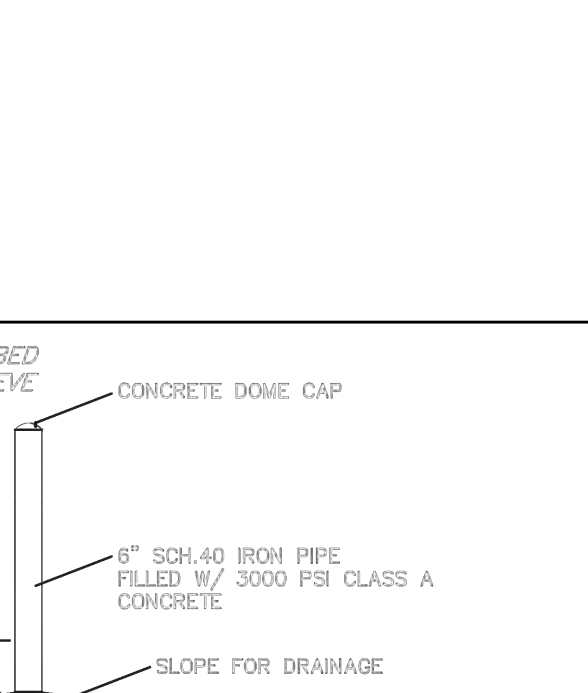
FLEXSTORM INLET FILTERS
PRODUCT SELECTION AND SPECIFICATION DRAWING



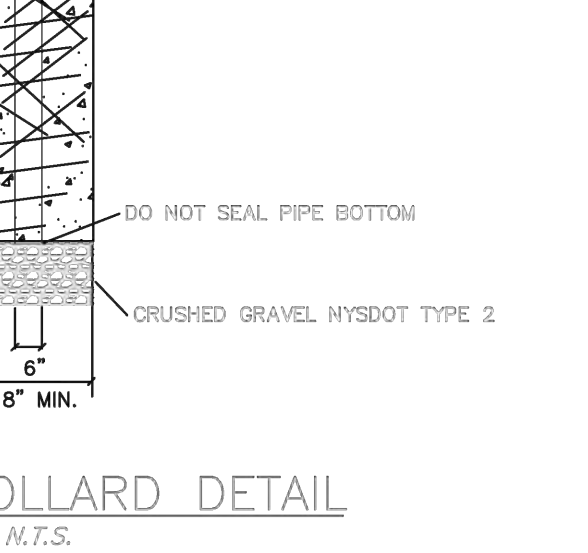
WORKSHEET



TEMPORARY WASHOUT AREA
NOT TO SCALE



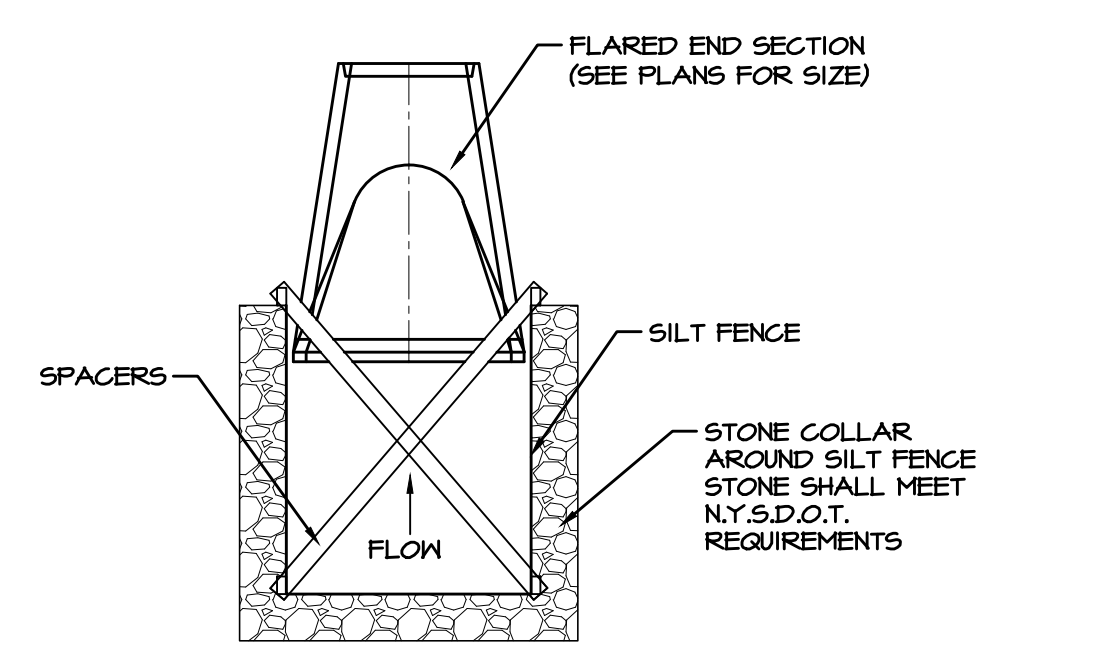
DETAIL - SILT FENCE
INLET PROTECTION
NOT TO SCALE



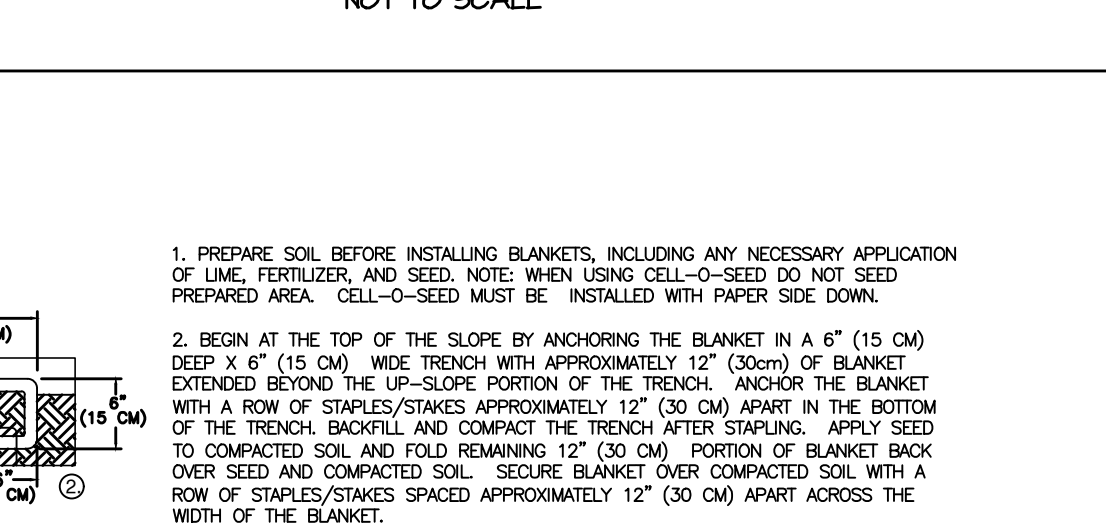
SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION SCHEDULE

- OBTAIN NPDES AND OTHER APPLICABLE SITE PERMITS AND REVIEW PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SWPPP THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL PERIMETER SEDIMENT CONTROL MEASURES (E.G. SILT FENCE).
- INSTALL PROTECTION DEVICES FOR EXISTING DRAINAGE INLET AND OUTLET STRUCTURES, IF APPLICABLE.
- PERFORM STORMWATER POLLUTION PREVENTION SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED. ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP.
- ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION (SEE THE STORMWATER POLLUTION PREVENTION NOTES AND STORMWATER POLLUTION PREVENTION MAINTENANCE SCHEDULE FOR ADDITIONAL INFORMATION). CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTIONS.
- PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED.
- PERFORM SITE CLEARING AND GRUBBING AND REMOVE EXISTING VEGETATION AS NEEDED FOR INITIAL SITE GRADING OPERATIONS. VEGETATED SITE AREAS THAT ARE NOT INCLUDED WITH THE INITIAL GRADING SHALL REMAIN UNDISTURBED. ALL TOPSOIL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE AND STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
- REMOVE ALL ITEMS NOTED FOR REMOVAL IN THE DEMOLITION PLAN.
- PERFORM ROUGH GRADING OPERATIONS, CONSTRUCT OVERFLOW ROUTES, AND STABILIZE ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO STEEP SLOPES, DRAINAGE CHANNELS AND SHALES (I.E. TEMPORARY AND PERMANENT SEEDING, EROSION CONTROL BLANKETS, RIP-RAP, CHECK DAMS, TEMPORARY DRAINAGE DIVERSIONS, ETC.).
- INSTALL TEMPORARY CONCRETE WASHOUT FACILITY.
- INSTALL BUILDING FOUNDATIONS AND BEGIN BUILDING CONSTRUCTION.
- INSTALL DETENTION SYSTEMS, STORM SEWERS AND OTHER SITE UTILITIES AND IMMEDIATELY INSTALL DRAINAGE INLET AND OUTLET PROTECTION DEVICES AS INDICATED ON THE PLANS.
- PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.
- INSTALL CURBS AND BEGIN SITE PAVING OPERATIONS (I.E. DRIVEWAYS, SIDEWALKS, ETC.).
- COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS.
- REMOVE TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.
- SUBMIT A NOTICE OF TERMINATION (N.O.T.) TO THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY UPON COMPLETION OF ALL SITE CONSTRUCTION AND FINAL SITE STABILIZATION (I.E. OVER 10% VEGETATIVE COVER).

TEMPORARY WASHOUT AREA
NOT TO SCALE



DETAIL - SILT FENCE
INLET PROTECTION
NOT TO SCALE



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-0 SEED DO NOT SEED PREPARED AREA. CELL-0 SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF BLANKET EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACES BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON BLANKET TYPE.
- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAP AREA, APPROXIMATELY 12" (30 CM) AWAY ACROSS ENTIRE BLANKET WIDTH.

STORMWATER POLLUTION PREVENTION NOTES

- COPIES OF THE APPROVED STORM WATER POLLUTION PREVENTION PLANS SHALL BE AT ALL TIMES ALONG WITH THE PERMIT, INCIDENT OF NON-COMPLIANCE (I.O.N) FORM AND INSPECTION FORMS.
- CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE WT GROUP ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- ILLINOIS QUALIFIED PERSONNEL SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INFORM ANY SUBCONTRACTOR(S) WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE DURATION OF CONSTRUCTION UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED.
- PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO, ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SURFACE EROSION CONTROL PLAN SHALL BE SUBMITTED FOR REVIEW. THE GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE PROJECT SITE MUST BE NOTIFIED ONE (1) WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE (1) WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES, AND ONE (1) WEEK PRIOR TO THE FINAL INSPECTION. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE GOVERNING AUTHORITY.
- IF AFTER REPEATED FAILURE ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL EROSION, POLLUTION, AND/OR SILTATION, THE GOVERNING AUTHORITIES RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE THE COSTS TO THE CONTRACTOR.
- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL LATEST EDITION.
- INLET PROTECTION SHALL BE INSTALLED AROUND EACH INLET OR CATCH BASIN. THESE SHALL BE MAINTAINED UNTIL THE TRIBUTARY DRAINAGE AREAS HAVE ADEQUATE GRASS COVER OR APPROPRIATE GROUND STABILIZATION.
- ALL STREETS ADJACENT TO THE SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS.
- CONTRACTORS SHALL MINIMIZE BARE EARTH SURFACES DURING CONSTRUCTION.
- ALL DISTURBED AREAS SHOULD BE SEED OR SODDED WITHIN THREE (3) DAYS OF FINAL SITE STABILIZATION.
- WHENEVER DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED.
- CONTRACTOR SHALL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF INLET PROTECTION OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
- CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE FROM THE PROPOSED CONSTRUCTION ENTRANCE. THE USE OF ANY OTHER ACCESSSES IS PROHIBITED.
- DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED OR OTHERWISE DISCHARGED FROM THE SITE INTO SEDIMENT BASINS, SILT TRAPS, DENATURING BAGS OR POLYMER MIXING SNALE. DENATURING DIRECTLY INTO FIELD TILES, WETLANDS, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, STREAMS, LAKES, PONDS, RIVERS, OR STORMWATER SYSTEMS IS PROHIBITED.
- ALL STOCKPILES SHOULD BE STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:
 - WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (I.E. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.
- EROSION CONTROL BLANKETS SHALL BE USED IN AREAS OF 6:1 SLOPE OR STEEPER AND AS SHOWN ON THE PLANS.
- ALL DISTURBED GREEN SPACES WITHIN THE R.O.W. SHALL BE RESTORED WITH 6" OF TOPSOIL AND CLASS 2A SEEDING.
- THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SHUTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT THE SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL. ALL OPEN AREAS THAT ARE TO REMAIN IDLE THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEYOND THE END OF THE GROWING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.
- ALL UPSTREAM AREAS ARE STABILIZED WITH SEED AND BLANKET OR SOD AS SHOWN IN THE PLANS, SILT FENCING SHALL BE REMOVED AND THE TRENCH SHALL BE RESTORED WITH TOPSOIL, SEED, FERTILIZER AND BLANKETING. RESTORATION SHALL OCCUR IMMEDIATELY FOLLOWING THE REMOVAL OF THE SILT FENCE. RESTORATION SHALL BE COMPLETED THE SAME WORKING DAY AS ANY SILT FENCING REMOVAL AND AT LEAST 2 HOURS BEFORE ANY FORECASTED PRECIPITATION.
- ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PROPERLY STABILIZED OR DISPOSED OFF BY THE CONTRACTOR.

DATE: 8-15-23 JFG
9-14-23 JFG
4-12-24 JFG

REVISIONS:
1 TO TOWN OF ELLICOTTVILLE
2 TO TOWN OF ELLICOTTVILLE
3 TO TOWN OF ELLICOTTVILLE

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PROPOSED C-STORE
CROSBY
ROUTE 242 & US ROUTE 219
ELLICOTTVILLE, NY 14731

ORIGINATED: 7-18-2023
DRAWN: VE
CHECK: JFG
JOB: D2300115
SHEET: C-6.1
STORMWATER POLLUTION PREVENTION DETAILS

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GENERAL NOTES	SITE GRADING AND PAVING	SANITARY SEWERS	WATER MAINS	STORM SEWERS
<p>1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING:</p> <ol style="list-style-type: none"> 1.1. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION. 1.2. NEW YORK STANDARD SEWER AND WATER MAIN SPECIFICATIONS. 1.3. NEW YORK DEPARTMENT OF ENVIRONMENTAL CONSERVATION CONSTRUCTION STORMWATER TOOLBOX. 1.4. BUILDING CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES. 1.5. UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, 29 CFR PART 1926, "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION." 1.6. NEW YORK DRAINAGE LAW. 1.7. NEW YORK ENVIRONMENTAL BARRIERS ACT. 1.8. NEW YORK ACCESSIBILITY CODE. 1.9. NEW YORK DEPARTMENT OF ENVIRONMENTAL CONSERVATION REQUIREMENTS. <p>2. ALL REQUIRED PERMITS FROM THE APPROPRIATE GOVERNING AGENCY(S) SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO STREETS OR HIGHWAYS. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHEETING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE AND TO THE SATISFACTION OF THE GOVERNING AGENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNAGE AND TRAFFIC CONTROL DEVICES TO INFORM AND PROTECT THE PUBLIC.</p> <p>3. CONTRACTOR SHALL NOTIFY THE LOCAL ENGINEERING OR PUBLIC WORKS DEPARTMENT AND/OR OTHER GOVERNING AUTHORITY(S) 48 HOURS PRIOR TO COMMENCING CONSTRUCTION ON EACH MAJOR CATEGORY OF WORK, INCLUDING BUT NOT LIMITED TO: ROADWAY IMPROVEMENTS, ROADWAY CLOSURES OR UTILITY INSTALLATIONS. 12 HOUR NOTICE SHALL BE GIVEN FOR ANY WORK ITEM THAT REQUIRES INSPECTION AND TESTING SUCH AS SANITARY SEWER OR WATER MAIN INSTALLATION.</p> <p>4. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO AVOID POTENTIAL CONFLICTS. CONTRACTOR SHALL CALL THE UTILITY LOCATING INFORMATION FOR EXCAVATORS (JULIE) AT 1-800-842-0123 OR BY DIALING 811. IT IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON THE PLANS OR NOT AND TO HAVE THESE UTILITIES STAKED PRIOR TO CONSTRUCTION.</p> <p>5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER.</p> <p>6. ALL EASEMENTS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREPARED BY THE ENGINEER. REFER TO INFORMATION AVAILABLE FROM PUBLIC RECORDS OR VISIBLE FIELD MARKINGS. THE CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THE CONFLICT MAY BE RESOLVED.</p> <p>7. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS AND TO THE SATISFACTION OF THE APPLICABLE UTILITY OWNER(S).</p> <p>8. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, COORDINATES AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES SO THE CONFLICT MAY BE RESOLVED.</p> <p>9. ALL PROPERTY MARKERS AND REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN WITNESSED OR OTHERWISE TIED IN BY AN AUTHORIZED AGENT OR PROFESSIONALLY LICENSED SURVEYOR.</p> <p>10. THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE PROVIDED WHERE CONSTRUCTION OPERATIONS AFFECT PUBLIC THROUGH-FARES AND ADJACENT PROPERTY.</p> <p>11. ALL AREAS DISTURBED BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL BE RETURNED TO THE ORIGINAL CONDITIONS OR BETTER, EXCEPT WHERE PROPOSED CONSTRUCTION IS INDICATED ON THE PLANS.</p> <p>12. NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.</p> <p>13. PRIOR TO INITIAL ACCEPTANCE BY THE OWNER(S) AND/OR GOVERNING AUTHORITY, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND MUNICIPALITY ENGINEER OR HIS REPRESENTATIVE(S). THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF 18 (EIGHTEEN) MONTHS FROM THE DATE OF COMPLETION AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.</p> <p>14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.</p> <p>15. CONTRACTOR SHALL KEEP THE PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, CLEAN PAVEMENTS AT THE END OF EACH WORKING DAY.</p> <p>16. ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>17. THREE (3) ORIGINAL COPIES OF ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:</p> <ol style="list-style-type: none"> 17.1. ASPHALT PAVEMENT MIX DESIGN 17.2. CONCRETE MIX DESIGN 17.3. GRANULAR MATERIAL GRADATION 17.4. PRECAST CONCRETE STRUCTURES (MANHOLES, INLETS, CATCH BASINS, VAULTS, ETC.) 17.5. WATER MAIN MATERIALS (VALVES, FIRE HYDRANTS, ETC.) <p>18. AFTER COMPLETION OF THE PROPOSED IMPROVEMENTS, CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH AS-BUILT AND/OR RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONALLY LICENSED ENGINEER OR SURVEYOR AND SHALL INCLUDE AT A MINIMUM (WHERE APPLICABLE TO THE SCOPE OF WORK) THE FOLLOWING ITEMS:</p> <ol style="list-style-type: none"> 18.1. TOPOGRAPHY AND SPOT GRADE ELEVATIONS OF ALL PROPOSED PERMANENT SITE FEATURES INCLUDING ANY STORM WATER FACILITIES OR MODIFICATIONS TO EXISTING STORM WATER FACILITIES. 18.2. HORIZONTAL AND VERTICAL LOCATION AND ALIGNMENT OF ALL PROPOSED ROADWAYS, PARKING LOTS, UTILITIES, BUILDINGS OR OTHER PERMANENT SITE FEATURES. 18.3. RIM AND INVERT AND/OR TOP OF PIPE ELEVATIONS FOR ALL PROPOSED UTILITIES. 18.4. AS-BUILT AND/OR RECORD DRAWING INFORMATION SHALL BE SHOWN ON THE APPROVED ENGINEERING PLANS ISSUED FOR CONSTRUCTION. ANY AND ALL DEVIATIONS FROM THESE APPROVED PLANS SHALL BE SHOWN BY MEANS OF STRIKING THROUGH THE PROPOSED INFORMATION AND CLEARLY INDICATING THE AS-BUILT LOCATIONS AND ELEVATIONS ON THE APPLICABLE PLAN SHEET. 	<p>1. ALL SITE WORK, GRADING, AND PAVING OPERATIONS WITHIN THE LIMITS OF THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION ("STANDARD SPECIFICATIONS"). ANY SPECIAL PROVISIONS, THE NOTES IN THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.</p> <p>2. EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF EMBANKMENTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMMING TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE "STANDARD SPECIFICATIONS." ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE IN THE FIELD.</p> <p>3. EXCAVATED TOPSOIL SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE PROJECT ENGINEER UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING UNLESS OTHERWISE NOTED ON THE PLANS. A MINIMUM OF 6" TOPSOIL RE-SPREAD AND SEEDING FOR ALL DISTURBED AREAS IS REQUIRED.</p> <p>4. THE SOILS INVESTIGATION REPORT FOR THE SITE AND ALL APPENDIX THERE TO ARE SUPPORTING DOCUMENTS FOR THIS PROJECT. THE RECOMMENDATIONS AS STATED IN SAID REPORT ARE HEREBY INCORPORATED INTO THESE CONSTRUCTION NOTES BY REFERENCE AND SHALL BE FOLLOWED BY ALL CONTRACTORS. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADDS. BY A SOILS ENGINEER OR HIS REPRESENTATIVE. FURTHER CONSTRUCTION OPERATIONS WILL NOT BE PERMITTED UNTIL THE SOILS ENGINEER ISSUES A WRITTEN STATEMENT THAT THE AREA IN QUESTION HAS BEEN SATISFACTORILY PREPARED AND IS READY FOR CONSTRUCTION.</p> <p>5. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>6. THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE NOT NOTED TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.</p> <p>7. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING ITEMS WHICH ARE NOT INDICATED TO BE REMOVED. ANY DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.</p> <p>8. REMOVED DRIVEWAY PAVEMENT, SIDEWALK, CURBS, TREES AND STUMPS SHALL BE DISPOSED OF LEGALLY OFF-SITE AT LOCATIONS DETERMINED BY THE CONTRACTOR.</p> <p>9. ON AND OFF SITE PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, IF DAMAGED, SHALL BE REPAIRED PROMPTLY TO MEET STATE AND LOCAL STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.</p> <p>10. PROPOSED ELEVATIONS INDICATE FINISHED GRADE CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THE THICKNESS OF THE PROPOSED PAVING (ROADS, WALKS, DRIVE, ETC.) SECTION OR TOPSOIL AS INDICATED ON THE PLANS.</p> <p>11. CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.</p> <p>12. ALL PROPOSED GRADINGS, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.</p> <p>13. ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.</p> <p>14. ALL CONCRETE Poured SHALL BE:</p> <ol style="list-style-type: none"> 14.1. MINIMUM COMPRESSIVE STRENGTH: 14.1.1. 3500 P.S.I. AT 14 DAYS 14.1.2. 4500 P.S.I. AT 28 DAYS (PER A.C.I.) 14.2. MAX WATER-CEMENTITIOUS MATERIALS RATIO: 0.44 (AIR-ENTRAINED) 14.3. AIR CONTENT: 6%, +/- 15% AT POINT OF DELIVERY FOR EXPOSED CONCRETE <p>15. WHEN FIBER MESH REINFORCEMENT IS SPECIFIED, IT SHALL CONSIST OF FIBRILLATED POLYESTER FIBERS ENGINEERED AND DESIGNED FOR USE IN CONCRETE PAVEMENT, COMPLYING WITH ASTM C 1116, TYPE III, & TO 3 INCHES LONG. FIBERS SHALL BE UNIFORMLY DISPERSED IN THE CONCRETE MIXTURE AT THE MANUFACTURER'S RECOMMENDED RATE, BUT NOT LESS THAN 15 LBS / CU. YD.</p> <p>16. THE GRADING AND CONSTRUCTION OF THE PROPOSED PAVEMENT IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE AND MATCH EXISTING GRADES FLUSH.</p> <p>17. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.</p> <p>18. DRIVEWAYS SHALL BE CONSTRUCTED SO AS NOT TO IMPEDE THE SURFACE DRAINAGE SYSTEM.</p> <p>19. TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SHALL BE INSTALLED AND PROVIDED WHENEVER CONSTRUCTION FOR UTILITIES ARE WITHIN STREET AREAS. APPLICABLE ORDINANCES OF THE MUNICIPALITY, COUNTY OR STATE SHALL ALSO GOVERN THE TRAFFIC CONTROL REQUIREMENTS.</p> <p>20. EXISTING PAVEMENT AGGREGATE BASE COURSE SHALL NOT BE RE-USED AS AGGREGATE BASE COURSE FOR THE NEW PAVEMENT SECTION.</p>	<p>SANITARY SEWERS</p> <p>1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "NEW YORK STANDARD SEWER AND WATER MAIN SPECIFICATIONS," LATEST EDITION ("STANDARD SPECIFICATIONS"). ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS, AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.</p> <p>2. ALL SANITARY SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS."</p> <p>3. ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 PIPE PER ASTM D-3034 WITH WATER TIGHT JOINTS CONFORMING TO ASTM D-3312, UNLESS OTHERWISE NOTED.</p> <p>3.1. WHERE SANITARY SEWER PIPE IS NOTED AS PVC G-100, THE PIPE SHALL BE IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) (AWWA) C-900 WITH WATER TIGHT, PRESSURE RATED JOINTS CONFORMING TO ASTM D-3314.</p> <p>4. SANITARY SEWER CONSTRUCTION SHALL COMMENCE AT THE EXISTING MANHOLE(S) AND/OR CONNECTION POINT(S) INDICATED ON THE PLANS.</p> <p>4.1. A WATER TIGHT PLUG SHALL BE INSTALLED AND LEFT IN PLACE AT THE POINT OF COMMENCEMENT UNTIL THE REMAINDER OF THE PROPOSED SEWERS HAVE BEEN CONSTRUCTED, PROPERLY TESTED AND DEEMED READY FOR FINAL ACCEPTANCE.</p> <p>5. ALL SANITARY SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATIONS."</p> <p>5.1. ALL SANITARY SEWERS MUST BE PLACED ON PROPERLY COMPACTED BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING NYSDOT SPECIFICATIONS.</p> <p>5.2. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1557, OVER ALL SANITARY SEWERS WHICH ARE CONSTRUCTED UNDER OR WITHIN TWO (2) FEET OF ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.</p> <p>6. THE CONTRACTOR IS REQUIRED TO RECORD THE LOCATION OF ALL EXISTING AND PROPOSED SANITARY SEWERS. THE INFORMATION TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL LOCATE ALL SEWERS BY MEASUREMENTS TO LOT CORNERS OR OTHER PERMANENT SITE FEATURE AND SHALL FURNISH A COPY OF SUCH LOCATION TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE UPON PROJECT COMPLETION. THIS INFORMATION SHALL ALSO INCLUDE THE DEPTH OF EACH SEWER. IF THE CONTRACTOR FAILS TO PROPERLY LOCATE ANY SEWER, HE SHALL BE RESPONSIBLE FOR ALL COSTS WHICH ARE INCURRED AS A RESULT OF THE IMPROPERLY LOCATED UTILITIES.</p> <p>7. ALL SANITARY SEWER MANHOLES SHALL BE PRECAST CONCRETE AND SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF THE "STANDARD SPECIFICATIONS" AND THE DETAILS IN THE PLANS.</p> <p>7.1. A FLEXIBLE TYPE JOINT SHALL BE FURNISHED AT POINTS OF ENTRY INTO AND EXITING FROM MANHOLE STRUCTURES AND SHALL BE OF A DESIGN APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. THIS FLEXIBLE JOINT MAY CONSIST OF A SLEEVE OF HIGH QUALITY SYNTHETIC RUBBER WITH A SUBSTANTIAL SERRATED FLANGE WHICH IS CAST DIRECTLY INTO THE WALL OF THE MANHOLE BASE TO FORM A WATER TIGHT SEAL AND PROTRUDES OUTSIDE OF THE MANHOLE WALL TO CONNECT WITH THE PIPE ENTERING/EXITING THE MANHOLE. WHEN THIS TYPE OF FLEXIBLE JOINT IS USED, THE SLEEVE SHALL SLIP OVER THE END OF THE PIPE ADJACENT TO THE MANHOLE BASE AND SHALL BE SECURED BY MEANS OF A STAINLESS STEEL STRAP CLAMP EQUIPPED WITH A DRAIN BOLT AND NUT.</p> <p>8. ALL REQUIRED MANHOLE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED, BUTYROPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.</p> <p>9. AFTER FINAL ADJUSTMENTS HAVE BEEN MADE, ALL JOINTS IN PRECAST STRUCTURES SHALL BE MORTARED. THE MORTAR SHALL BE COMPOSED OF ONE (1) PART CEMENT TO THREE (3) PARTS SAND, BY VOLUME, BASED ON DRY MATERIALS, AND SHALL BE THOROUGHLY WETTED BEFORE LAYING.</p> <p>10. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING NYE, TEE, OR MANHOLE, THE FOLLOWING METHOD SHALL BE USED:</p> <p>10.1. CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB-NYE SADDLE OR HUB-TEE SADDLE.</p> <p>11. ALL FLOOR DRAINS SHALL BE CONNECTED TO THE SANITARY SEWER. ALL FOOTING DRAINS AND DOWNGUTS SHALL DISCHARGE ONTO THE GROUND OR INTO THE STORM SEWER SYSTEM AS INDICATED ON THE DRAWINGS.</p> <p>12. UPON COMPLETION OF THE SANITARY SEWER CONSTRUCTION, INCLUDING THE SERVICE LINES, ALL SEWERS SHALL BE TESTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS" AND WITNESSED BY THE LOCAL GOVERNING AUTHORITY OR AUTHORIZED REPRESENTATIVE.</p>	<p>WATER MAINS</p> <p>1. ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "NEW YORK STANDARD SEWER AND WATER MAIN SPECIFICATIONS," LATEST EDITION ("STANDARD SPECIFICATIONS"). ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS, AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.</p> <p>2. ALL WATER MAIN PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS."</p> <p>3. ALL WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52 IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS C-151, C-111 AND C-104, UNLESS OTHERWISE NOTED.</p> <p>4. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WATER MAIN PIPE SHALL BE LAID WITH A MINIMUM COVER OF 3'-1/2 FEET FROM THE PROPOSED FINISH GRADE INDICATED ON THE PLANS OR TO THE SPECIFIC TOP OF PIPE ELEVATION INDICATED ON THE PLANS FOR THE WATER MAIN. NO BERMS ARE ALLOWED OVER WATER MAINS EXCLUSIVELY FOR THE PURPOSE OF OBTAINING ADEQUATE GROUND COVER.</p> <p>5. ALL DUCTILE IRON WATER MAIN PIPE SHALL BE CONSTRUCTED WITH A MINIMUM OF 8-MIL POLYETHYLENE ENCASEMENT TO PREVENT CORROSION.</p> <p>6. ALL WATER MAIN TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATIONS."</p> <p>6.1. ALL WATER MAINS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING NYSDOT SPECIFICATIONS.</p> <p>6.2. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1557, OVER ALL WATER MAINS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.</p> <p>7. A WATER TIGHT PLUG SHALL BE PLACED IN THE END OF THE WATER MAIN PIPE AT THE END OF EACH CONSTRUCTION DAY.</p> <p>8. UPON COMPLETION OF THE WATERMAIN CONSTRUCTION, ALL WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS:</p> <p>8.1. HYDROSTATIC PRESSURE AND LEAKAGE TESTS IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS" AND WITNESSED BY THE LOCAL GOVERNING AUTHORITY.</p> <p>8.2. DISINFECTION IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS" AND THE METHODS STATED IN AWWA STANDARD C651 AND WITNESSED BY THE LOCAL GOVERNING AUTHORITY.</p>	<p>STORM SEWERS</p> <p>1. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "NEW YORK STANDARD SEWER AND WATER MAIN SPECIFICATIONS," LATEST EDITION ("STANDARD SPECIFICATIONS"). ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS, AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.</p> <p>2. ALL STORM SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS" AND THE "NYSDOT STANDARD SPECIFICATIONS."</p> <p>3. ALL PRECAST CONCRETE STRUCTURES SHALL BE REINFORCED AND DESIGNED FOR HS-20 LOADING UNLESS OTHERWISE NOTED.</p> <p>4. ALL RCP STORM SEWER PIPE 12" IN DIAMETER AND LARGER SHALL BE REINFORCED CONCRETE PIPE, CLASS IV, PER ASTM C-76 WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C-443 AND THE "STANDARD SPECIFICATIONS." ALL 10" DIAMETER RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS V.</p> <p>5. ALL HDPE STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE PER ASTM F-2306 WITH WATER TIGHT JOINTS CONFORMING TO ASTM D-3312.</p> <p>6. ALL PVC STORM SEWER PIPE SHALL BE POLYVINYL CHLORIDE SDR 26 PIPE PER ASTM D-3034 WITH WATER TIGHT JOINTS CONFORMING TO ASTM D-3312, UNLESS OTHERWISE NOTED.</p> <p>7. ALL STORM SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE "STANDARD SPECIFICATIONS."</p> <p>7.1. ALL STORM SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE, "STANDARD SPECIFICATIONS" AND WITNESSED BY THE LOCAL GOVERNING AUTHORITY.</p> <p>7.2. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1557, OVER ALL STORM SEWERS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.</p> <p>8. ALL REQUIRED STORM STRUCTURE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED, BUTYROPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.</p> <p>9. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE OWNER AND/OR ENGINEER UPON COMPLETION OF THE PROJECT AND ACCURATELY SHOWN ON THE RECORD DRAWINGS.</p>
	<p>WATER SERVICES AND CONNECTIONS</p> <p>1. ALL WATER SERVICE PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE "NEW YORK STANDARD SEWER AND WATER MAIN SPECIFICATIONS."</p> <p>2. ALL WATER SERVICE LINES 2" IN DIAMETER OR SMALLER SHALL BE TYPE 'K' COPPER TUBING CONFORMING TO ASTM B-88-58. NO COUPLINGS SHALL BE PERMITTED BETWEEN THE CORPORATION AND CURB STOPS OR BETWEEN THE CURB STOP AND THE BUILDING.</p> <p>3. ALL WATER SERVICE FITTINGS INCLUDING CORPORATION STOPS, SERVICE BOXES AND BUFFALO BOXES SHALL BE AS MANUFACTURED BY THE MUELLER COMPANY OR APPROVED EQUAL.</p> <p>4. SERVICE BOXES SHALL BE OF SUFFICIENT LENGTH TO PERMIT THE TOP TO BE INSTALLED FLUSH WITH THE FINISHED GRADE. EACH SERVICE BOX SHALL BE PROVIDED WITH A CAP WITH THE WORD "WATER" CAST IN THE TOP.</p> <p>5. ALL VALVES, VALVE BOXES OR VAULTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF DIVISION IV, SECTION 44 OF THE "STANDARD SPECIFICATIONS."</p> <p>6. VALVES SHALL BE AMERICAN FLOW CONTROL SERIES 2500 DUCTILE IRON RESILIENT SEAT EPOXY COATED WEDGE VALVES OR APPROVED EQUAL.</p> <p>7. ALL PRESSURE CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 46 OF THE "STANDARD SPECIFICATIONS" AND SHALL INCLUDE THE INSTALLATION OF A FULL STAINLESS STEEL TAPPING SADDLE.</p> <p>8. ALL VALVES SHALL BE INSTALLED IN VALVE VAULTS HAVING A MINIMUM DIAMETER OF FIVE (5) FEET BELOW THE PRECAST CONCRETE CONE SECTION. THE VAULTS SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS AND SHALL CONFORM TO THE DETAILS SPECIFIED ON THE PLANS. ALL VALVE VAULTS SHALL BE LEAK PROOF.</p> <p>9. ALL TEMPORARY CONNECTIONS FOR CONSTRUCTION PURPOSES TO NEWLY INSTALLED OR EXISTING WATER MAINS SHALL BE MADE AND METERED IN ACCORDANCE WITH LOCAL REQUIREMENTS.</p> <p>10. ALL REQUIRED RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYROPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.</p>	<p>WATER MAINS AND SEWERS HORIZONTAL SEPARATION REQUIREMENTS</p> <p>1. WATER MAINS SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER, OR SEWER SERVICE CONNECTION.</p> <p>2. WATER MAINS MAY BE LOCATED CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN:</p> <ol style="list-style-type: none"> 2.1. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET; AND 2.2. THE WATER MAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE SEWER, AND 2.3. THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER. <p>3. WHEN IT IS IMPOSSIBLE TO MEET 1) OR 2) ABOVE, BOTH THE WATER MAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, ASBESTOS-CEMENT PRESSURE PIPE, PRE-STRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED FOR THE MAXIMUM EXPECTED SURCHARGE HEAD PRIOR TO BACKFILLING.</p>	<p>WATER MAINS AND SEWERS VERTICAL SEPARATION REQUIREMENTS</p> <p>1. WATER MAINS SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS A MINIMUM OF EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS, OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THE ENTIRE LENGTH OF THE CROSSING. THE WATER MAIN SHALL BE HORIZONTAL ON THE SEWER OR DRAIN CROSSING. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.</p> <p>2. BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, ASBESTOS-CEMENT PRESSURE PIPE, PRE-STRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION WHEN:</p> <ol style="list-style-type: none"> 2.1. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN 1 ABOVE; OR 2.2. THE WATER MAIN PASSES UNDER A SEWER OR DRAIN <p>3. A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER. THE SEWER OR DRAIN LINES SHALL BE SUPPORTED UNTIL THE END OF THE CROSSING. THE WATER MAIN, AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.</p> <p>4. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET.</p>	<p>WATER SERVICES AND CONNECTIONS</p> <p>1. ALL WATER SERVICE PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE "NEW YORK STANDARD SEWER AND WATER MAIN SPECIFICATIONS."</p> <p>2. ALL WATER SERVICE LINES 2" IN DIAMETER OR SMALLER SHALL BE TYPE 'K' COPPER TUBING CONFORMING TO ASTM B-88-58. NO COUPLINGS SHALL BE PERMITTED BETWEEN THE CORPORATION AND CURB STOPS OR BETWEEN THE CURB STOP AND THE BUILDING.</p> <p>3. ALL WATER SERVICE FITTINGS INCLUDING CORPORATION STOPS, SERVICE BOXES AND BUFFALO BOXES SHALL BE AS MANUFACTURED BY THE MUELLER COMPANY OR APPROVED EQUAL.</p> <p>4. SERVICE BOXES SHALL BE OF SUFFICIENT LENGTH TO PERMIT THE TOP TO BE INSTALLED FLUSH WITH THE FINISHED GRADE. EACH SERVICE BOX SHALL BE PROVIDED WITH A CAP WITH THE WORD "WATER" CAST IN THE TOP.</p> <p>5. ALL VALVES, VALVE BOXES OR VAULTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF DIVISION IV, SECTION 44 OF THE "STANDARD SPECIFICATIONS."</p> <p>6. VALVES SHALL BE AMERICAN FLOW CONTROL SERIES 2500 DUCTILE IRON RESILIENT SEAT EPOXY COATED WEDGE VALVES OR APPROVED EQUAL.</p> <p>7. ALL PRESSURE CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 46 OF THE "STANDARD SPECIFICATIONS" AND SHALL INCLUDE THE INSTALLATION OF A FULL STAINLESS STEEL TAPPING SADDLE.</p> <p>8. ALL VALVES SHALL BE INSTALLED IN VALVE VAULTS HAVING A MINIMUM DIAMETER OF FIVE (5) FEET BELOW THE PRECAST CONCRETE CONE SECTION. THE VAULTS SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS AND SHALL CONFORM TO THE DETAILS SPECIFIED ON THE PLANS. ALL VALVE VAULTS SHALL BE LEAK PROOF.</p> <p>9. ALL TEMPORARY CONNECTIONS FOR CONSTRUCTION PURPOSES TO NEWLY INSTALLED OR EXISTING WATER MAINS SHALL BE MADE AND METERED IN ACCORDANCE WITH LOCAL REQUIREMENTS.</p> <p>10. ALL REQUIRED RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYROPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.</p>
		<p>SANITARY SEWER GENERAL NOTES:</p> <p>MATERIALS - PIPE:</p> <ol style="list-style-type: none"> 1) ASTM D3034 PVC ORNITHY SEWER MAIN PIPE - GASKET JOINTS - SDR35 STANDARD <p>MATERIALS - JOINTS/FITTINGS:</p> <ol style="list-style-type: none"> 1) ASTM F1328 GASKETED PVC SEWER FITTINGS 2) AMERICAN MADE DUCTILE IRON FITTINGS W/ CEMENT LINING & RESTRANTS <p>NOTES:</p> <ol style="list-style-type: none"> 1) CONTRACTOR RESPONSIBLE FOR VERIFYING, BEFORE CONSTRUCTION, THAT THE LATEST STANDARD DETAILS ARE BEING USED AS REFERRED TO THROUGHOUT THE CONSTRUCTION NOTES. 2) ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH NYSDOT, LOCAL, OSHA, NYSDOT, OSHA, AND TOWN/VILLAGE REQUIREMENTS. 3) ALL EXISTING UTILITY LINES AND SERVICE LATERALS NEAR OR CROSSING THE NEW SEWER MAIN SHALL BE PROTECTED AND SUPPORTED AS NECESSARY. 4) HIGHWAY DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE PERIOD OF CONSTRUCTION. THE ROADS SHALL BE KEPT CLEAN OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR RESPONSIBLE FOR ANY DAMAGE TO HIGHWAYS. 5) SAFE AND CONTINUOUS THROUGH TRAFFIC AND INGRESS AND EGRESS FOR ADJACENT OWNERS DRIVEWAYS, SERVICE ROADS, AND PUBLIC STREETS SHALL BE MAINTAINED THROUGHOUT THE PERIOD OF CONSTRUCTION. 6) THE OWNER WILL OBTAIN ALL NECESSARY EASEMENTS OR PERMITS. 7) THE CONTRACTOR SHALL LOCATE, FLAG AND PRESERVE SURVEY MONUMENTS AND PROPERTY OWNER MARKERS. THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR RE-ESTABLISH ANY PROPERTY CORNERS OR SURVEY MONUMENTS DISTURBED DURING CONSTRUCTION. 8) MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPE AT THE POINT OF CROSSING. MINIMUM HORIZONTAL SEPARATION BETWEEN MANHOLES, WATER MAINS AND SEWERS (PRE-INCLUDING MANHOLE AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS. ONE FULL CIRCUMFERENCE LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER THE EXISTING STRUCTURE, SUPPORT CONTRACTORS SELECTED SHALL BE PROVIDED FOR THE EXCESSIVE DEPLETION OF THE JOINTS AND SETTING TO THE SEWER OR DRAIN. 9) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING PUBLIC AND PRIVATE ROADWAYS, PAVEMENT, AND UNDERGROUND UTILITIES, TREES, AND OTHER EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING CONSTRUCTION OPERATIONS. ALL SUCH DAMAGE SHALL BE REPAIRED OR REPLACED IN KIND BY THE CONTRACTOR. 10) HIGHWAY SUBGRADE SHALL BE PROTECTED USING SHEET PILES WHERE THE MANHOLES ARE LESS THAN 1' FROM THE ROAD SHOULDER. 11) ALL CONCRETE SIDEWALKS CROSSED BY THE SEWER MAIN INSTALLATION SHALL BE SAW CUT. 12) A CRITICAL RESPONSIBILITY OF THE CONTRACTOR: EROSION CONTROL DEVICES SHALL BE ESTABLISHED PRIOR TO COMMENCING WORK. 13) ALL EXISTING UTILITY LINES AND SERVICE LATERALS NEAR OR CROSSING THE NEW SEWER MAIN SHALL BE PROTECTED AND SUPPORTED AS NECESSARY. 14) UTILITY POLES SHALL BE SUPPORTED WHERE NECESSARY. 15) CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL TREES, FENCES AND OTHER OBSTACLES WITHIN THE RIGHT OF WAY AND EASEMENT, WHEN IN PROXIMITY OF TREES, DRILL UNDER TREES. 16) PROTECTION OF NEW OR EXISTING WORK SHEETING OR SHORING, IF REQUIRED DURING CONSTRUCTION, SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE PERIOD OF CONSTRUCTION. 17) WHEREVER MANHOLES, POSTS, FENCES, SHRUBBERY ETC. ARE IN CONFLICT WITH THE PROPOSED CONSTRUCTION, THEY SHALL BE REMOVED AND RESET AS NECESSARY. 18) CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF EXCAVATED MATERIAL FROM THE SITE. 19) THE CONTRACTOR SHALL CONFORM TO ALL CONDITIONS OF ANY APPLICABLE EASEMENTS. 20) THE CONTROL OF DUST ORIGINATING FROM THE CONSTRUCTION OPERATIONS IS CONSIDERED A CRITICAL RESPONSIBILITY OF THE CONTRACTOR. THE WATER SYSTEM OPERATOR WILL BE THE DESIGN OPERATOR WITH THE ADEQUACY OF THE CONTRACTOR'S DUST CONTROL EFFORTS, AND WORK MAY BE SUSPENDED BY THE TOWN UNTIL ADEQUATE DUST CONTROL IS ATTAINED. 21) THE CONTRACTOR SHALL PERFORM SEWER MAIN LEAKAGE TESTING IN ACCORDANCE WITH ASTM STANDARD F1417-08 AND UPRR-UNR-B-0-26. 22) THE CONTRACTOR SHALL PERFORM MANHOLE LEAKAGE TESTING IN ACCORDANCE WITH ASTM STANDARD D1244-11. 		
				<p>DATE: 8-15-23, 9-14-23, 4-12-24</p> <p>REVISIONS: TO TOWN OF ELLICOTTVILLE, TO TOWN OF ELLICOTTVILLE, TO TOWN OF ELLICOTTVILLE</p> <p>NO. 1, 2, 3</p> <p>DATE: 8-15-23, 9-14-23, 4-12-24</p> <p>BY: JFG, JFG, JFG</p>



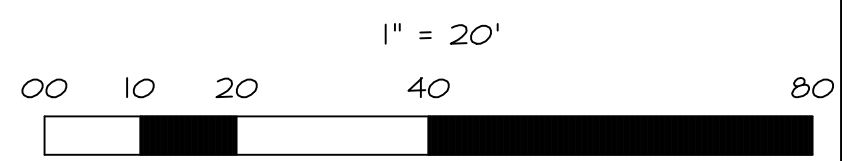
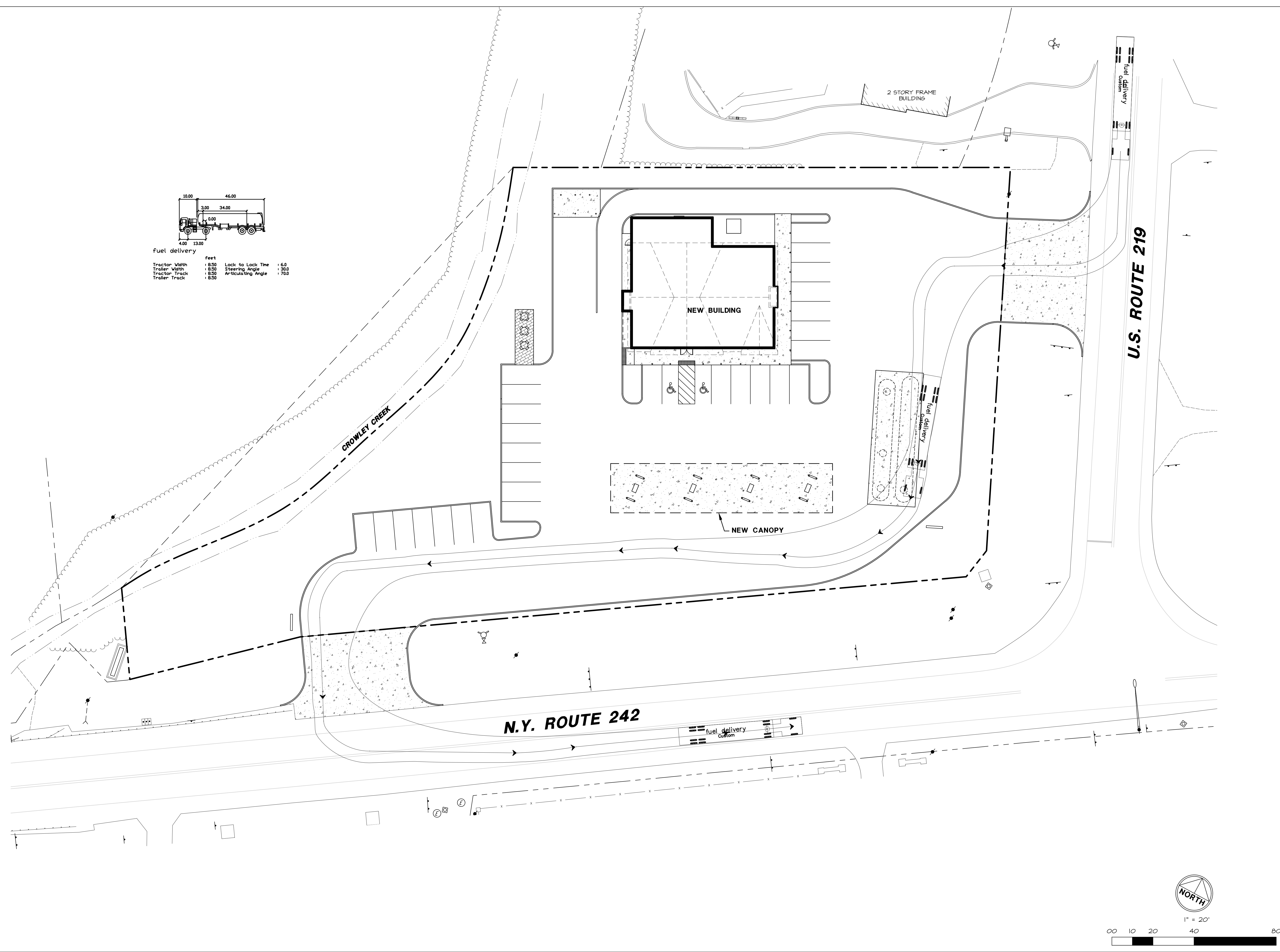
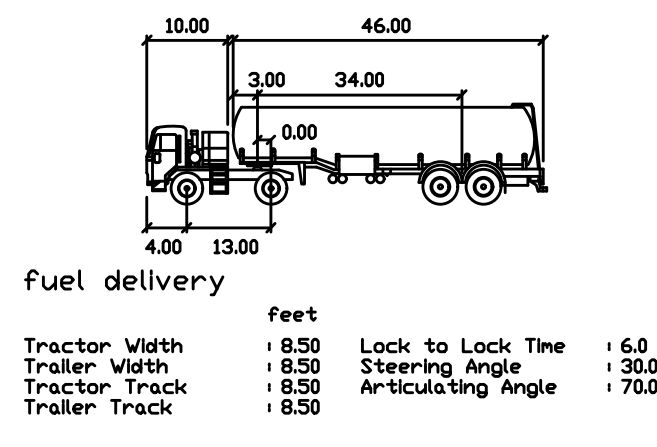
PROPOSED C-STORE

CROSBY

ROUTE 242 & US ROUTE 219
ELLICOTTVILLE, NY 14731

PH: 847-462-7278
EMAIL: RTRIPHANHDESIGN@GMAIL.COM

ORIGINATED:	7-18-2023
DRAWN:	VE
CHECK:	JPG
JOB:	D2300115
SHEET:	C-7.0 PROJECT SPECIFICATIONS



NO.	REVISIONS	DATE	BY
1	TO TOWN OF ELLICOTTVILLE	8-15-23	JFG
2	TO TOWN OF ELLICOTTVILLE	9-14-23	JFG
3	TO TOWN OF ELLICOTTVILLE	4-12-24	JFG

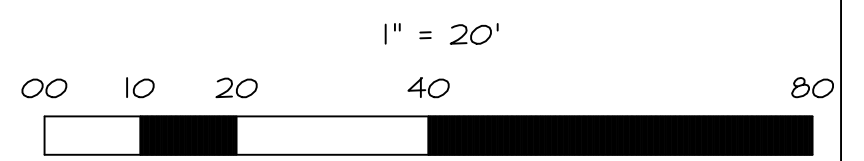
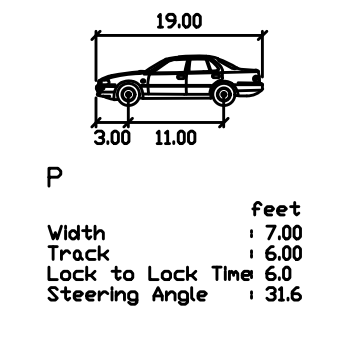
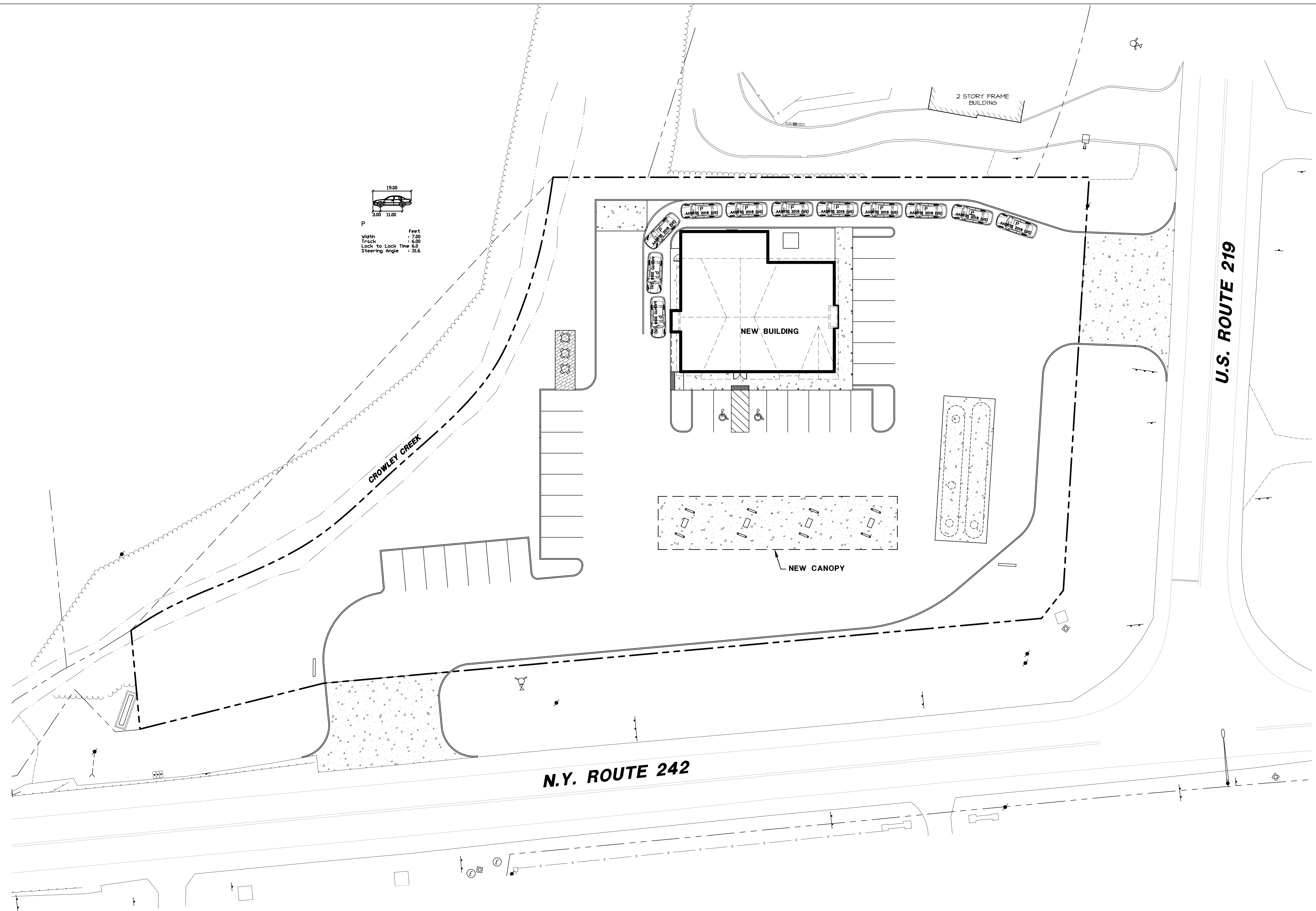
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 SHEET:

CIR-1.0
 SITE CIRCULATION PLAN



NO.	REVISIONS	DATE	BY
1	TO TOWN OF ELLICOTTVILLE	8-15-23	JFG
2	TO TOWN OF ELLICOTTVILLE	9-14-23	JFG
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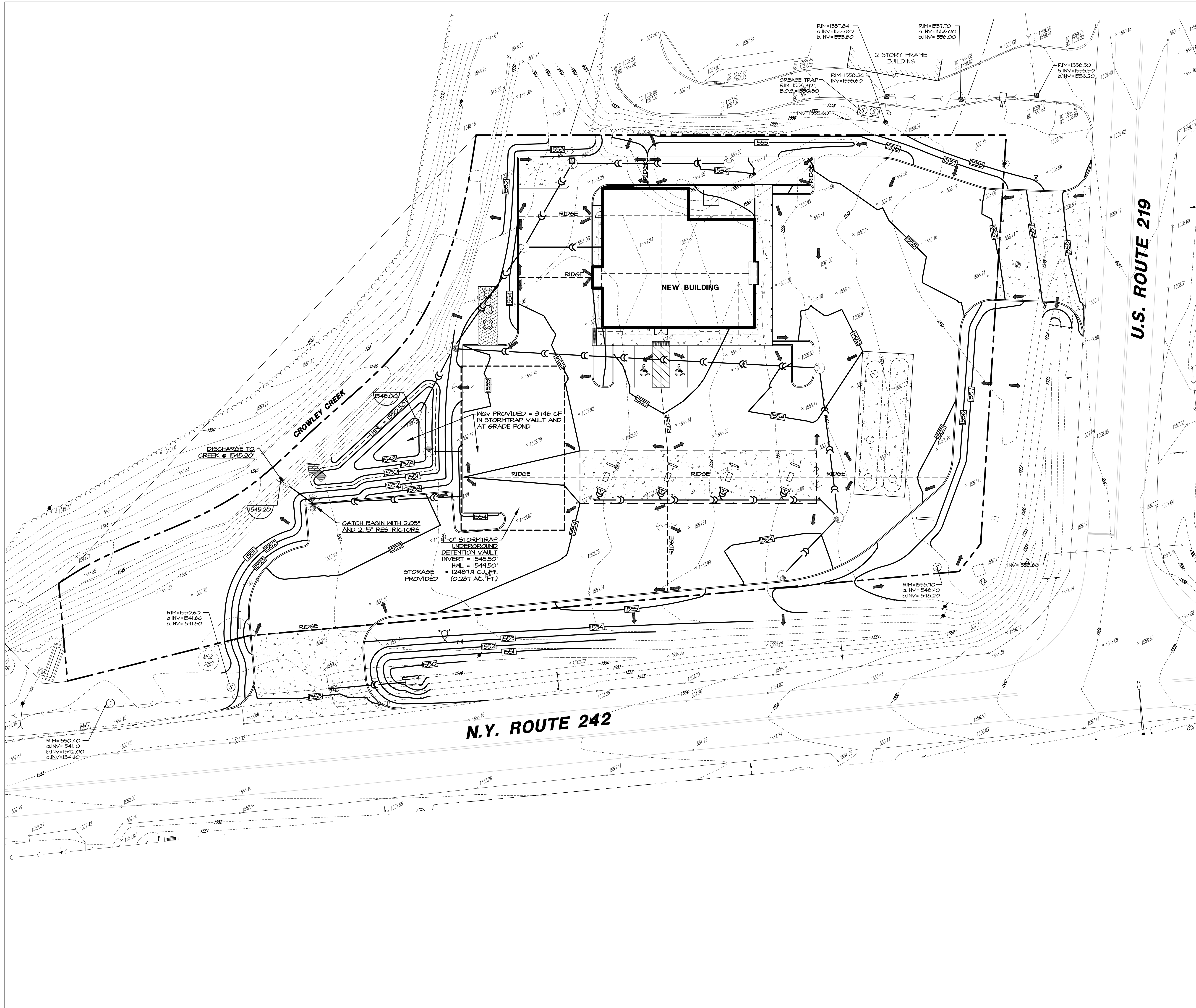
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PROPOSED C-STORE
 CROSBY
 ROUTE 242 & US ROUTE 219
 ELLICOTTVILLE, NY 14731



ORIGINATED: 7-18-2023
 DRAWN: VE
 CHECK: JFG
 JOB: D2300115
 SHEET:

CIR-2.0
 CAR QUEUE EXHIBIT



REQUIRED STORMWATER MANAGEMENT CALCULATIONS

WATER QUALITY VOLUME (WQV)
 $WQV = (P \cdot R_v \cdot A) / 12$
 $P = 90\% \text{ RAINFALL EVENT NUMBER (FIG. 4.I)} = 1.0$
 $R_v = 0.05 + 0.009(1) = 0.05 + 0.009(1.0) = 0.671$
 $I = \text{IMPERVIOUS COVER PERCENTAGE} = 10\% (46,225 \text{ SF})$
 $A = \text{CONTRIBUTING AREA (66,035 SF OR 1.516 ACRES)}$
 $WQV = (1.0 \cdot 0.671 \cdot 1.516) / 12 = 0.086 \text{ AC-FT (3,146 CF)}$
 $WQV \text{ PROVIDED} = 0.086 \text{ AC-FT (3,146 CF) IN STORMTRAP AND AT GRADE PONDS}$
 STREAM CHANNEL PROTECTION VOLUME (CPV) IS NOT REQUIRED AS THE 1-YEAR POST DEVELOPMENT DISCHARGE IS LESS THAN 2.0 CFS.

NO.	DATE	BY	REVISIONS
1	8-15-23	JFG	TO TOWN OF ELLICOTTVILLE
2	9-14-23	JFG	TO TOWN OF ELLICOTTVILLE
3	4-12-24	JFG	TO TOWN OF ELLICOTTVILLE

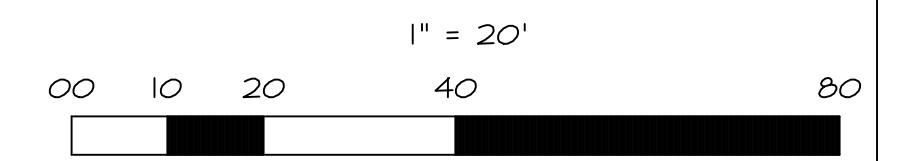
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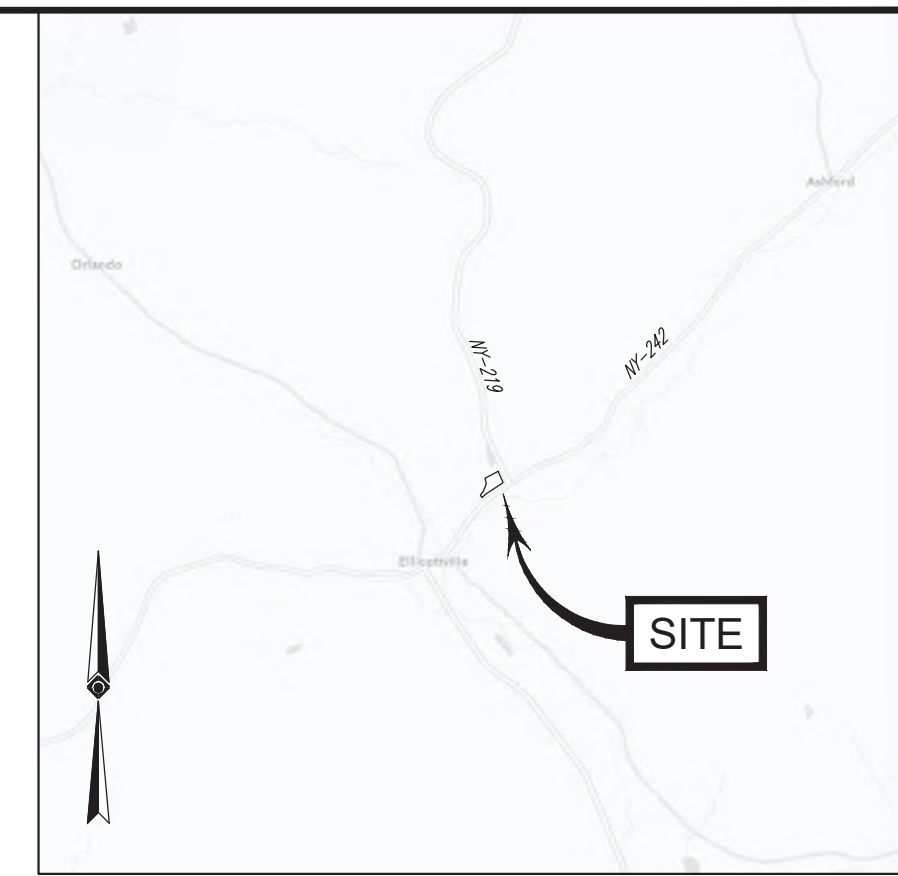
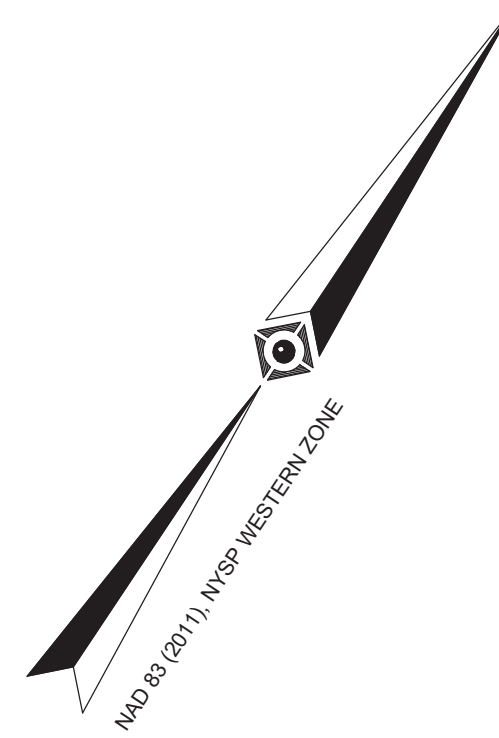
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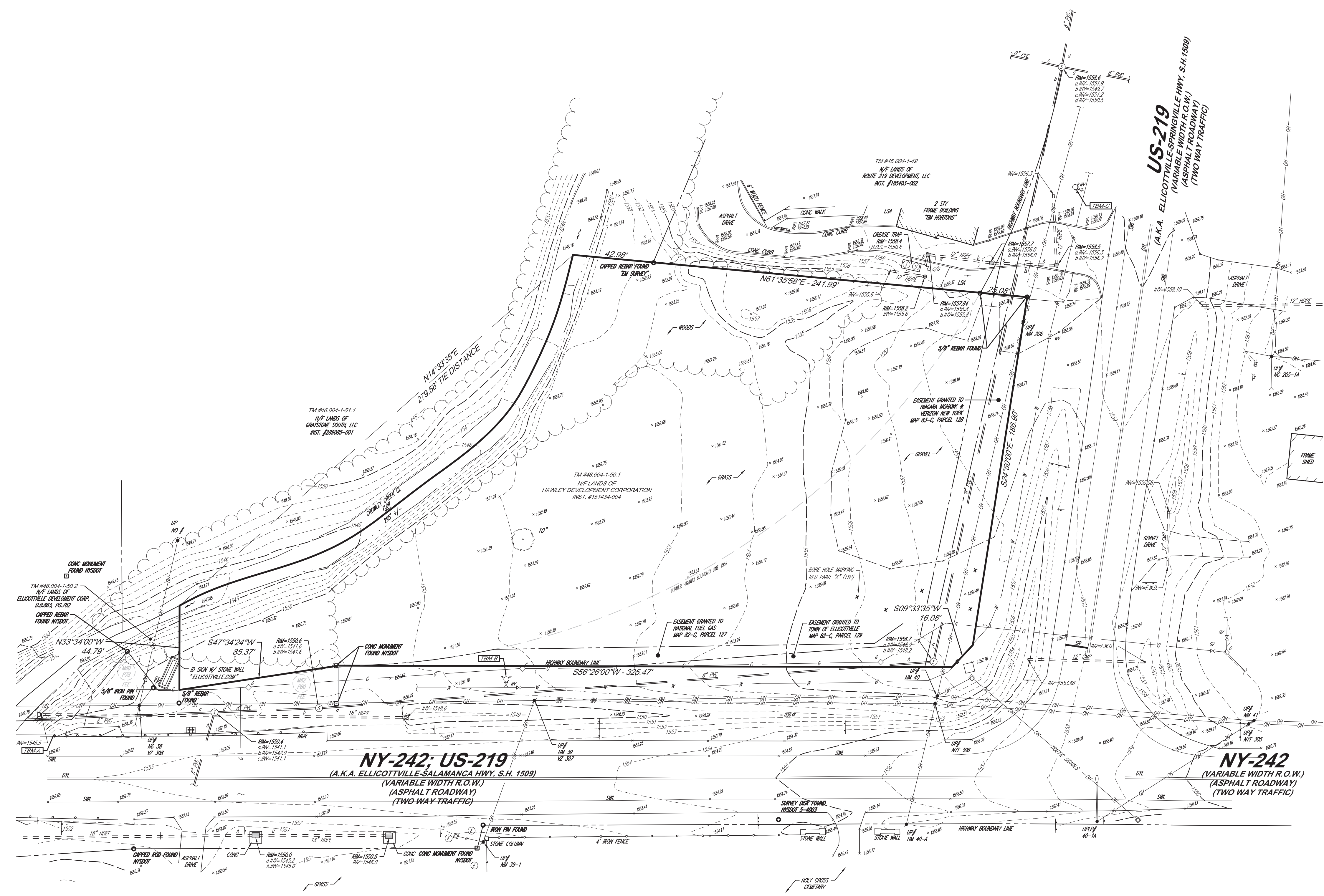
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 SHEET:

EX-4.0
 STORMWATER MANAGEMENT PLAN





VICINITY MAP
© 2022 ESRI WORLD LIGHT GRAY CANVAS
(NOT TO SCALE)



- NOTES:**
- PROPERTY KNOWN AS LOT 50.1, BLOCK 1, SECTION 46.004, TOWN OF ELLICOTTVILLE, CATTARAUGUS COUNTY, STATE OF NEW YORK.
 - AREA = 60.035 SQUARE FEET OR 1.516 ACRES ±
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGAIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY THE CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS STRONGLY RECOMMENDED THAT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO THE PLACEMENT OF OR ALTERATION TO IMPROVEMENTS ON THE PROPERTY.
 - EXISTING FIRM: BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X SHADED (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.) PER MAP REF #2.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS TAKEN AT THE TIME OF THE SURVEY.
TEMPORARY BENCH MARKS SET:
TBM-A: BOX-CUT SET IN NE CORNER OF THE BRIDGE DECK, ELEVATION= 1552.97'
TBM-B: X-CUT SET IN NW BONNET-BOLT OF A HYDRANT, ELEVATION= 1553.30'
TBM-C: X-CUT SET IN EAST BONNET-BOLT OF A HYDRANT, ELEVATION= 1560.63'
 - PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
 - THE OFFSETS SHOWN, IF ANY, ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

- REFERENCES:**
- THE OFFICIAL TAX ASSESSOR'S MAP OF THE TOWN OF ELLICOTTVILLE, CATTARAUGUS COUNTY, STATE OF NEW YORK, SECTION 46.004.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, CATTARAUGUS COUNTY, NEW YORK, (ALL JURISDICTIONS), PANEL 32 OF 40", MAP NUMBER 360069 0032 D, EFFECTIVE DATE: JANUARY 18, 2000
 - MAP ENTITLED "BOUNDARY SURVEY" PREPARED BY TVGA CONSULTANTS, DATED 8/1/2011, FILED IN THE CATTARAUGUS COUNTY CLERK'S OFFICE (CCCO) AS MAP #60416.
 - MAP ENTITLED "MAP AND SURVEY FOR 6346 ROUTE 242 EAST", PREPARED BY D. MICHAEL CANADA, JOB NUMBER 5990, DATED 11/1/2004.
 - NEW YORK STATE DEPARTMENT OF TRANSPORTATION ACQUISITION MAP, SALAMANCA - ELLICOTTVILLE, PART 2, STATE HIGHWAY NO. 1509, TOWN OF ELLICOTTVILLE, COUNTY OF CATTARAUGUS, STATE OF NEW YORK:
MAP 60, PARCEL 77 & 78
MAP 62, PARCEL 80
MAP 38, PARCEL 50
MAP 10AB, PARCEL 10B
 - NEW YORK STATE DEPARTMENT OF TRANSPORTATION CONVEYANCE MAP, ELLICOTTVILLE - SPRINGVILLE, PART 1, STATE HIGHWAY NO. 51-8, TOWN OF ELLICOTTVILLE, COUNTY OF CATTARAUGUS, STATE OF NEW YORK:
MAP 82-C, PARCEL 127
MAP 83-C, PARCEL 128
MAP 84-C, PARCEL 129
MAP 85-C, PARCEL 130

LEGEND

	EXISTING CONTOUR		UTILITY POLE/LIGHT POLE
	EXISTING SPOT ELEVATION		TRAFFIC SIGNAL POST
	OVERHEAD WIRES		SIGN
	APPROX. LOC. UNDERGROUND ELECTRIC LINE		MAIL BOX
	APPROX. LOC. UNDERGROUND NATURAL GAS LINE		METAL GUIDE RAIL
	APPROX. LOC. UNDERGROUND WATER LINE		MENU BOARD
	APPROX. LOC. UNDERGROUND SANITARY LINE		AREA LIGHT
	APPROX. LOC. UNDERGROUND DRAINAGE LINE		GROUND FLOOD LIGHT
	UNDERGROUND NATURAL GAS MARKER		FLARED END SECTION
	HYDRANT		DECIDUOUS TREE & TRUNK SIZE
	WATER VALVE		BOTTOM OF STRUCTURE
	GAS VALVE		DOUBLE YELLOW LINE
	ELECTRIC MANHOLE		FILLED W/DEBRIS
	SANITARY/SEWER MANHOLE		LANDSCAPED AREA
	CATCH BASINS		STOP BAR
	CLEAN OUT		SOLID WHITE LINE
	GUY WIRE		SOLID YELLOW LINE
	UTILITY POLE		PAINT MARK/ BORING LOCATION
			EVIDENCE FOUND
			UNKNOWN TERMINUS

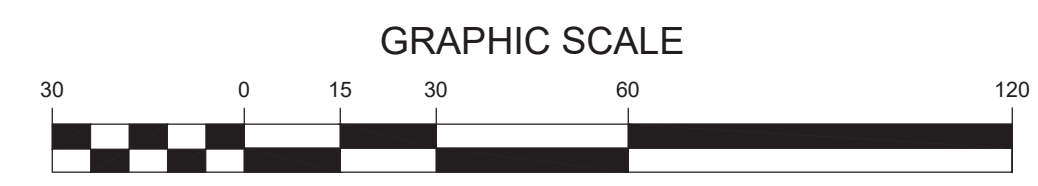
UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY NEW YORK DIG SAFELY (1-800-272-1000) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 06023-000-777-00

UTILITY COMPANY	PHONE NUMBER
CHARTER COM NORTHEAST WESTERN NY	317-575-7800 x2
NATIONAL FUEL GAS SALAMANCA - N2G125	716-857-7431
NATIONAL GRID WEST ELECTRIC	609-244-2062
NYS DOT BUFFALO REGION 5	716-847-3173
TOWN OF ELLICOTTVILLE	716-590-8920
VERIZON BUFFALO	315-937-2515
VILLAGE OF ELLICOTTVILLE	716-560-8920



THE STATE OF NEW YORK REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

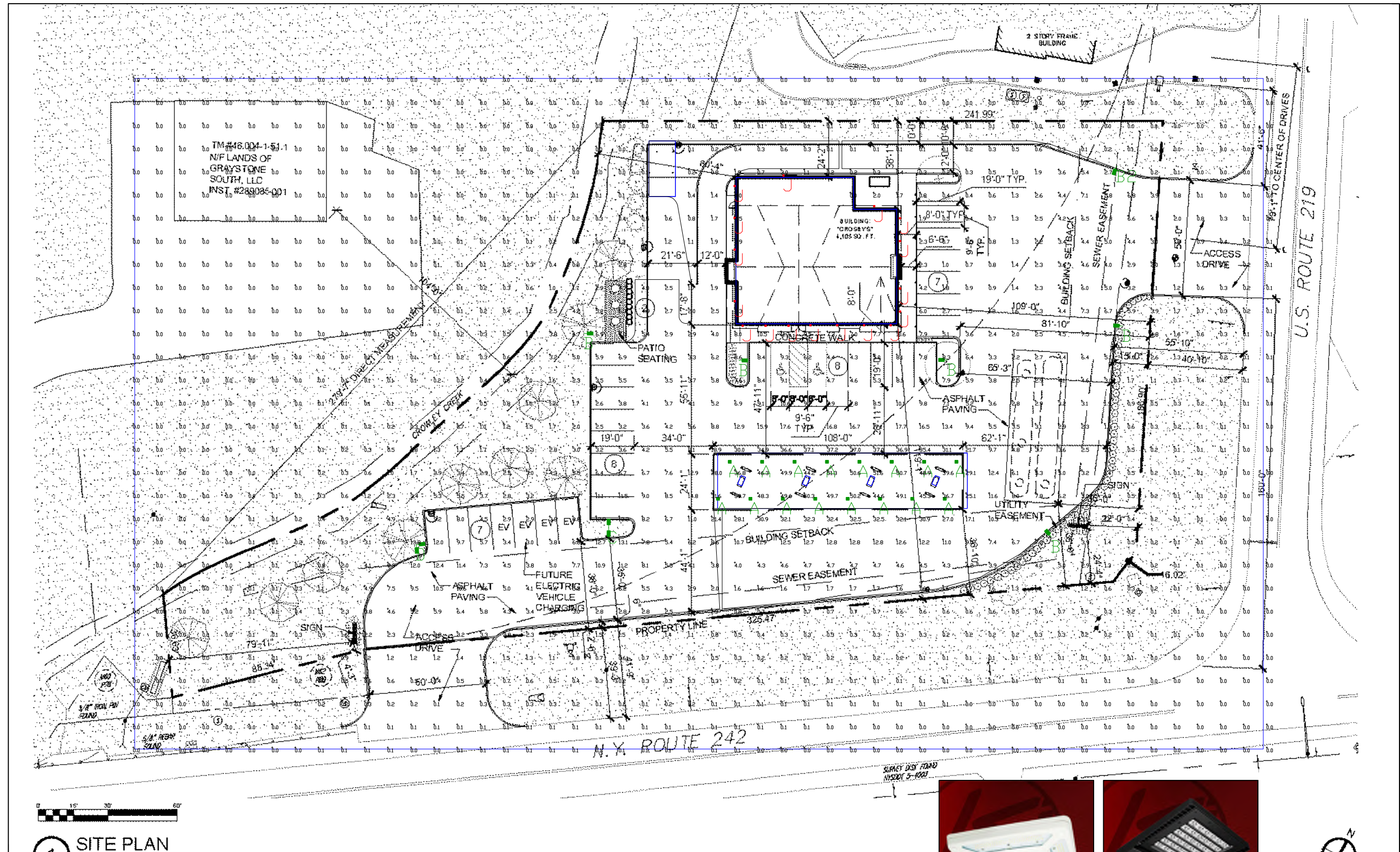


JODY J. LOUNSBURY
NEW YORK PROFESSIONAL LAND SURVEYOR #50715

JULY 06, 2023
DATE

FIELD DATE 06-09-2023	BOUNDARY & TOPOGRAPHIC SURVEY			
FIELD BOOK NO. 178	6599 US ROUTE 219			
FIELD BOOK PG. 52	TM# 46.004-1-50.1			
	TOWN OF ELLICOTTVILLE			
	CATTARAUGUS COUNTY, STATE OF NEW YORK			
FIELD CREW A.B. H.S.B.	CONTROL POINT ASSOCIATES INC PC			
DRAWN: H.S.B.	16 W. MAIN STREET, SUITE 804 ROCHESTER, NY 14614			
REVIEWED: M.L.M.	APPROVED: J.J.L.	DATE 07-06-2023	SCALE 1" = 30'	FILE NO. 09-230184-00
				DWG. NO. 1 OF 1

CONTROL POINT ASSOCIATES INC PC. ALL RIGHTS RESERVED. NO PART OF THIS SURVEY MAP OR ANY INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.



SITE PLAN

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CALCULATING POINTS @ GRADE	Illuminance	Fc	2.88	51.6	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	46.67	51.6	36.7	1.27	1.41
INSIDE CURB	Illuminance	Fc	7.03	37.2	0.1	70.30	372.00

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lum. Lumens	Arr. Watts
	16	A	Single	SCV-LED-15L-SC-50	16'	1.000	1.000	14963	102
	5	B	Single	SLM-LED-18L-SIL-FIT-50-70CRI-SINGLE	18'	1.000	1.000	18904	135
	1	B2	Single	SLM-LED-18L-SIL-4-50-IL-70CRI-SINGLE	18'	1.000	1.000	12011	135
	1	C	D180°	SLM-LED-18L-SIL-FIT-50-70CRI-D180	18'	1.000	1.000	37808	270
	1	D	2 @ 90 degrees	SLM-LED-18L-SIL-FIT-50-70CRI-D90	18'	1.000	1.000	37808	270
	17	J	Single	JFSQ 7IN 10LM 40K 90CRI MVQILT ZT WH	11' ACUITY	1.000	1.000	1153	12.9



Total Project Watts
Total Watts = 3201.298

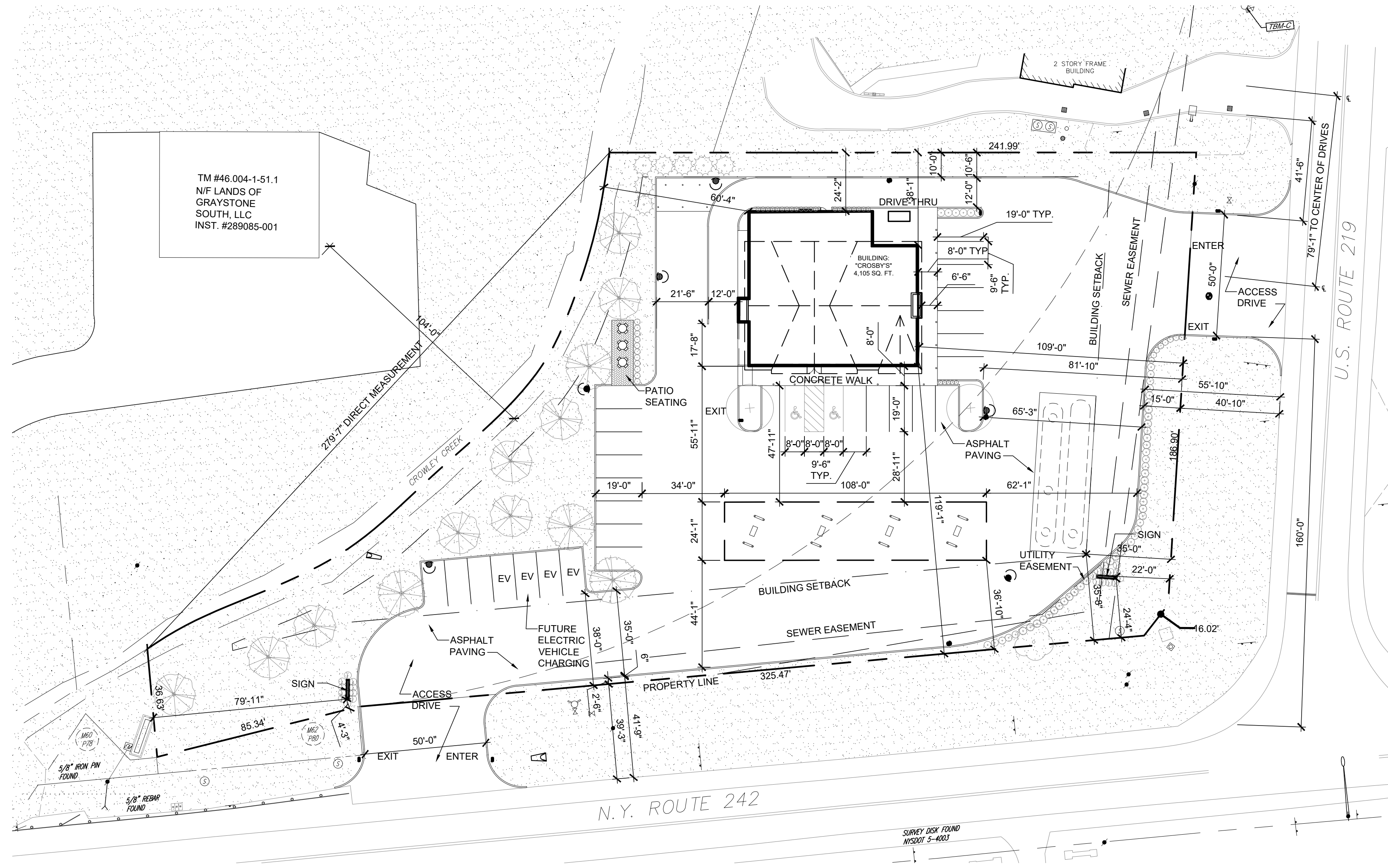
Lighting Proposal LD-158657-2

CROSBY

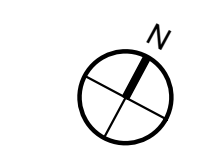
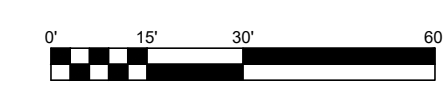
ELLICOTTVILLE

DATE: 8/16/23 REV: 4/9/24 SHEET 1 OF 1

SCALE: 1"=20'



1 SITE PLAN
SCALE: 1" = 30'-0"



ZONING INFORMATION			
SITE ZONING (SECTION 3.6 & SECTION 3.8)	MUNICIPALITY / JURISDICTION: TOWN OF ELLICOTTVILLE EXISTING ZONING: GC - GENERAL COMMERCIAL PROPOSED ZONING: GC - GENERAL COMMERCIAL WITH GAS/SPECIAL USE		
SITE AREA (SECTION 3.6.C)	LOT AREA:	ALLOWED 15,00 SF MIN. 80' MIN. LOT WIDTH	PROPOSED 66,056 SF +/-186'-90" SF
	BUILDING AREA: FAR RATIO:	N/A N/A	4,105 SF 0.06
	OPEN SPACE: ROW	30% OF LOT AREA	30% (55% INCLUDING ROW TURF AREA)
BUILDING HEIGHT (SECTION 3.9.C.1)	MAIN BUILDING: ACCESSORY CANOPY:	ALLOWED 35'-0" N/A	PROPOSED 27'-3 3/4" 20'-0"
BUILDING & ACCESSORY SETBACKS (SECTION 3.6D)	FRONT YARD (SE): FRONT YARD (NE): REAR YARD (SW): REAR YARD (NW):	REQUIRED 35'-0" 35'-0" 10'-0" 10'-0"	PROPOSED 35'-8" 35'-0" 60'-4" 24'-2"
LANDSCAPE SETBACKS (SECTION 3.6E (3))	FRONT YARD (SE):	REQUIRED 20'-0" MIN WIDTH	PROPOSED 2'-6" WIDTH (41'-9" INCLUDING ROW TURF AREA)
	FRONT YARD (NE):	20'-0" MIN WIDTH	15'-0" WIDTH (55'-10" INCLUDING ROW TURF AREA)
	REAR YARD (SW): REAR YARD (NW):	NA NA	NA NA
PARKING / STACKING (SECTION 5.3E & SECTION 5.5B)	PARKING STALLS	REQUIRED 3 STALL PER 1,000 SF OF FLOOR AREA + EMPLOYEE PARKING = 10 STALLS TOTAL	PROPOSED 32 STALLS (INCLUDING 2 ACCESSIBLE & 2 EMPLOYEE)
	STALL SIZE:	9'-6" X 18'-0"	9'-6" X 19'-0" MIN.

LEGEND	
PARCEL BOUNDARY LINE	---
BUILDING SETBACK LINE	- - - - -
CURB	=====
PARKING/LANE STRIPING	=====
EXISTING BUILDING	▭
NEW BUILDING	▭
LANDSCAPE AREAS	▨
	HANDICAP PARKING
	PARKING SPACE COUNT

NOTES
1. RAMP CURB AT PARKING SPOTS NEAR THE BUILDING
2. USE 4 1/2" BOLLARDS TYP.

NO.	REVISIONS	DATE	BY
1	ZONING	7/12/2023	MA
2	ZONING	8/1/2023	LR
3	ZONING	8/16/2023	LR
4	ZONING	10/2/2023	LR
5	ZONING	4/12/2024	PJ

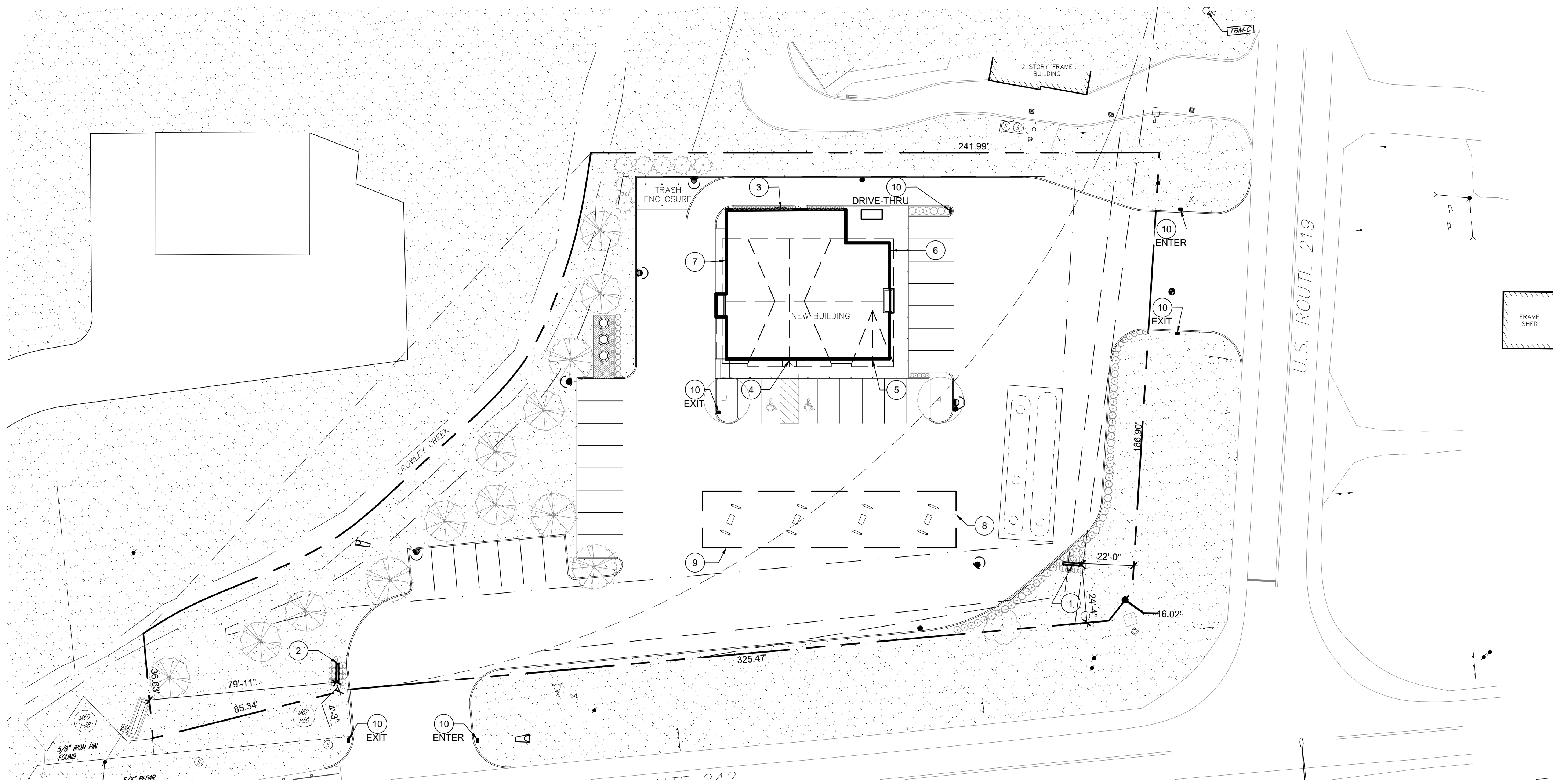
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 2675 PRATUM AVENUE SUITE 200
 HOFFMAN ESTATES, IL 60192
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PROPOSED C-STORE
 CROSBY
 N.Y. ROUTE 242 & U.S. ROUTE 219
 ELLICOTTVILLE, NY 14731

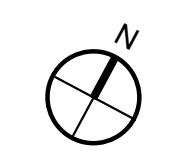
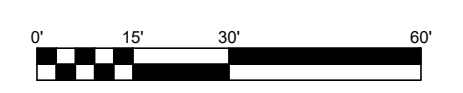


ORIGINATED: 10-2-2023
 DRAWN: PL, LR
 CHECK: MA
 JOB: D23000115
 SHEET:

A001
SITE PLAN



1 SIGNAGE PLAN
SCALE: 1" = 30'-0"



SIGNAGE INFORMATION

SIGN TYPE / QUANTITY (ARTICLE 12, SECTION 12.1)	TOTAL SIGNAGE: ALL SIGNS EACH SHALL NOT EXCEED 20'-0" TO TOP OF SIGN.		
	<p>WALL SIGNS: SIGNS SHALL NOT EXCEED 32 SF. VARIANT SIGNS SHALL NOT EXCEED 96 SF. SIGNS SHALL NOT CONTAIN MORE THAN 3 COLORS. STRUCTURE ON WHICH SIGNS ARE MOUNTED SHALL BE SET BACK AT LEAST 30'-0" FROM EDGE OF RIGHT-OF-WAY.</p> <p>GROUND SIGNS: SIGNS SHALL NOT EXCEED 32 SF. VARIANT SIGNS SHALL NOT EXCEED 96 SF. SIGNS SHALL NOT CONTAIN MORE THAN 3 COLORS. SIGNS SHALL BE SET BACK AT LEAST 30'-0" FROM EDGE OF RIGHT-OF-WAY.</p> <p>WINDOW SIGNS: SHALL NOT EXCEED 25% OF THE GLASS AREA.</p> <p>CANOPY SIGNS: SIGNS (BUSINESS NAME ONLY) SHALL BE PAINTED OR OTHERWISE PERMANENTLY PLACED IN A SPACE NOT EXCEEDING 8" IN HEIGHT ON THE FRONT AND SIDE PORTIONS THEREOF.</p>		
GROUND SIGN SIZE (NOT ADDRESSED. REFER TO ARTICLE 12, SECTION 12.1 I(2))	SETBACK:	ALLOWED 30'-0"	PROPOSED 22'-0" & 4'-3"
	SIGN AREA:	32 SF (96 SF WITH VARIANCE)	80 SF & 32 SF
DIRECTIONAL SIGN	SIGN HEIGHT:	20'-0" MAX	20'-0" & 8'-0"
	TOTAL SIGNS:	-	2
WALL SIGNS (ARTICLE 12, SECTION 12.1 I(2))	NORTH FRONTAGE:	N/A	N/A
	WEST FRONTAGE:	N/A	N/A
TOTAL SITE SIGNAGE	MAX WALL SIGN AREA:	32 SF PER SIGN (96 SF WITH VARIANCE)	SEE BELOW
	AREA ON FRONT:	32 SF	36.82 SF
	AREA ON LEFT SIDE:	32 SF	44.21 SF
	AREA ON BACK:	32 SF	44.21 SF
	AREA ON RIGHT SIDE:	32 SF	0 SF
	CANOPY FRONT:	32 SF	65 SF
	CANOPY RIGHT SIDE:	32 SF	65 SF
	TOTAL STORE WALL SIGNS:	-	6
	TOTAL AREA:	ALLOWED -	PROPOSED 380.02 SF
	TOTAL SIGNS:	-	9

SIGNAGE KEY

1	GROUND SIGN #1: BACK LIT CHANNEL LETTERS SIGN AND STATIC LED PRICES, 80 SF SIGN, SEE SIGNAGE ELEVATIONS
2	GROUND SIGN #2: SIGN ILLUMINATED FROM THE GROUND UP, 32 SF SIGN, SEE SIGNAGE ELEVATIONS
3	MENU BOARD SIGN: LINEAR WALL WASH LIGHTING ILLUMINATED, WALL MOUNTED, 48 SF
4	WALL SIGN #4: BACK LIT CHANNEL LETTERS, 36.82 SF, SEE SIGNAGE ELEVATIONS
5	WALL SIGN #5: BACK LIT CHANNEL LETTERS, 12.78 SF, SEE SIGNAGE ELEVATIONS
6	WALL SIGN #6: GOOSE NECK ILLUMINATED, 44.21 SF, SEE SIGNAGE ELEVATIONS
7	WALL SIGN #7: GOOSE NECK ILLUMINATED, 44.21 SF, SEE SIGNAGE ELEVATIONS
8	CANOPY SIGN: BACKLIT CHANNEL LETTERS "CROSBY'S" SIGN, 65 SF, SEE SIGNAGE ELEVATIONS
9	CANOPY SIGN: BACKLIT CHANNEL LETTERS "CROSBY'S" SIGN, 65 SF, SEE SIGNAGE ELEVATIONS
10	DIRECTIONAL SIGN (DRIVE THRU): 1.4 SF, SEE SIGNAGE ELEVATION ON SHEET 7/A003

DATE	BY	REVISIONS
7/12/2023	MA	ZONING
8/1/2023	LR	ZONING
8/16/2023	LR	ZONING
10/2/2023	LR	ZONING
4/12/2024	PJ	TO TOWN OF ELLICOTTVILLE

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PROPOSED C-STORE
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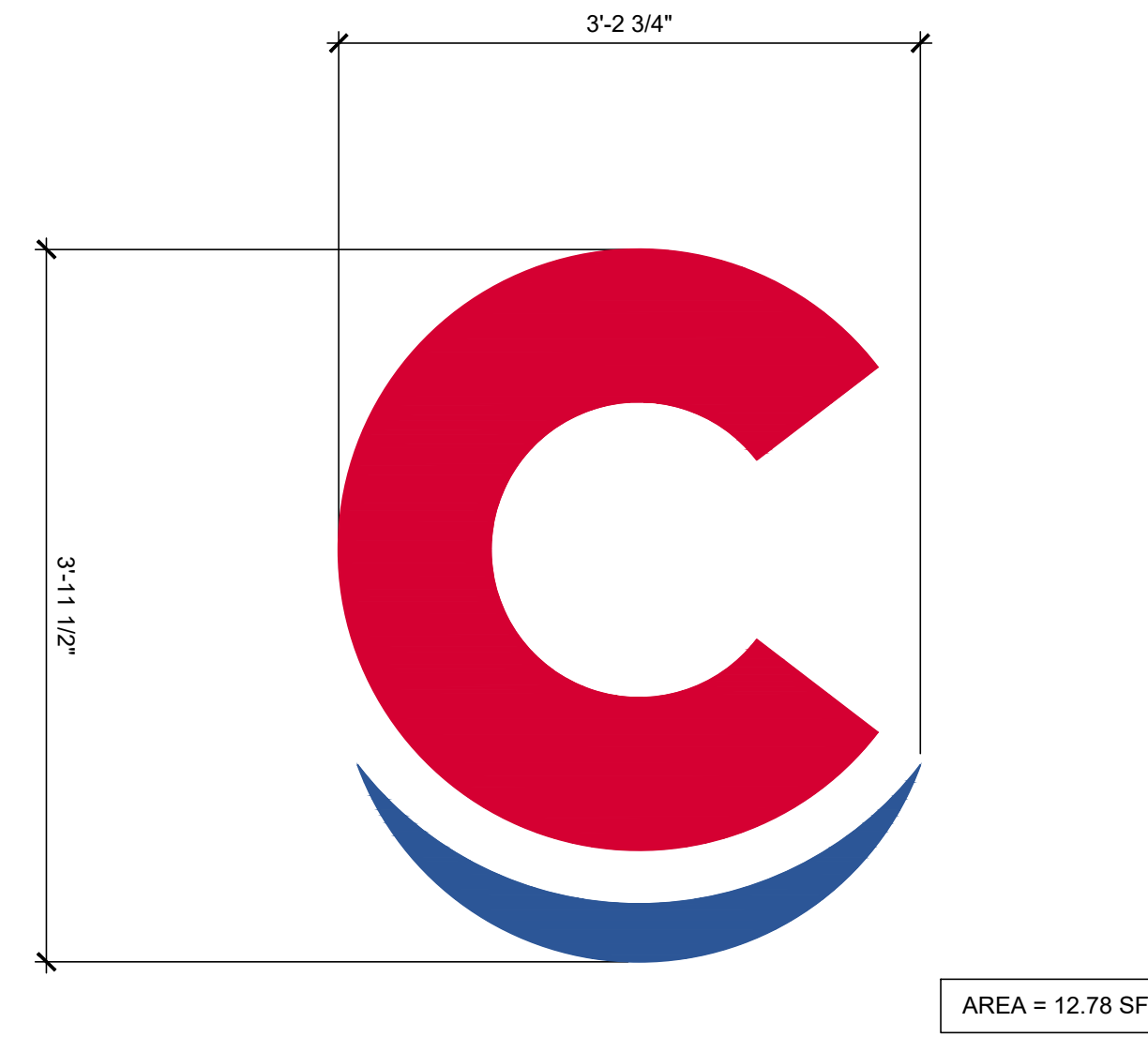
ORIGINATED: 10-2-2023
 DRAWN: PL, LR
 CHECK: MA
 JOB: D23000115
 SHEET:

A002
SIGNAGE PLAN



AREA = 36.82 SF

1 WALL SIGN #4 - ENTRY DOORS
SCALE: 1" = 1'-0"



AREA = 12.78 SF

2 WALL SIGN #5
SCALE: 1" = 1'-0"



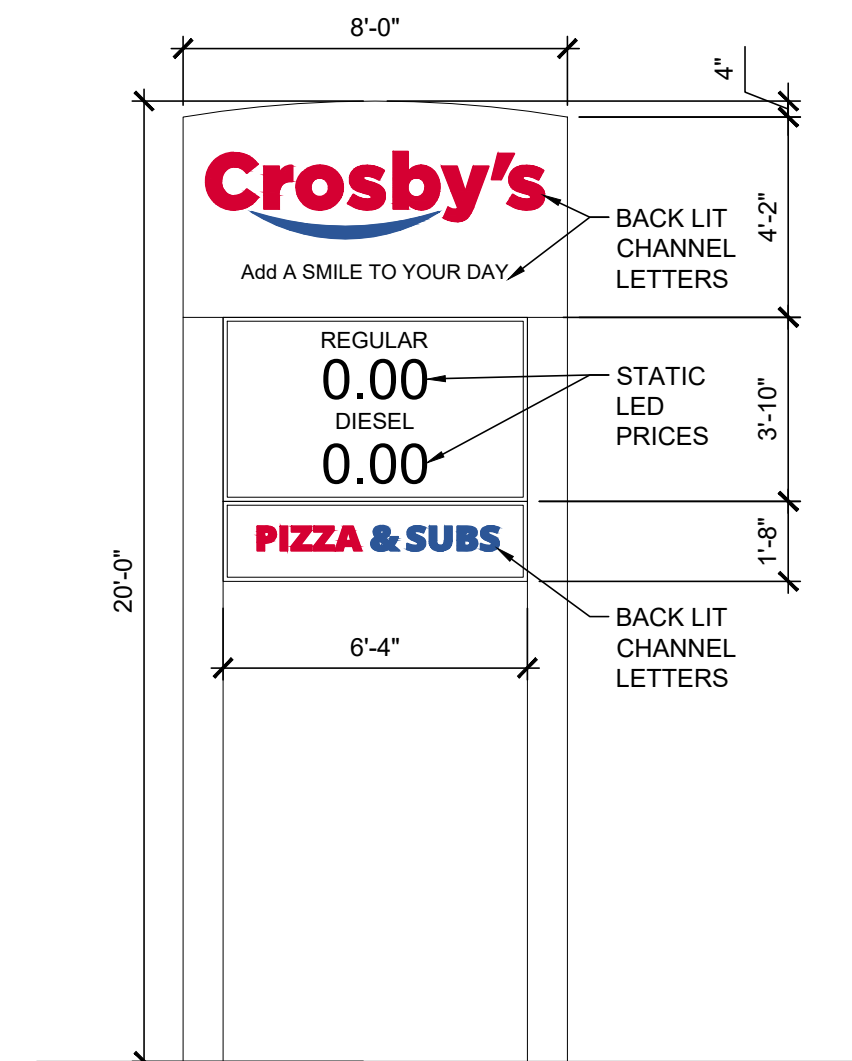
AREA = 44.21 SF

3 WALL SIGN #6 AND #7
SCALE: 1" = 1'-0"

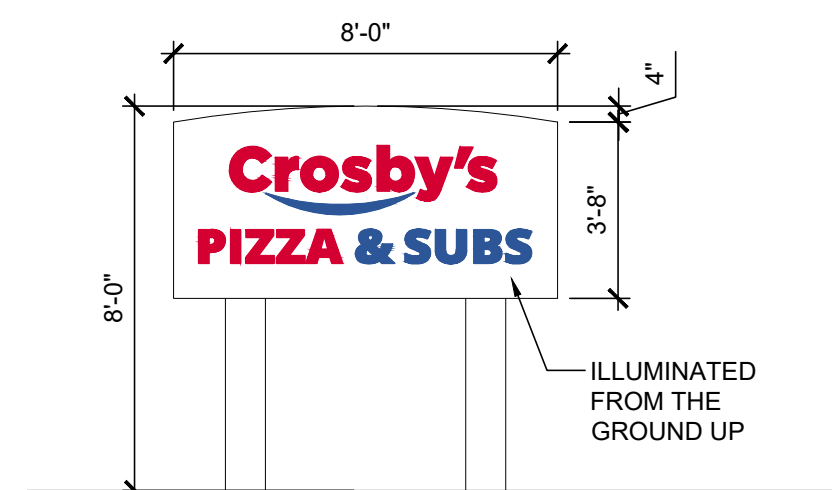


AREA = 65.00 SF

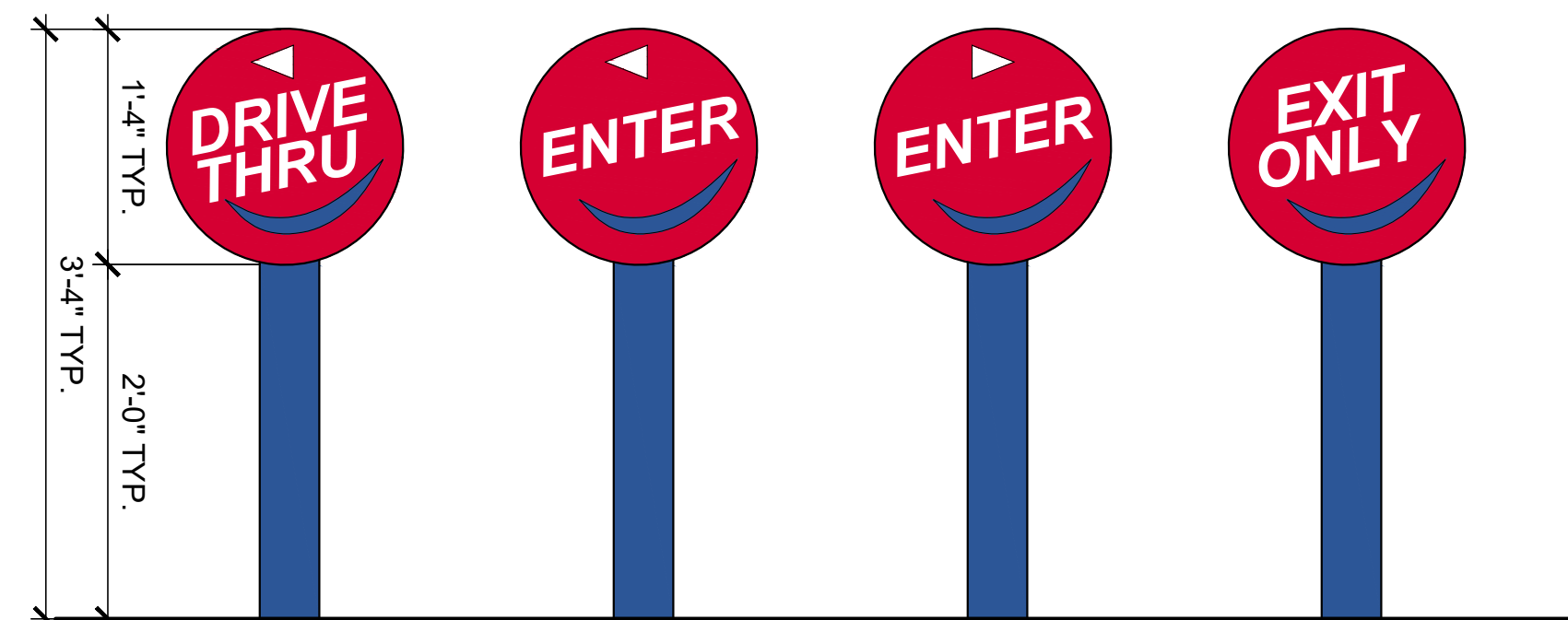
4 CANOPY SIGN #8 AND #9
SCALE: 1" = 1'-0"



5 GROUND SIGN #1
SCALE: 1/4" = 1'-0"



6 GROUND SIGN #2
SCALE: 1/4" = 1'-0"



AREA = 1.4 SF (TYP.)

7 DIRECTIONAL SIGNAGE
SCALE: 1" = 1'-0"

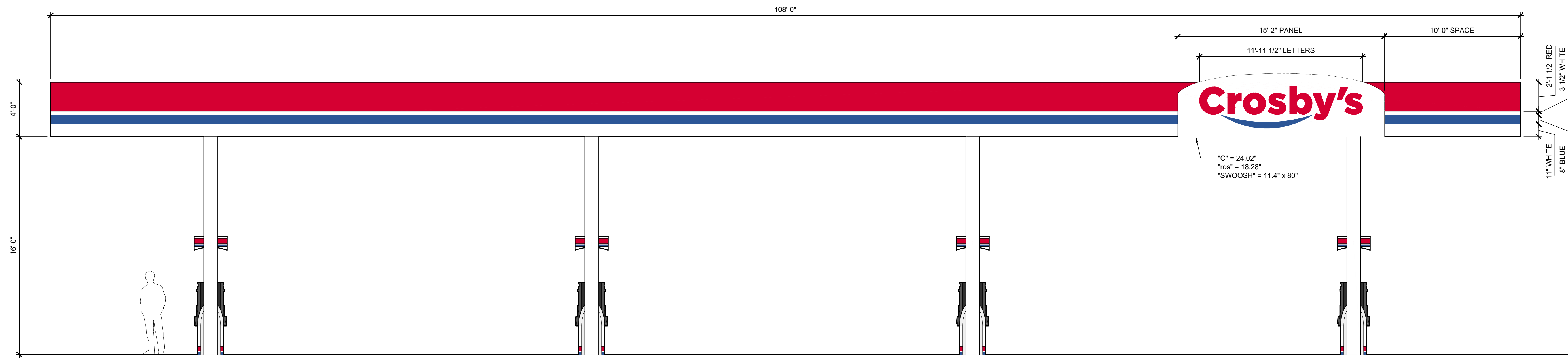
NO.	REVISIONS	DATE	BY
-	ZONING	7/12/2023	MA
-	ZONING	8/1/2023	LR
-	ZONING	8/16/2023	LR
-	ZONING	10/2/2023	LR
-	TO TOWN OF ELLICOTTVILLE	4/12/2024	PJ

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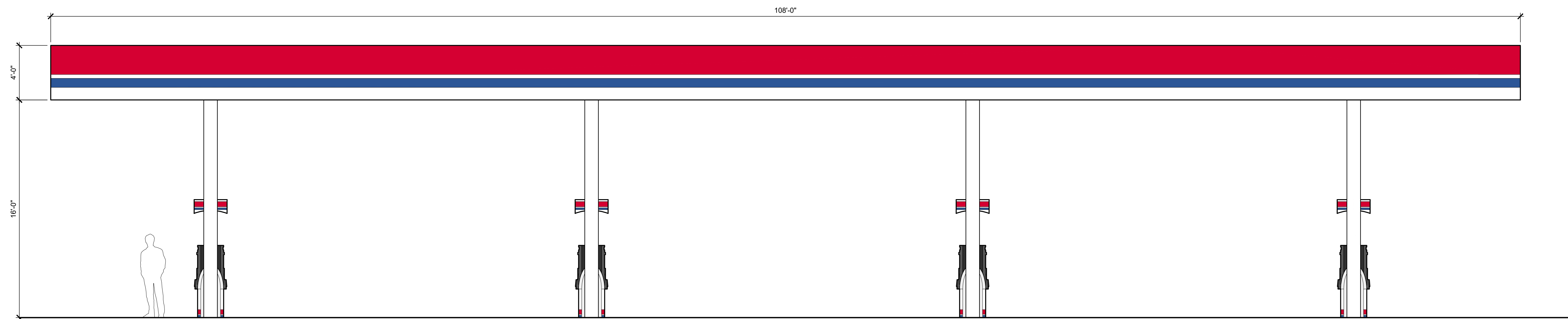
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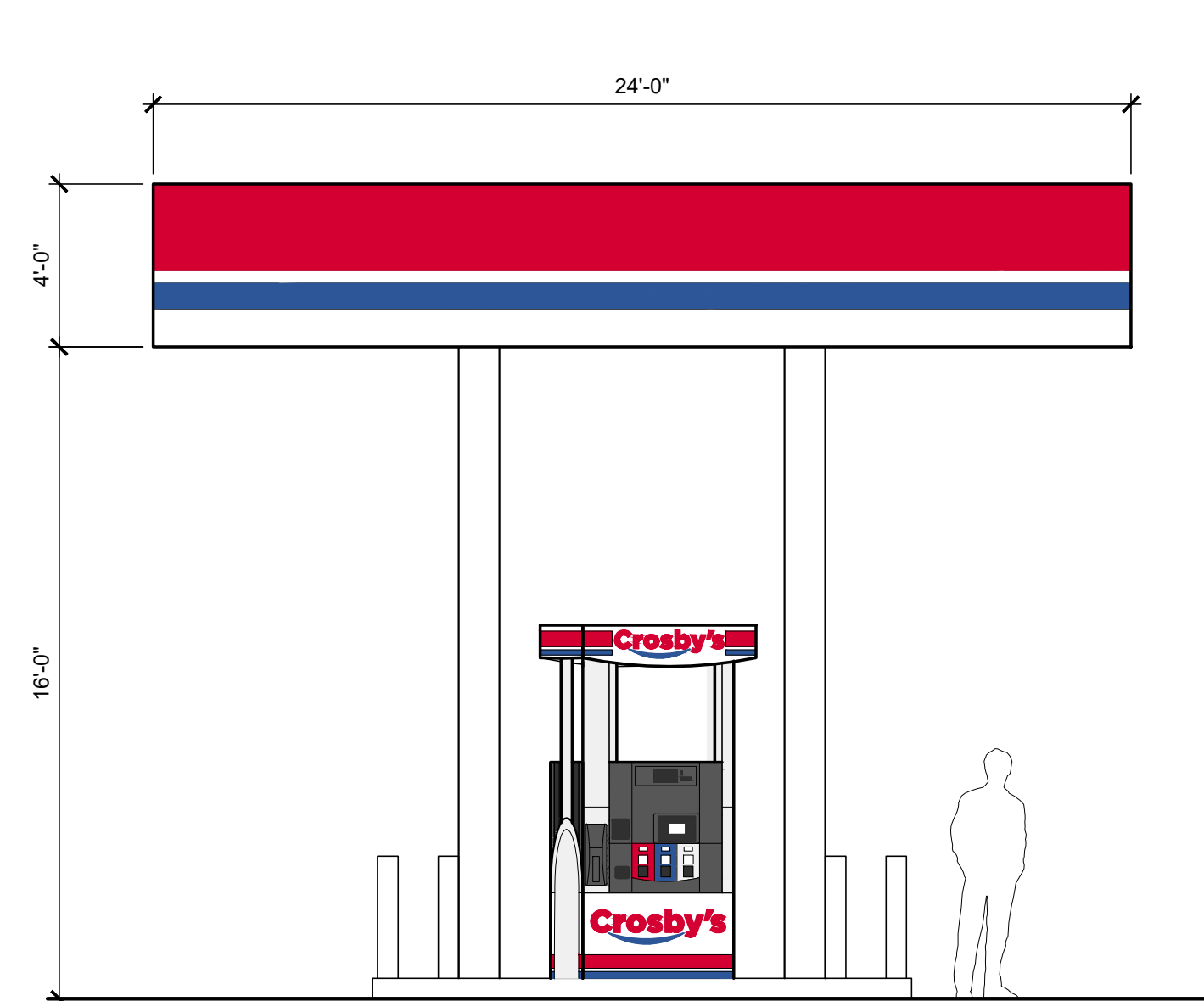
ORIGINATED: 10-2-2023
DRAWN: PL, LR
CHECK: MA
JOB: D23000115
SHEET: A003
SIGNAGE ELEVATIONS



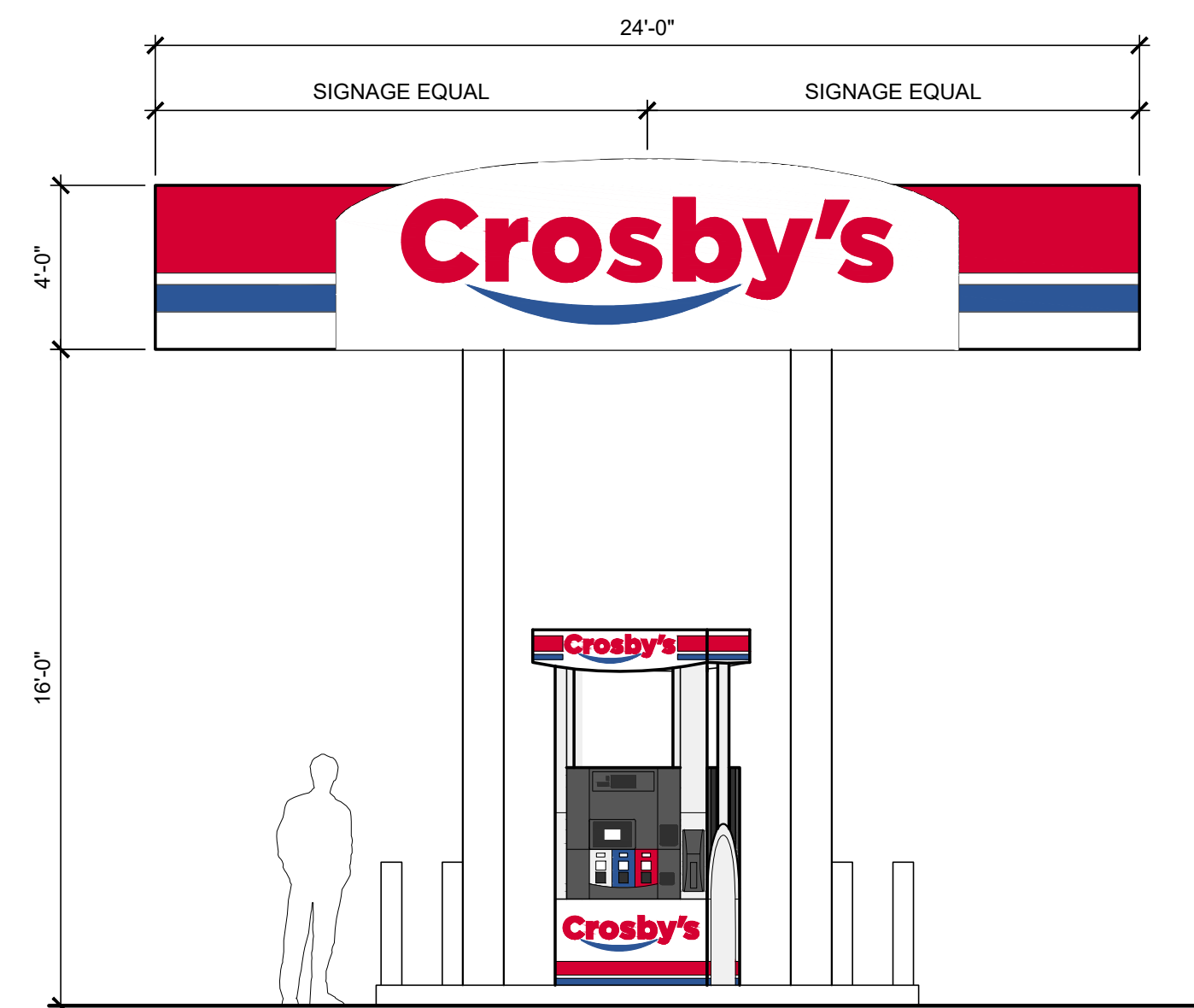
1 CANOPY FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 CANOPY REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 CANOPY LEFT ELEVATION
SCALE: 1/4" = 1'-0"



4 CANOPY RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

NO.	DATE	BY	REVISIONS
-	7/12/2023	MA	ZONING
-	8/1/2023	LR	ZONING
-	8/16/2023	LR	ZONING
-	10/2/2023	LR	ZONING
-	4/12/2024	PJ	TO TOWN OF ELLICOTTVILLE

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ORIGINATED: 10-2-2023
 DRAWN: PL, LR
 CHECK: MA
 JOB: D23000115
 SHEET:

A004
 CANOPY ELEVATIONS

T/ MAIN GABLE
ELEV: 27'-3 3/4"

T/ FLAT ROOF
ELEV: 25'-0"

T/ MAIN ROOF
ELEV: 22'-8 1/2"

T/ SMALL GABLE
ELEV: 20'-8 3/4"

ARCHITECTURAL ROOF
SHINGLES TYP.

ALUMINUM GUTTERS, TYP.

B/ SOFFIT
ELEV: 13'-0"

WOOD SOFFIT WITH LED
WASH LIGHTS, TYP.

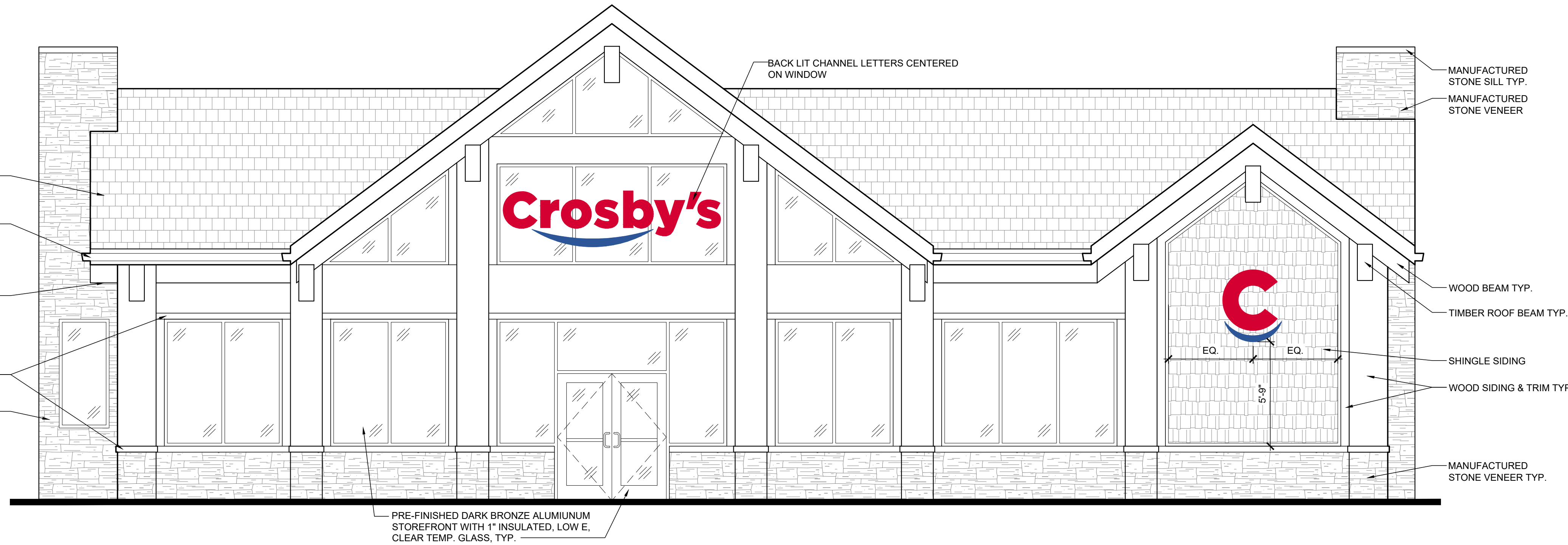
T/ WINDOW
ELEV: 10'-0"

MANUFACTURED
STONE SILL TYP.

MANUFACTURED
STONE VENEER

T/ SILL
ELEV: 3'-0"

MAIN FLOOR
ELEV: 0'-0"



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

T/ MAIN GABLE
ELEV: 27'-3 3/4"

T/ FLAT ROOF
ELEV: 25'-0"

T/ MAIN ROOF
ELEV: 22'-8 1/2"

T/ REAR ROOF
ELEV: 21'-0 1/2"

ALUMINUM GUTTERS, TYP.

B/ SOFFIT
ELEV: 13'-0"

WOOD SOFFIT WITH LED
WASH LIGHTS, TYP.

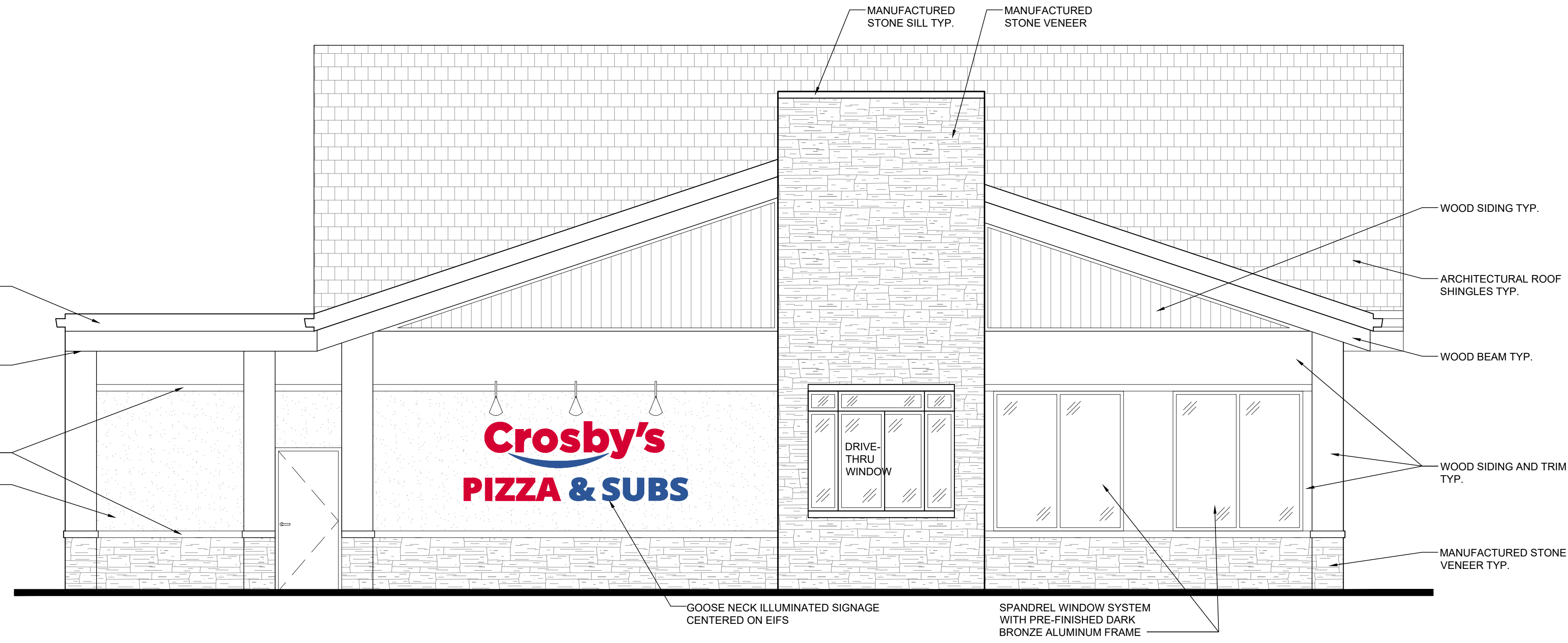
T/ WINDOW
ELEV: 10'-0"

MANUFACTURED
STONE SILL TYP.

EIFS TYP.

T/ SILL
ELEV: 3'-0"

MAIN FLOOR
ELEV: 0'-0"



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

NO.	REVISIONS	DATE	BY
1	ZONING	7/12/2023	MA
2	ZONING	8/17/2023	LR
3	ZONING	8/16/2023	LR
4	ZONING	10/2/2023	LR
5	ZONING	4/12/2024	PJ

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 HOFFMAN ESTATES, IL 60192
 PH: 847-452-7278
 EMAIL: RTTRIPHAHNDESIGN@GMAIL.COM

PROPOSED C-STORE
 CROSBY
 N.Y. ROUTE 242 & U.S. ROUTE 219
 ELLICOTTVILLE, NY 14731



ORIGINATED: 10-2-2023
 DRAWN: PL, LR
 CHECK: MA
 JOB: D23000115
 SHEET:

A201
 EXTERIOR ELEVATIONS

T/ MAIN GABLE
ELEV: 27'-3 3/4"

T/ FLAT ROOF
ELEV: 25'-0"

T/ MAIN ROOF
ELEV: 22'-8 1/2"

T/ REAR ROOF
ELEV: 21'-0 1/2"

ARCHITECTURAL ROOF
SHINGLES TYP.

ALUMINUM GUTTERS, TYP.

B/ SOFFIT
ELEV: 13'-0"

WOOD SOFFIT WITH LED
WASH LIGHTS, TYP.

T/ WINDOW
ELEV: 10'-0"

WOOD FENCE

MANUFACTURED
STONE VENEER

T/ SILL
ELEV: 3'-0"

MAIN FLOOR
ELEV: 0'-0"

PRE-FINISHED DARK BRONZE ALUMINIUM
STOREFRONT WITH 1" INSULATED, LOW E,
CLEAR TEMP. GLASS, TYP.

TIMBER ROOF BEAM TYP.

WOOD BEAM TYP.

WOOD SIDING TYP.

EIFS TYP.

PRE-FINISHED DARK
BRONZE ALUMINIUM
WITH 1" INSULATED,
LOW E, CLEAR TEMP.
GLASS, TYP.

MANUFACTURED
STONE SILL TYP.

MANUFACTURED
STONE VENEER TYP.

1 REAR ELEVATION
SCALE: 1/4" = 1'-0"

T/ MAIN GABLE
ELEV: 27'-3 3/4"

T/ FLAT ROOF
ELEV: 25'-0"

T/ MAIN ROOF
ELEV: 22'-8 1/2"

T/ REAR ROOF
ELEV: 21'-0 1/2"

T/ SMALL GABLE
ELEV: 20'-8 3/4"

ARCHITECTURAL ROOF
SHINGLES TYP.

ALUMINUM GUTTERS, TYP.

B/ SOFFIT
ELEV: 13'-0"

WOOD SOFFIT WITH LED
WASH LIGHTS, TYP.

T/ WINDOW
ELEV: 10'-0"

WOOD SIDING TYP.

MANUFACTURED
STONE SILL TYP.

MANUFACTURED
STONE VENEER TYP.

T/ SILL
ELEV: 3'-0"

MAIN FLOOR
ELEV: 0'-0"

MANUFACTURED
STONE SILL TYP.

MANUFACTURED
STONE VENEER

WOOD SIDING TYP.

WOOD BEAM TYP.

EIFS TYP.

WOOD FENCE

SPANDREL WINDOW SYSTEM
WITH PRE-FINISHED DARK
BRONZE ALUMINIUM FRAME

Crosby's
PIZZA & SUBS

GOOSE NECK ILLUMINATED SIGNAGE
CENTERED ON EIFS

2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

NO.	REVISIONS	DATE	BY
1	ZONING	7/12/2023	MA
2	ZONING	8/17/2023	LR
3	ZONING	8/16/2023	LR
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ORIGINATED:	10-2-2023
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CHECK:	MA
JOB:	D23000115
SHEET:	A202 EXTERIOR ELEVATIONS